

September 14, 2021

**Via Hand Delivery and Email**

Brian Pugh, Mayor  
Village of Croton-on-Hudson  
1 Van Wyck Street  
Croton-on-Hudson, NY 10520

***Re: 1380 Albany Post Road, Croton-on-Hudson, New York  
Zoning Petition***

Honorable Mayor and Members of the Board of Trustees:

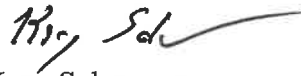
This firm represents the Matra Group, LLC (“Petitioner” or “Matra”), owner of two contiguous parcels totaling approximately 1.6 acres located at 1380 Albany Post Road (the “Subject Property”). The Petitioner is proposing to develop the Subject Property with a mixed-use building. As described in more detail in the attached Petition, the proposed development will consist of an approximately 33,400 s.f. building containing a mix of retail and office space on the first floor and one- and two-bedroom apartments on the second and third floors.

Currently, the Subject Property is located in the Limited Office (“O-1”) zoning district and is located in the North End Gateway District (“NEGD”), along with six (6) other parcels. In order to accommodate the proposed mixed-use building, the attached Petition requests certain amendments to the Village of Croton-on-Hudson zoning code, which would: (i) establish mixed-use buildings as a special permit use in the NEGD; (ii) permit retail stores and banks, personal service establishments, business and professional offices, showrooms, and residential to be included in a mixed-use building; and (iii) establishes bulk and area regulations for the NEGD.

It is respectfully requested that this matter be placed on the Village Board of Trustee's September 20, 2021 agenda for an initial presentation and that the Board of Trustees: (i) declare its intent to act as lead agency for the environmental review of this project under the State Environmental Quality Review Act; (ii) authorize circulation of the Notice of Intent to act as lead agency to all involved and interested agencies; and (iii) refer the Petition to the Planning Board for a report and recommendation.

If you have any questions or concerns, please do not hesitate to contact me.

Very truly yours,

A handwritten signature in black ink, appearing to read "Kory Salomone", with a long horizontal flourish extending to the right.

Kory Salomone

BOARD OF TRUSTEES: VILLAGE OF CROTON-ON-HUDSON  
COUNTY OF WESTCHESTER: STATE OF NEW YORK

-----x  
In the Application of

MATRA GROUP LLC

For an Amendment to the Zoning Ordinance of the Village of Croton-on-Hudson pursuant to Section 230-180 of the Zoning Ordinance associated with the amending of Article IVA Gateway Overlay District to include specific use and bulk and area regulations for the North End Gateway District that overlays the Limited Office O-1 Zoning District.

**PETITION**

-----x  
TO THE BOARD OF TRUSTEES OF THE VILLAGE OF CROTON ON HUDSON:

The Petitioner, MATRA GROUP LLC, by their attorney, Kory Salomone of Zarin & Steinmetz, 81 Main Street, Suite 415, White Plains, New York 10601, as and for its Petition, alleges and states as follows:

**A. DESCRIPTION OF PETITIONER AND SUBJECT PROPERTY**

1. MATRA GROUP LLC (“Petitioner” or “Matra”) is a limited liability company organized under the laws of the State of New York, having offices at 1380 Albany Post Road, Croton-on-Hudson, New York 10520.
2. Petitioner is the owner of two contiguous parcels of property in the Village of Croton-on-Hudson. The first parcel is Tax Map ID # 67.10-2-15, commonly known as 1380 Albany Post Road. This parcel is approximately 1.1 acre in size.
3. The second parcel is identified as Tax Map ID # 67.10-2-14 and shown on the Tax Assessment Roll as Albany Place Road. This parcel is approximately 0.5 acres.
4. For the purposes of this Petition, the two properties will collectively be referred to as the “Subject Property.”

5. Attached as **Exhibit A** is a Location Map and attached as **Exhibit B** is an aerial photograph of the Subject Property.

6. The Subject Property is approximately 1.6 acres and is located in the Limited Office (“O-1”) zoning district. Attached hereto as **Exhibit C** is a copy of the relevant portion of the Zoning Map delineating the zoning of the Subject Property and the surrounding area.

7. The Subject Property, along with six (6) other properties located on the western side of Albany Post Road, is located in the North End Gateway District (“NEGD”).

### **B. CURRENT ZONING AND DEVELOPMENT**

8. As stated above, the Subject Property is approximately 1.6 acres and is located in the Limited Office (“O-1”) zoning district. Additionally, it is located within the NEGD, which is one of three gateway areas in Croton.

9. Currently, two of the three Gateway Districts, the Harmon/South Riverside Gateway District and the Municipal Place Gateway District, have specific use and bulk/area regulations.

10. The purpose of this Petition is put specific use and bulk/area regulations in place for the NEGD.

11. The Subject Property is currently improved with an approximately 2,600 s.f. structure, which houses Estate Cabinetry, and associated parking. The improvements are located on the northern side of the Subject Property, while the southern portion of the site is vacant land.

### **C. SURROUNDING ZONING AND DEVELOPMENT**

12. Located to the North of the Subject Property are the last three parcels in the NEGD. The parcel immediately to the north is improved with a 7,500 s.f. office building, owned by Matra,



followed by a single-family home and then a vacant lot. North of those properties are commercial and retail properties in the Town of Cortlandt

13. Located to the east of the Subject Property, across Albany Post Road (Route 9A) is the Baltic Estates, a residential cluster subdivision, located within the RA-25 zoning district.

14. Located to the south of the Subject Property is recently approved garden center, followed by a single-family home. These parcels are located in the O-1 zoning district and the NEGD. South of those parcels along Albany Post Road are single-family homes in the RA-60 zoning district.

15. Located to the west of the Subject Property is U.S. Route 9. Further west, across Route 9, is a residential neighborhood located in the RA-40 zoning District.

**D. PROPOSED DEVELOPMENT AND USES**

16. This Petition is being submitted to allow the development of the Subject Property with a high-end, mixed-use development, including a mix of retail, office, and residential uses.

17. The existing structure on the Subject Property will be raised and replaced with an approximately 33,400 s.f. mixed use building. The first floor of the mixed-use building will include both office and retail space. The front portion of the building facing Albany Post Road will contain approximately 4,680 s.f. of retail space, separated into three separate units. The rear of the first floor will be improved with two, approximately 1,700 s.f. offices, and the lobby serving the residential component of the building.

18. The second and third floors of the building will include eight (8) one-bedroom apartments and twelve (12) two-bedroom apartments. The one-bedroom apartments will be approximately 700 s.f. The two-bedroom apartments will range in size from 1,000 s.f. to 1,200 s.f. The proposed development is shown on the “Existing Conditions, Demo, & Site Layout Plan”

and “Proposed Grading and Utility Plan”, prepared by Alfonzetti Engineering, P.C., dated September 10, 2021, which are attached hereto as **Exhibit D**. Elevations and floor plans prepared by DeMasi Architects, are attached hereto as **Exhibit E**.

19. Pursuant to § 230-48 of the Croton-on-Hudson Zoning Code, 10% of the residential units shall be set aside as Affirmatively Furthering Fair Housing (“AFFH”) units. In conformity with the requirements of § 230-48(B)(1), 1 one-bedroom apartment and 1 two-bedroom apartment will be set aside as AFFH units. These AFFH units will be integrated into the design of the development and will not be distinguishable from the market rate units from the outside or building exteriors.

20. The proposed mixed-use building will be located on the northern portion of the site, with parking being provided in the central and southern portions of the Subject Property.

21. The mixed-use building will be serviced by municipal water and an on-site wastewater treatment system (“OWTS”).

22. The OWTS primary and expansion areas will be located mainly under the proposed parking area.

23. Access to the Subject Property will be provided utilizing the existing curb-cut on Albany Post Road.

24. As will be discussed in more detail below, the proposed development is in conformity with the Village of Croton-on-Hudson Comprehensive Plan and will provide significant benefits to the Village of Croton-on-Hudson.

#### **E. PROPOSED ZONING AMENDMENTS**

25. As stated above the Subject Property is located in the O-1 Limited Office Zoning District, as well as being included in the NEGD, one of three gateway districts in the Village.

26. The three commercial gateway districts are considered the major entry points to the Village from surrounding municipalities and “create a sense of arrival to the Village and establish an image and initial impression of the community.”<sup>1</sup> “The 2003 Comprehensive Plan identified the three gateway areas in the Village, which share the following characteristics:

- a. Vehicular entry points in Croton-on-Hudson from Route 9/9A.
- b. Commercial or office uses principally accessed by automobile traffic.
- c. Possibilities for development and redevelopment.”<sup>2</sup>

27. The stated purpose of the Gateway Overlay District “is to establish standards that upgrade the image and function of gateway areas, strengthen the overall visual identity of the Village and improve pedestrian linkages to adjacent residential neighborhoods.”<sup>3</sup>

28. While specific zoning regulations have been put in place for both the Harmon/South Riverside Gateway District and the Municipal Gateway District in order to achieve the stated goals and objectives of the gateway districts, no similar zoning regulations have been established for the NEGD.

29. Currently, the only uses allowed in the NEGD, which is comprised of eight lots, are limited to those permitted in the underlying O-1 district.

30. In order to accommodate the proposed development of the Subject Property, the Applicant is proposing to amend § 230-20.3 of the zoning code to include new regulations which are very similar to those already in place for the Harmon/South Riverside Gateway District. The proposed amendment would only affect those eight parcels of property located in the NEGD. An initial draft of the proposed zone text amendment is attached as **Exhibit F**.

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<sup>1</sup> Village of Croton-on Hudson Zoning Code, § 230-20.1(A).

<sup>2</sup> Village of Croton-on Hudson Zoning Code, § 230-20.1(B).

<sup>3</sup> Village of Croton-on Hudson Zoning Code, § 230-20.1(C).

31. The proposed amendment establishes mixed-use buildings as a special permit use in the NEGD, subject to receipt of a special permit issued by the Board of Trustees. Additionally, the proposed text amendment establishes certain bulk and area regulations as well as design considerations.

**F. CONFORMITY WITH THE COMPREHENSIVE PLAN**

32. The development proposal for the Subject Property fully supports the 2017 Village of Croton-on-Hudson Comprehensive Plan (“Comprehensive Plan”).

33. As noted in the Comprehensive Plan, the Village Gateways “mark a sense of arrival, and connection to a community, and establish an image for the community.” Further the purpose for designating the gateway districts is to “upgrade the image and function of commercial areas, define the entry into the Village, strengthen the overall visual identity of the Village, promote economic development, and improve linkages to adjacent residential neighborhoods.”

34. In this case, the Subject Property is currently developed with an approximately 2,600 s.f. structure. The demolition of this structure and its replacement with a 33,400 s.f. mixed-use building and associated landscaping will help define the northern entry point to the Village and strengthen the overall image of the North End Gateway District area.

35. In addition, the introduction of one- and two-bedroom residential rental units will provide an influx of shoppers and income for Croton businesses, with minimal impacts on schools or traffic.

36. The 2017 Comprehensive Plan notes that “the predominant land use in the village is single-family residential...and that [s]ince 2003, the majority of the development activity in the Village has been single family homes on large lots in the northern part of the village.” The

proposed development will help to create a diversity of housing opportunities by providing multi-family housing.

37. The Comprehensive Plan states that “[t]he gateway districts include special use, area and bulk regulations, and design regulations.” While that is an accurate statement regarding the Harmon/South Riverside Gateway District and the Municipal Gateway Districts, no such regulations have been adopted for the NEGD. This Petition seeks close that gap and put those regulations in place for the NEGD.

**E. ADDITIONAL CONSIDERATIONS IN SUPPORT OF PETITION**

38. The proposed development of the site provides a number of significant benefits to the Village of Croton-on-Hudson. As mentioned above, the project is consistent with the goals of the Comprehensive Plan in that it will: (i) upgrade the image and function of the NEGD; (ii) provide diversity of housing types; and (iii) put use and bulk/area regulations in place for the NEGD.

39. Further, the proposed redevelopment of the Subject Property will provide the Town with additional AFFH units.

40. The proposed development of the Subject Property will produce an increase in ratables and real estate tax revenue. The anticipated real estate taxes to be generated by the project will significantly increase the taxes currently being paid on the property.

41. Additionally, the residents of the apartments will have disposable income to spend in the restaurants and shops located in the Croton.

42. It must also be noted that the Subject Property is located on Route 9A, a state highway, which is more than capable of handling the additional traffic to be generated by the proposed mixed use building. Additionally, the Subject Property is within one-half mile of the entrance to NY State Route 9. Accordingly, there will be no problems associated with the traffic generated by the project.

#### **F. APPROVALS REQUESTED**

43. The proposed redevelopment of the Subject Property will require a number of approvals from both the Board of Trustees and Planning Board. These approvals include the following:

- a. Zone Text Amendments to establish specific development criteria for the North End Gateway district (Board of Trustees);
- b. Special Permit Approval (Board of Trustees);
- c. Site Plan Approval (Planning Board); and
- d. Subdivision Consolidation Approval (Planning Board).

#### **G. ENVIRONMENTAL REVIEW**

44. The proposed development and the actions proposed by this Petition do not meet the minimum threshold for a Type I action and are therefore an unlisted action pursuant to the State Environmental Quality Review Act (“SEQRA”) and its associated regulations.

45. A Full Environmental Assessment Form prepared by Alfonzetti Engineering, P.C. is attached as **Exhibit G** to this Petition for the Village Board’s review and consideration. The Applicant has assembled a consulting team that will address all areas of environmental impact as the project moves through the review and approval process. It is respectfully submitted that a negative declaration is appropriate given the information provided.

46. The Petitioner requests that at its September 20, 2021 meeting, the Village Board declare its intent to be Lead Agency for the environmental review of this project and authorize the circulation of a notice of intent to all involved and interested agencies.

WHEREFORE, IT IS RESPECTFULLY requested that the instant matter be placed on the agenda of the Village Board for its consideration and referral to the Planning Board for a formal

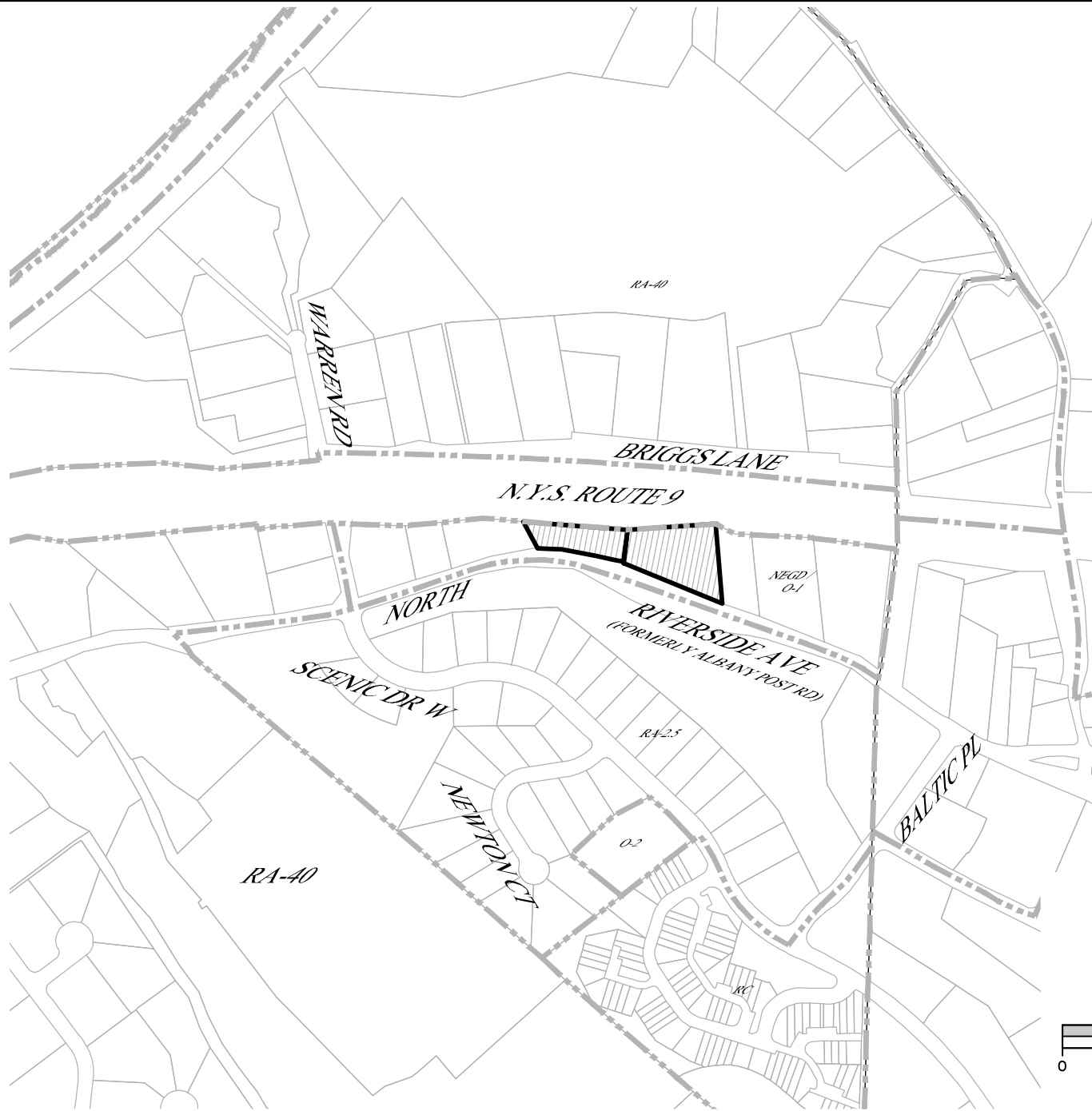
recommendation, and any other board, agency, or official which the Village Board deems appropriate, that the SEQRA process be commenced, and that the relief sought herein be, in all respects, granted.

Dated: September 14, 2021  
White Plains, New York

Respectfully submitted,  
Kory Salomone, Esq.  
Zarin & Steinmetz  
Attorney for Petitioner  
81 Main Street, Suite 415  
White Plains, New York 10601  
Tel: (914) 220-9804

# **EXHIBIT A**





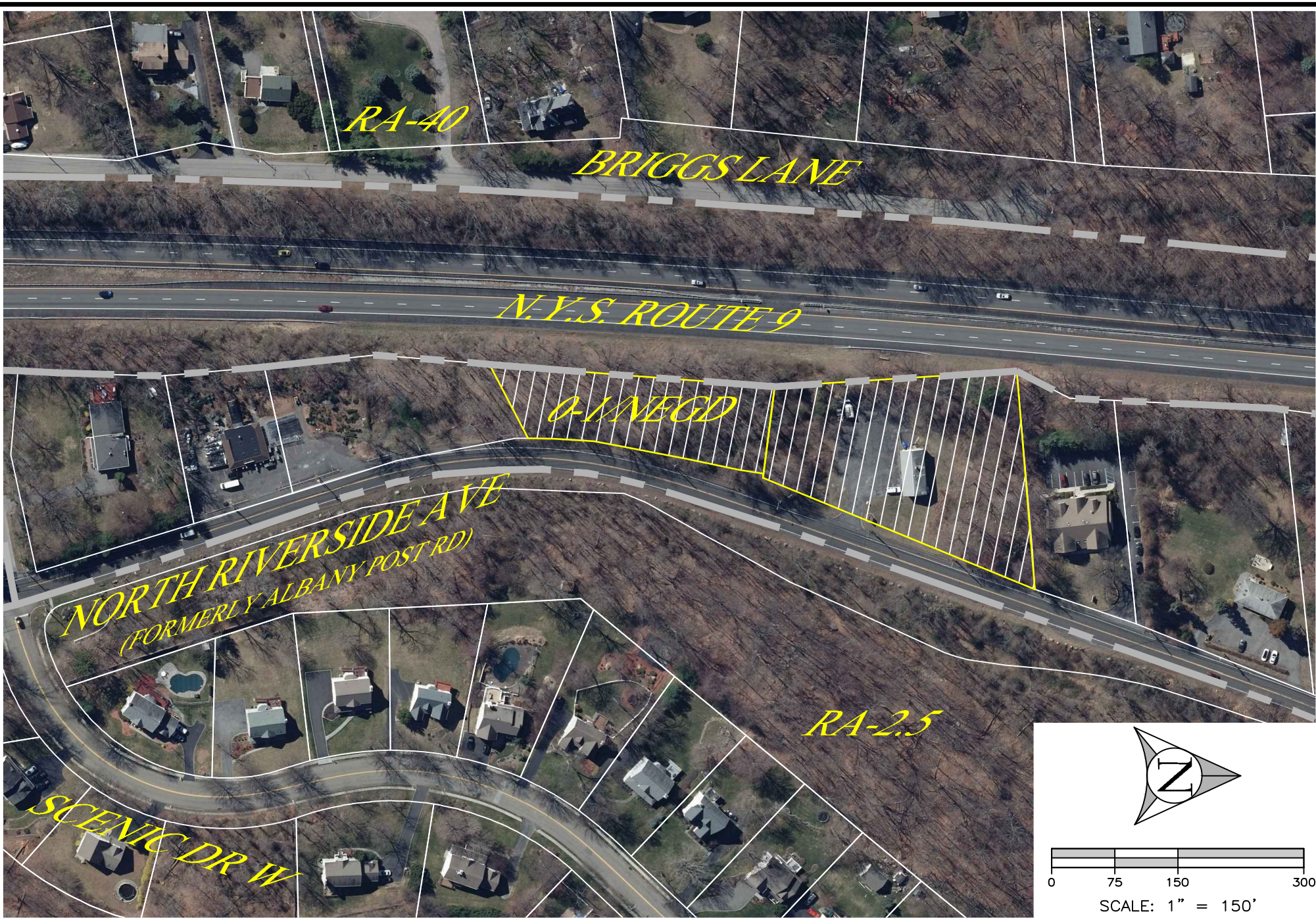
ALFONZETTI ENGINEERING, P.C.  
 14 SMITH AVE, MT. KISCO, N.Y. 10549  
 914-666-9800 INFO@ALFONZETTIENG.COM

1380 ALBANY POST ROAD  
 TOWN OF CROTON-ON-HUDSON,  
 WESTCHESTER COUNTY, NEW YORK

LOCATION MAP  
 SEPTEMBER 10, 2021

## **EXHIBIT B**





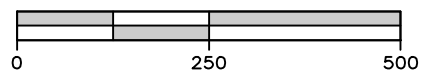
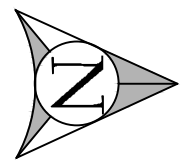
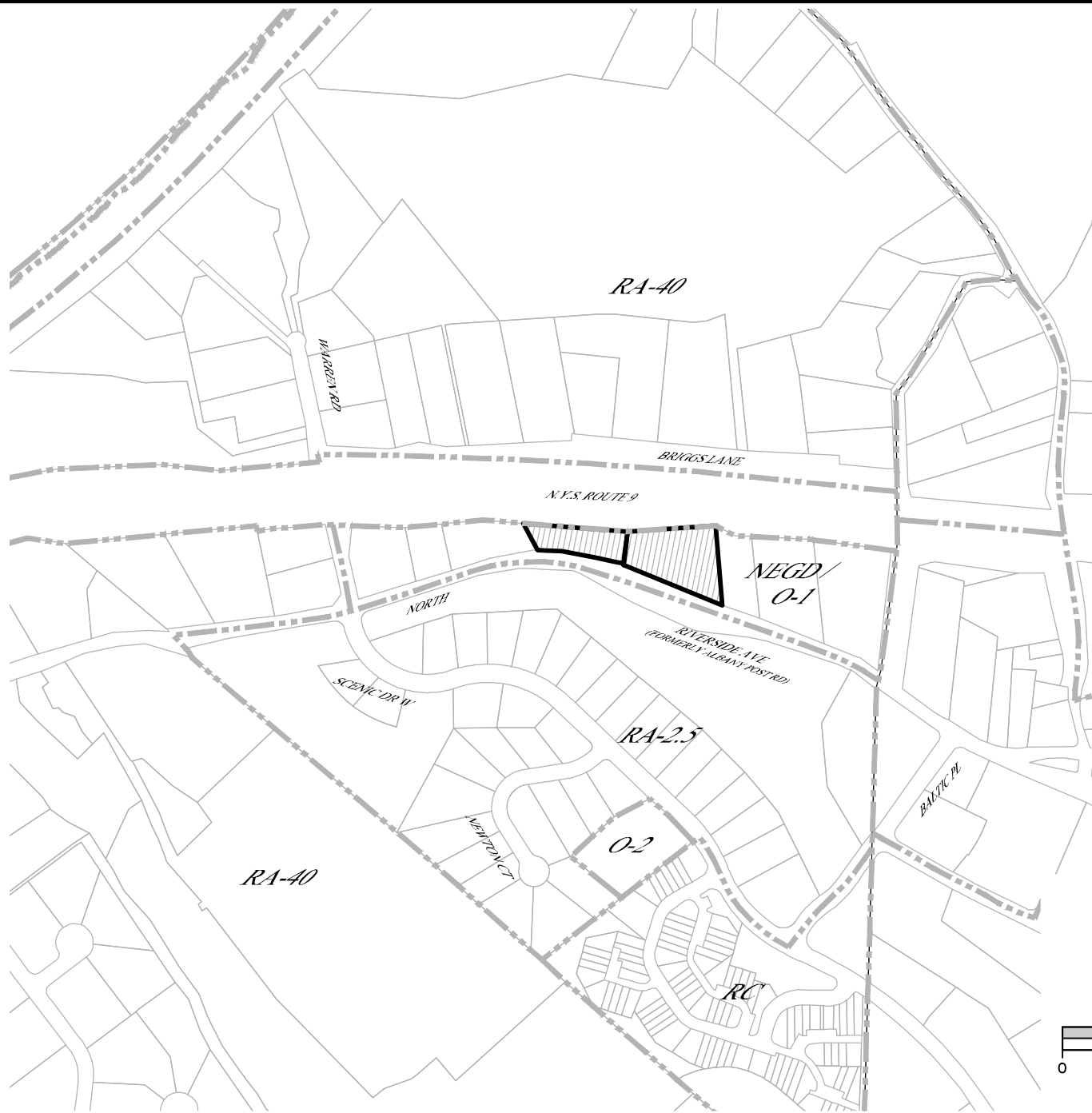
ALFONZETTI ENGINEERING, P.C.  
14 SMITH AVE, MT. KISCO, N.Y. 10549  
914-666-9800 INFO@ALFONZETTIENG.COM

1380 ALBANY POST ROAD  
TOWN OF CROTON-ON-HUDSON,  
WESTCHESTER COUNTY, NEW YORK

AERIAL VIEW  
SEPTEMBER 10, 2021



# **EXHIBIT C**



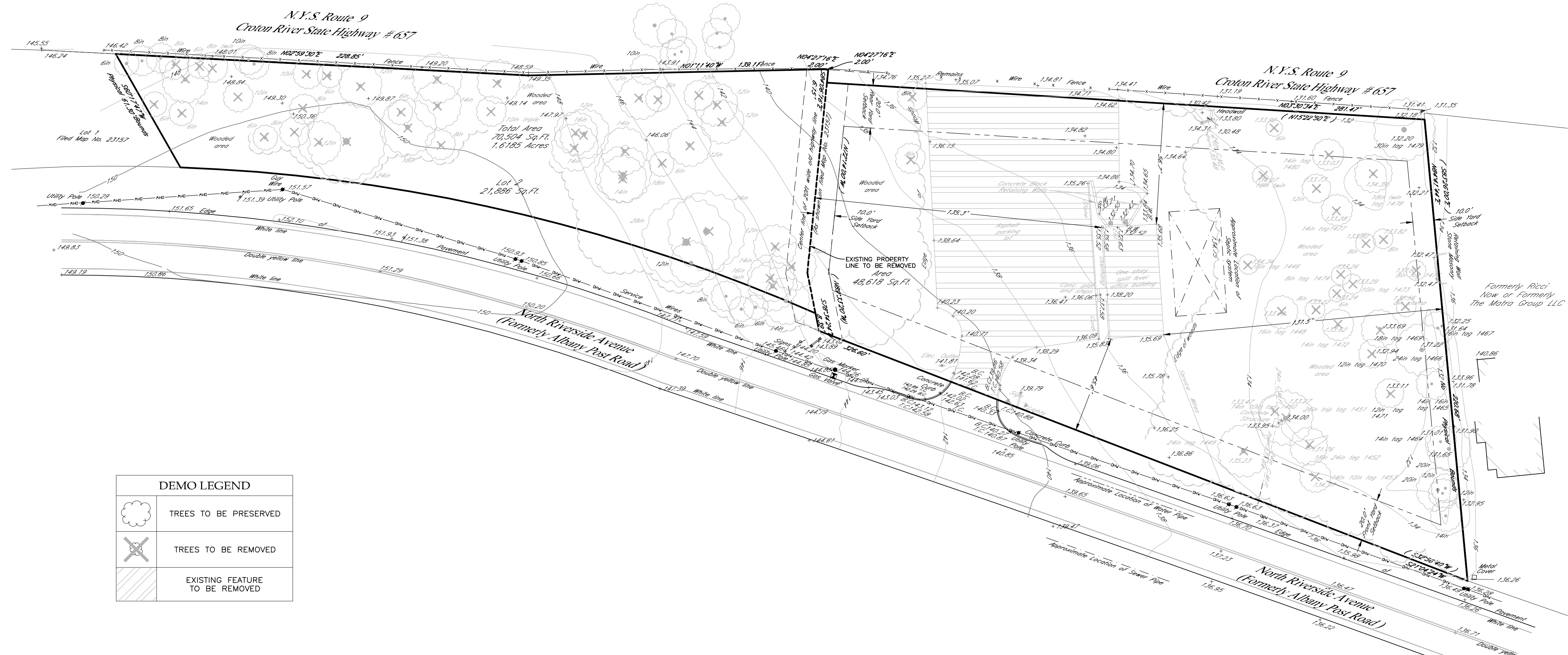
SCALE: 1" = 500'

ALFONZETTI ENGINEERING, P.C.  
 14 SMITH AVE, MT. KISCO, N.Y. 10549  
 914-666-9800 INFO@ALFONZETTIENG.COM

1380 ALBANY POST ROAD  
 TOWN OF CROTON-ON-HUDSON,  
 WESTCHESTER COUNTY, NEW YORK

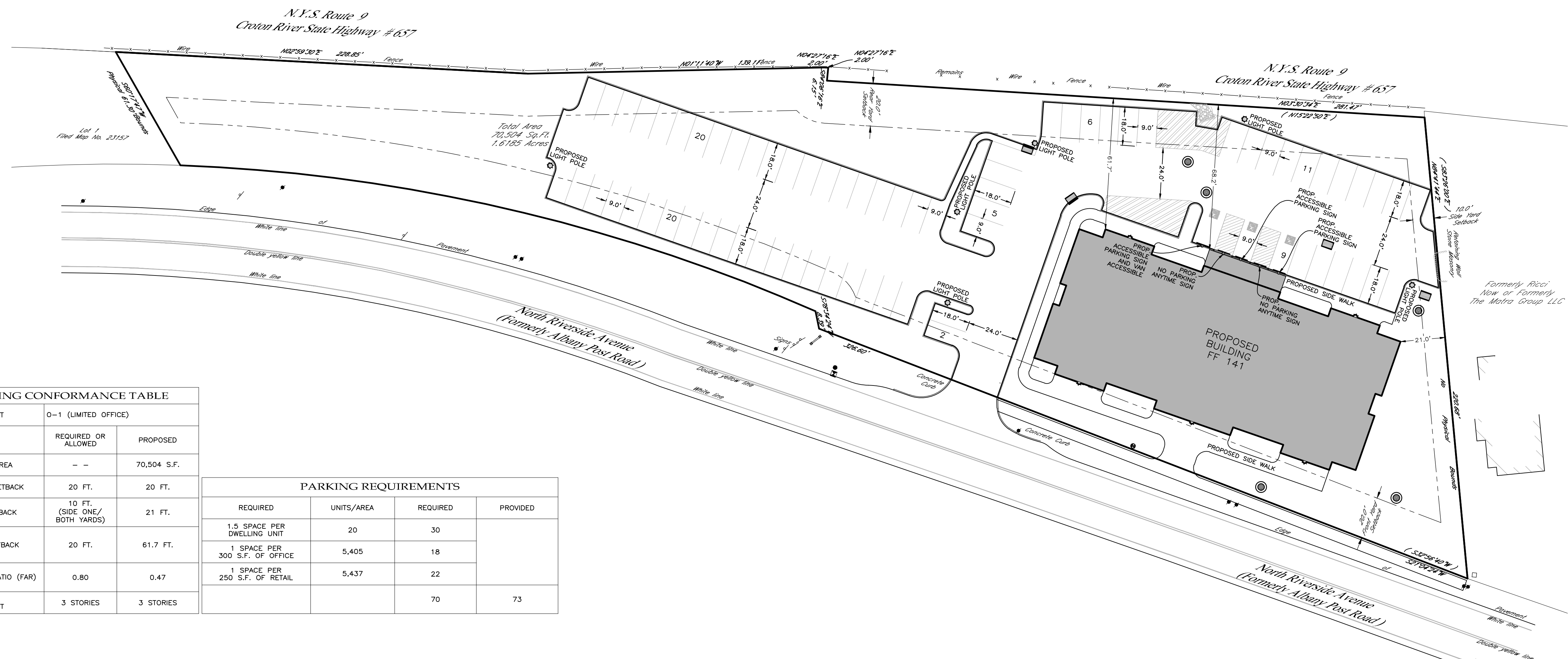
ZONING MAP  
 SEPTEMBER 10, 2021

## **EXHIBIT D**



DEMO LEGEND	
	TREES TO BE PRESERVED
	TREES TO BE REMOVED
	EXISTING FEATURE TO BE REMOVED

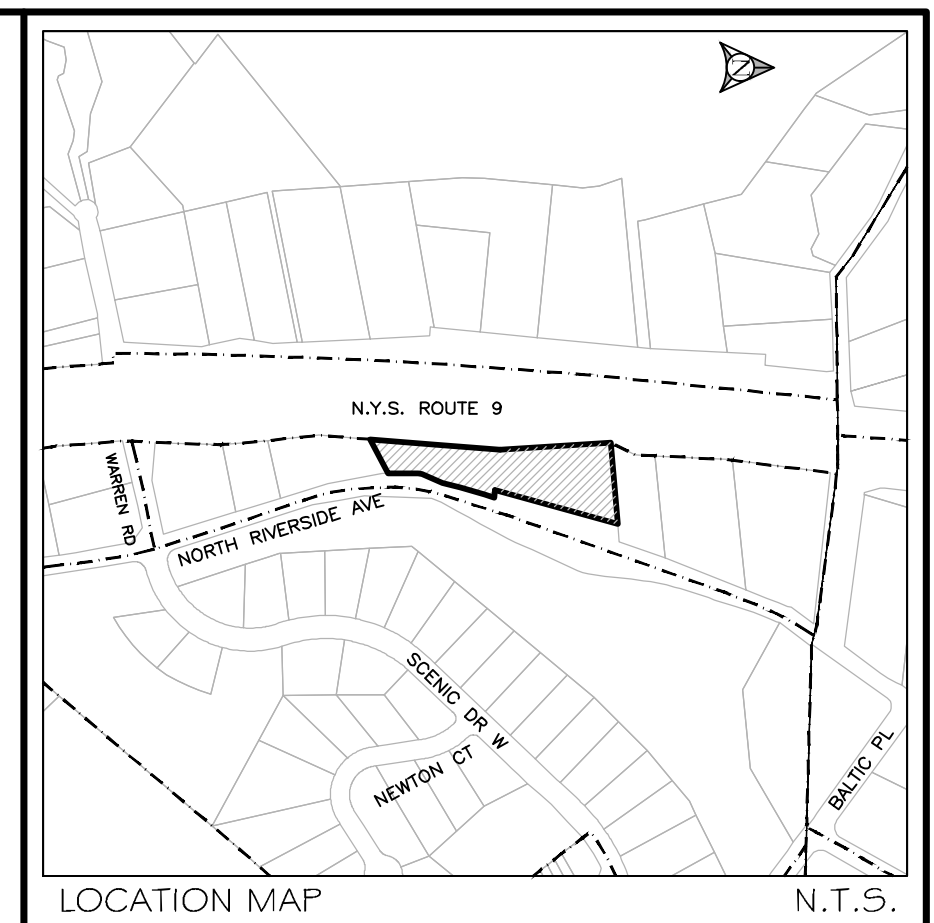
EXISTING CONDITIONS & DEMOLITION PLAN



ZONING CONFORMANCE TABLE		
ZONING DISTRICT	O-1 (LIMITED OFFICE)	
	REQUIRED OR ALLOWED	PROPOSED
MINIMUM LOT AREA	--	70,504 S.F.
FRONT YARD SETBACK	20 FT.	20 FT.
SIDE YARD SETBACK	10 FT. (SIDE ONE/ BOTH YARDS)	21 FT.
REAR YARD SETBACK	20 FT.	61.7 FT.
FLOOR AREA RATIO (FAR)	0.80	0.47
MAXIMUM BUILDING HEIGHT	3 STORIES	3 STORIES

PARKING REQUIREMENTS				
	REQUIRED	UNITS/AREA	REQUIRED	PROVIDED
1.5 SPACE PER DWELLING UNIT		20	30	
1 SPACE PER 300 S.F. OF OFFICE		5,405	18	
1 SPACE PER 250 S.F. OF RETAIL		5,437	22	
			70	73

PROPOSED LAYOUT PLAN



LOCATION MAP

- CONSTRUCTION NOTES:
1. THE CONTRACTOR SHALL LOCATE AND VERIFY IN THE FIELD ALL UTILITIES: SEWER, WATER, GAS, ELECTRICAL, ETC. PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL CALL CODE 753 (FORMERLY CODE 53) PRIOR TO THE START OF CONSTRUCTION.
  2. THE INSTALLATION OF WATER AND SEWER SHALL BE INSPECTED UNDER THE DIRECTION OF A N.Y. STATE LICENSED PROFESSIONAL ENGINEER.
  3. EROSION AND SEDIMENT CONTROL MEASURES, SHALL BE REQUIRED AS INDICATED ON THIS PLAN OR THE EROSION CONTROL PLAN OR AS DIRECTED BY THE GOVERNING AGENCY, IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).
  4. AS BUILT PLANS IF REQUIRED, SHALL BE CERTIFIED BY A N.Y. STATE LICENSED SURVEYOR OR PROFESSIONAL ENGINEER.
  5. ALL PROPERTY DISTURBED IN THE RIGHT-OF-WAY OR ON PRIVATE LANDS, SHALL BE RESTORED TO ACCEPTABLE CONDITIONS, AS REQUIRED BY THE GOVERNING AGENCY.
  6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICATIONS AND PERMITS REQUIRED FOR CONSTRUCTION.
  7. THE ROAD AND UTILITIES SHALL BE STAKED IN THE FIELD BY A NEW YORK STATE LICENSED SURVEYOR OR ENGINEER.
  8. UNDERGROUND UTILITIES: GAS, ELECTRIC, CABLE, TELEPHONE, ETC. SHALL BE AS REQUIRED BY THE GOVERNING AGENCY AND THE APPROPRIATE UTILITY COMPANY.
  9. ALL PROPOSED OR DISTURBED SLOPES, 1H:3V OR GREATER SHALL BE STABILIZED WITH AN EROSION CONTROL BLANKET.
  10. IN LIEU OF BLASTING, ROCK RIPPING WILL BE USED WHEREVER POSSIBLE. IF BLASTING IS REQUIRED, BLASTING WILL OCCUR IN ACCORDANCE WITH REGULATIONS AND STANDARDS PRESCRIBED BY THE GOVERNING AGENCY. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.
  11. NO REPRESENTATION OF THE SUB-SURFACE SOIL CONDITIONS ON THIS SITE ARE MADE OR IMPLIED. IT IS THE DEVELOPER/CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL IMPROVEMENTS ARE PLACED ON SOIL WITH A SATISFACTORILY BEARING CAPACITY.



IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7208(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

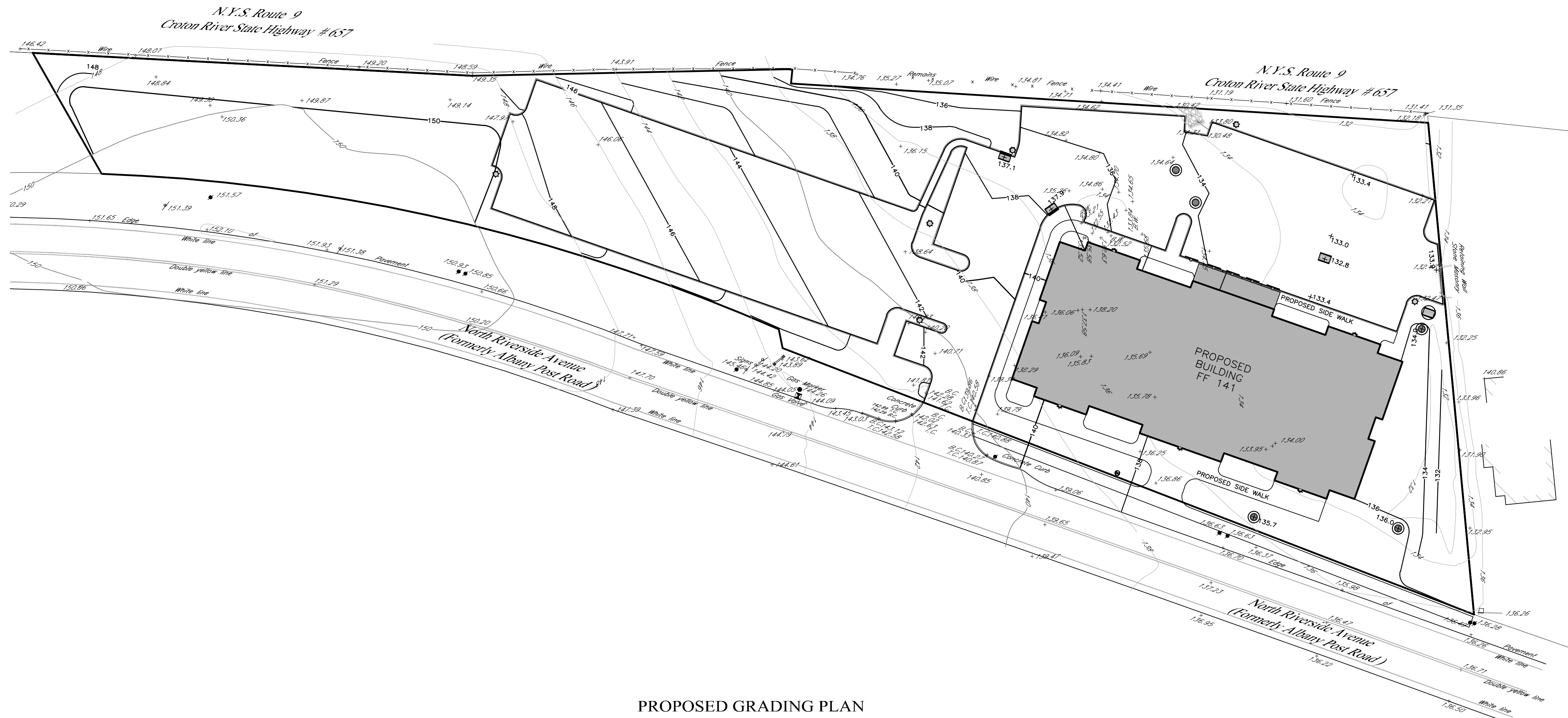
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ALFONZETTI ENGINEERING, P.C.  
 14 SMITH AVE, MT. KISCO, N.Y. 10549  
 914-666-9800 INFO@ALFONZETTIENG.COM

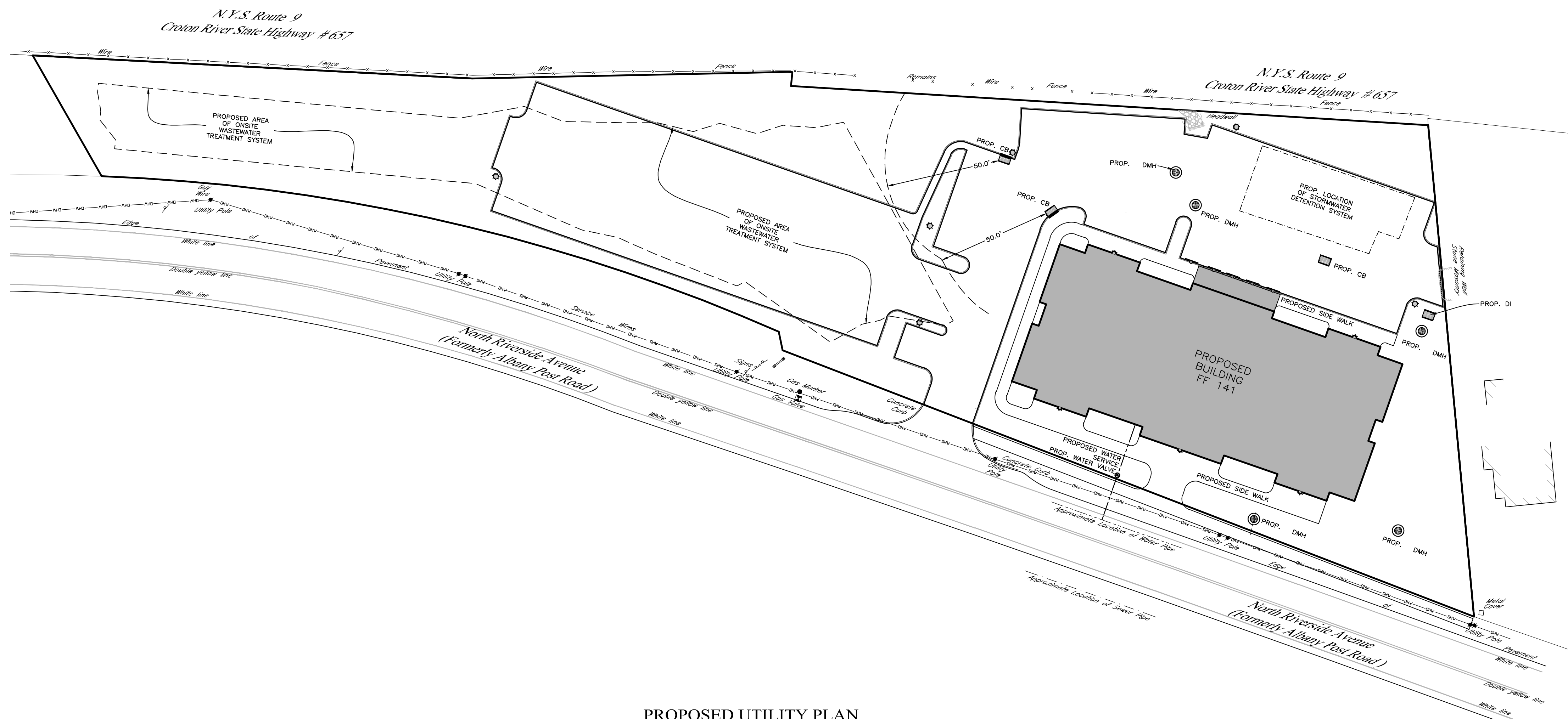
SITE DATA	
OWNER/APPLICANT	MATRA GROUP LLC
SITE ADDRESS	1380 ALBANY POST ROAD, CROTON ON HUDSON, NY
TAX MAP #:	67-10-2-14
ZONING:	0-1 (LIMITED OFFICE) (NEED NORTH END)
LOT AREA:	1.618 AC

EXISTING CONDITIONS, DEMO & SITE LAYOUT PLAN  
 SEPTEMBER 10, 2021

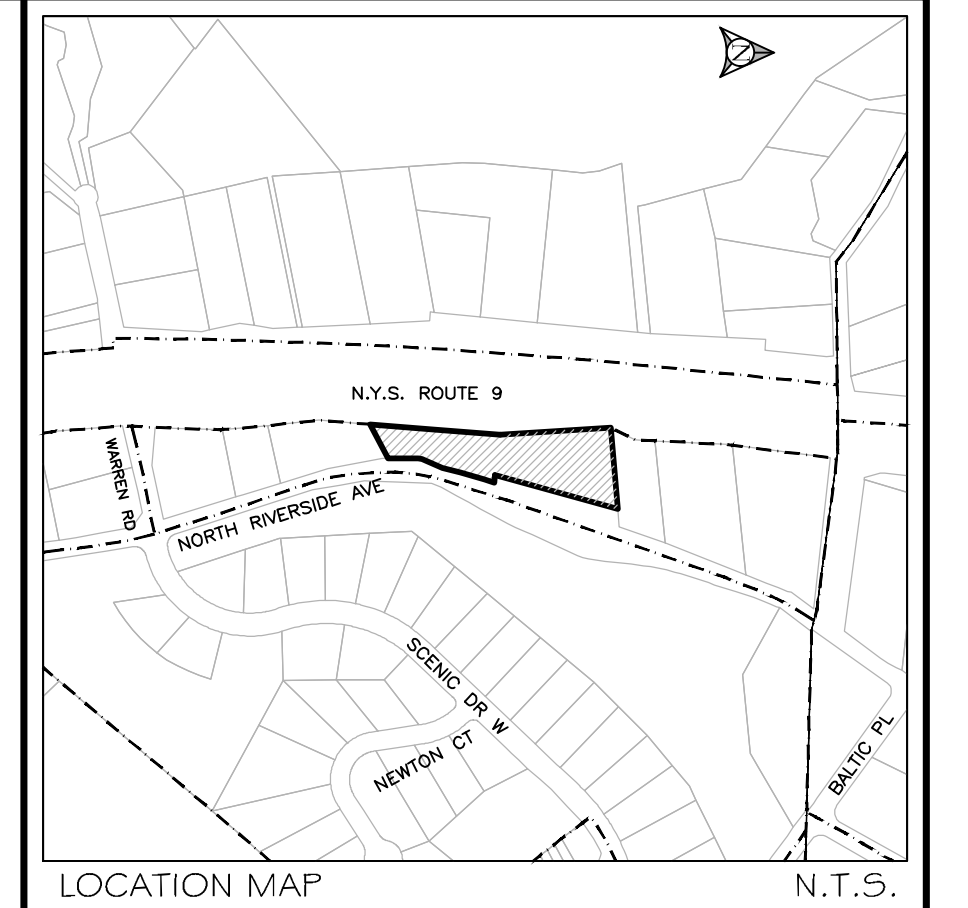
PROJECT: 1380 ALBANY POST ROAD  
 PROPOSED DEVELOPMENT  
 CROTON ON HUDSON, WESTCHESTER COUNTY, NEW YORK



PROPOSED GRADING PLAN

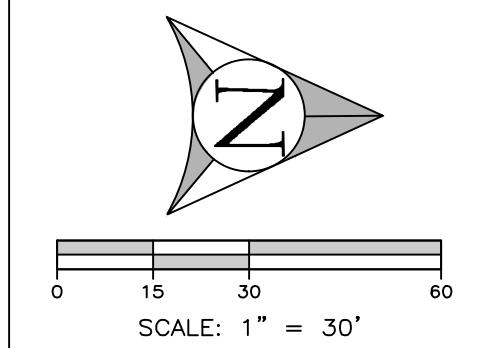


PROPOSED UTILITY PLAN



LOCATION MAP N.T.S.

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



ALFONZETTI ENGINEERING, P.C.  
 14 SMITH AVE, MT. KISCO, N.Y. 10549  
 914-666-9800 INFO@ALFONZETTIENG.COM

<b>SITE DATA</b> OWNER/APPLICANT: MATRA GROUP LLC SITE ADDRESS: 1380 ALBANY POST ROAD, CROTON ON HUDSON, NY TAX MAP #: 67.10-2-14 67.10-2-15 LOT AREA: 1.618 AC ZONING: O-1 (LIMITED OFFICE) NECD (NORTH END)	
DRAWING: PROPOSED GRADING AND UTILITY PLAN SEPTEMBER 10, 2021 PROJECT: 1380 ALBANY POST ROAD PROPOSED DEVELOPMENT CROTON ON HUDSON, WESTCHESTER COUNTY, NEW YORK	SHEET: 02 OF: 02



# **EXHIBIT E**



Option A  
**Front Elevation - Street Side**  
 Scale: 3/16" = 1'-0"

- A - Stucco Siding
- B - Natural Wood Rain Screen
- C - Stone Veneer
- D - Metal Board & Batten Siding



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 These plans are not valid for a building permit unless they are accompanied by a permit for the construction of one structure only by the person whose name appears on the plans.

**Commercial Mixed Use For:**  
**1380 Albany Post Rd.**  
**Croton-On-Hudson, NY.**

Revision	Date
	Sept. 13, 2021
Job No	221-089
Drawing	1 OF 4



Option B

**Front Elevation - Street Side**

Scale: 3/16" = 1'-0"

- A - Shake Siding
- B - Horizontal Siding
- C - Stone Veneer
- D - Metal Board & Batten Siding
- E - Wood Board & Batten Siding



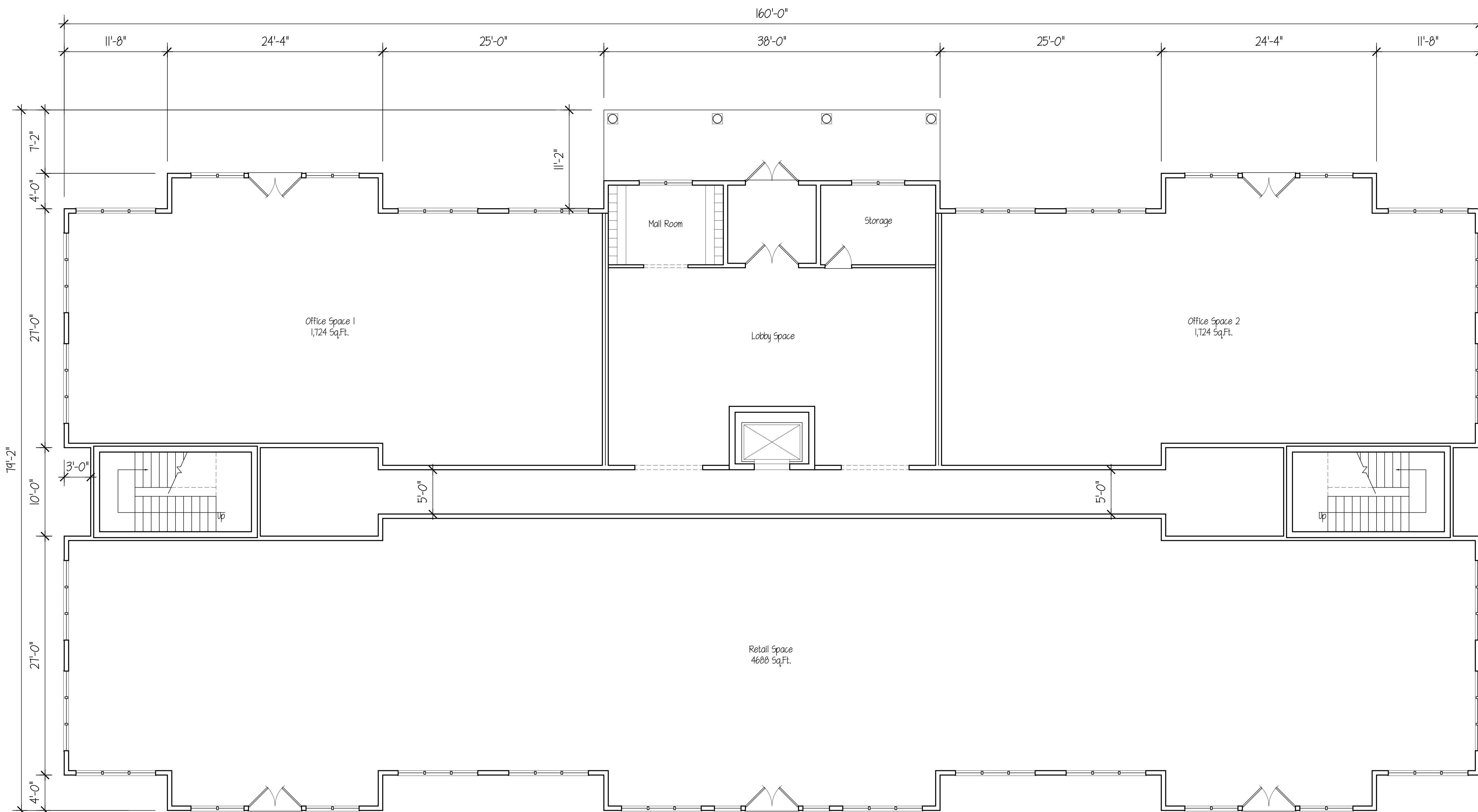
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**Commercial Mixed Use For:**  
**1380 Albany Post Rd.**  
**Croton-On-Hudson, NY.**

Revision	Date
	Sept. 13, 2021
Job No	221-089
Drawing	2 OF 4

**DeMasi Architects P.C.**  
 105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549  
 PHONE: (914) 666-3856  
 EMAIL: [Lo@DemasiArchitects.com](mailto:Lo@DemasiArchitects.com)

Do Not Scale Prints



**Ground Floor Plan**  
Scale: 3/16" = 1'-0"

**DeMasi Architects P.C.**  
105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549  
PHONE: (914) 666-3856  
EMAIL: [Lo@DemasiArchitects.com](mailto:Lo@DemasiArchitects.com)

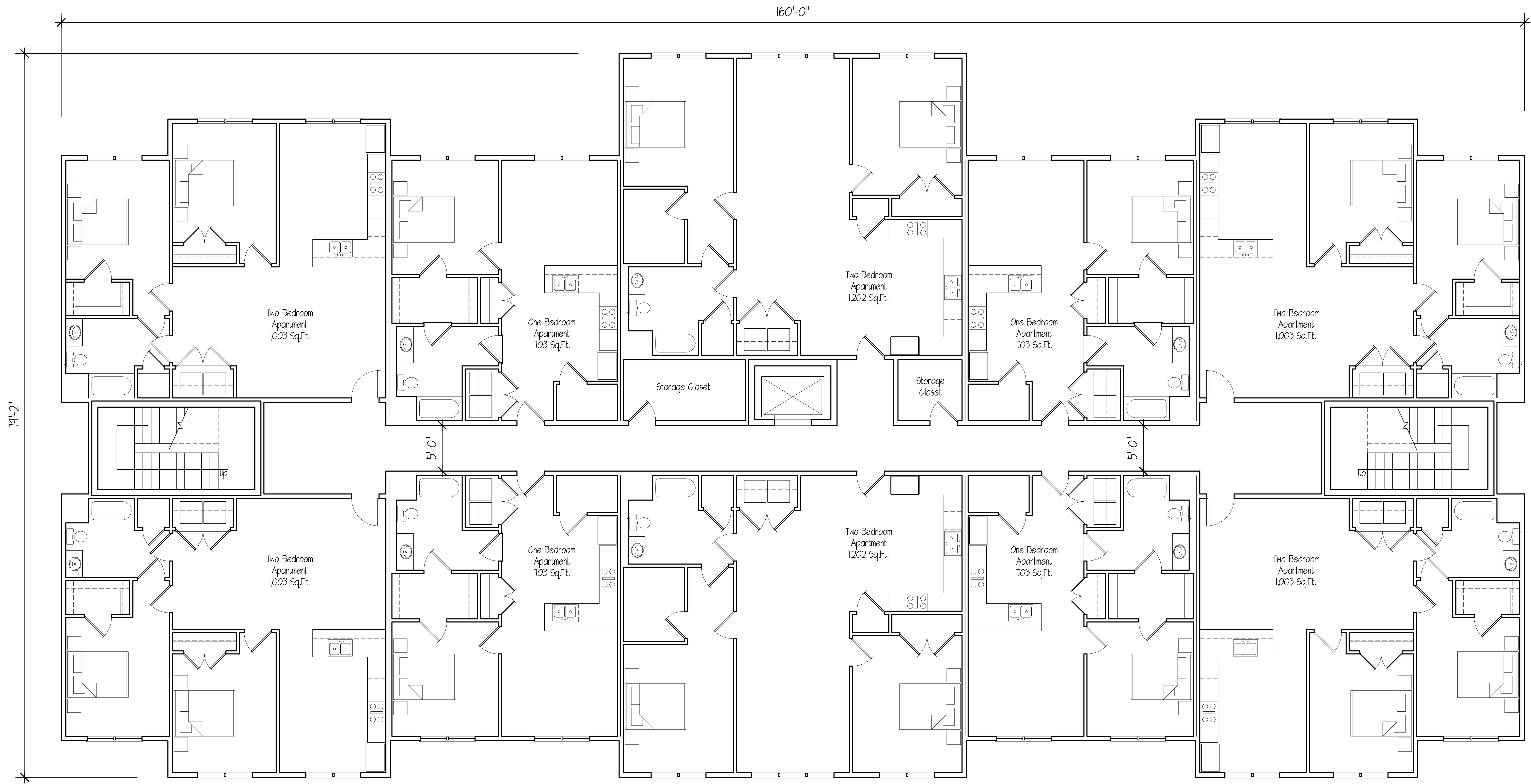


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**Commercial Mixed Use For:**  
**1380 Albany Post Rd.**  
**Croton-On-Hudson, NY.**

Revision	Date
Date	Sept. 13, 2021
Job No	221-089
Drawing	3 OF 4

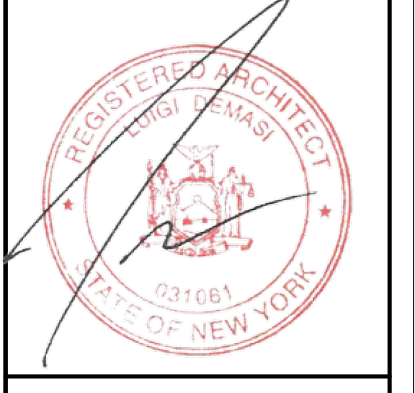




**Second & Third Floor Plan**  
 Scale: 3/16" = 1'-0"

Apartment Numbers For Second And Third Floors  
 (8) Single Bedrooms  
 (12) Double Bedrooms  
 For A Total Of 32 Beds

**DeMasi Architects P.C.**  
 105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549  
 PHONE: (914) 666-3956  
 EMAIL: [Lo@DemasiArchitects.com](mailto:Lo@DemasiArchitects.com)



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**Commercial Mixed Use For:**  
**1380 Albany Post Rd.**  
**Croton-on-Hudson, NY.**

Revision	Date
	Sept. 13, 2021
Job No	221-089
Drawing	4 OF 4

## **EXHIBIT F**

**VILLAGE OF CROTON-ON-HUDSON  
BOARD OF TRUSTEES**

**LOCAL LAW NO. \_\_-2021**

**A LOCAL LAW TO AMEND CHAPTER 230 ZONING OF THE CODE OF THE  
VILLAGE OF CROTON-ON-HUDSON TO ESTABLISH USE AND  
BULK/AREA REGULATIONS PERTAINING TO THE  
NORTH END GATEWAY DISTRICT**

**Section One.** Section 230-20.3 of the Code of the Village of Croton-on-Hudson is hereby amended as follows:

A. Permitted uses. Unless otherwise specified in this chapter, the uses permitted in the Gateway District areas shall be the same as those permitted in the underlying zoning district.

B. Special permit uses. The uses permitted in the Gateway District areas by special permit shall be the following:

(1) Unless otherwise specified in this chapter, all special permit uses permitted in the underlying zoning district (subject to the underlying districts' requirements and criteria) shall be permitted in the Gateway District areas by special permit of the Village Board of Trustees.

(2) Farmers markets, green markets or garden centers by special permit of the Village Board of Trustees, subject to the requirements and criteria set forth in Article X of this chapter.

(3) In the Harmon/South Riverside Gateway District area, mixed use, by special permit of the Village Board of Trustees, subject to the following requirements and criteria and to the requirements/criteria contained in Article X of this chapter:

(a) Notwithstanding any other provision of this chapter to the contrary, for the purposes of this Article IVA, "mixed use" shall mean a combination in one building of residential dwelling units and other permitted and/or special permit uses; provided, however:

[1] At least 50% of the area of the first floor of any mixed-use building must be used for nonresidential use. Residential uses may not be located in the portion of a building's first floor which is immediately inside the building's front facade, it being the intention of this chapter that first-floor front building facades, and the building areas immediately inside first-floor front building facades, will be used for nonresidential purposes. It is the further intention of this law that any first-floor residential space will be located "behind" first-floor nonresidential space as viewed from the street/sidewalk adjacent to the building front. For the purpose of this subsection, buildings located on street corners shall be

deemed to have building fronts on each of the intersecting streets which form the street corner.

[2] There shall be no percentage restrictions on the amount of residential versus nonresidential space on the second or third floor of a mixed-use building.

[3] Residential dwelling units may be studios, one-bedroom units and two-bedroom units only. No more than 50% of the total number of dwelling units in a building may be two-bedroom units.

(b) Notwithstanding any provisions of § 230-20.4 or any other provisions of this chapter to the contrary, the following area and bulk regulations shall apply to mixed-use buildings in the Harmon/South Riverside Gateway area. To the extent that contrary area/bulk regulations are not specified in this subsection, they shall be as otherwise provided in this Code:

[1] Maximum floor area ratio (FAR) shall be 0.8.

[2] Maximum height shall be 35 feet/three stories; provided, however, that the third story must be constructed within the roofline of the building.

[3] The minimum front yard setback shall be 15 feet. The maximum front yard setback shall be 20 feet. In accordance with the general provisions of this chapter, corner lots shall be deemed to have front yards on each of the intersecting streets which form the corner.

[4] The Village Board shall have the authority in conducting special permit review to reduce or waive side yard setback requirement(s) of the underlying zone provided that there is otherwise adequate access to parking areas, and provided that one or more of the following criteria are met:

[a] Reducing the setback(s) will facilitate more parking to be provided in the rear of the building than would otherwise be the case.

[b] Reducing the setback(s) will facilitate the interconnection of rear parking lots with those on adjoining property(ies).

[c] Reducing the setback(s) will contribute to the building forming a more unified, cohesive streetscape with adjoining buildings than would otherwise be the case.

[5] With the exception described below, preexisting buildings which do not meet the front yard setback required herein (15 feet to 20 feet) or any of the other area requirements of this chapter (e.g. rear yard setback) shall not be permitted to have a FAR of 0.8 nor to add third-story occupancy. They shall be governed



by the FAR and story limitations of their underlying zone; provided, however, that preexisting buildings which are otherwise area-compliant, but whose front yard setback is between 10 feet and 20 feet (instead of the required 15 feet to 20 feet) shall be permitted to have a FAR of 0.8 and third-story occupancy.

(c) Design regulations. In addition to any other design regulations provided in this Code, the following design guidelines shall apply to mixed-use buildings in the Harmon/South Riverside Gateway area:

[1] The street level facade of the front of any building shall consist of at least sixty-percent transparent glass to facilitate visibility into the building's first-floor commercial premises and a retail streetscape look. For the purpose of this subsection, buildings located on street corners shall be deemed to have building fronts on each of the intersecting streets which form the corner.

[2] Mixed-use buildings in the Harmon/South Riverside Gateway area shall be subject to such additional design guidelines as may be adopted by resolution of the Board of Trustees from time to time.

(d) Parking.

[1] Notwithstanding any other provision of this Code to the contrary, for mixed-use buildings in the Harmon/ South Riverside Gateway area there shall be provided at least the following amount of parking for each residential dwelling unit: one parking space plus one additional parking space for each bedroom in the unit in excess of one bedroom. (Examples: studio apartment: one space; one-bedroom apartment: one space; two-bedroom apartment: two spaces.) The minimum parking for nonresidential space shall be as otherwise required by this chapter. The Village Board of Trustees, as part of its special permit determination, shall have the authority to increase these parking requirements. In the case of each application, the Village Board of Trustees shall consider and make a finding as to whether the above- stated parking requirements are adequate or will be increased based upon the following factors:

[a] The mix of uses proposed to be conducted in the various spaces in the building, considering, among other things, the extent to which their parking demands are likely to overlap.

[b] Whether the applicant is willing to limit areas of the building to only certain uses.

[c] The square footage of each of the proposed residential and commercial units in the building.

[d] The availability of nearby municipal parking.

[e] Such other factors as the Board may deem relevant on a case-by-case basis.

[2] The Board shall have the authority to require applicant(s) to provide and/or pay for a professional parking study.

- (4) In the Municipal Place Gateway District area, on any lot in the C-2 District having frontage on Municipal Place, adjacent to a residential zoning district and having less than three acres, attached single-family homes, multifamily residential buildings and mixed occupancy buildings shall be permitted by special permit of the Village Board of Trustees, subject to the following requirements and criteria and to the requirements/criteria contained in Article X of this Chapter:  
[Added 3-2-2020 by L.L. No. 4-2020]

- (a) Notwithstanding any other provision of this chapter to the contrary, "mixed occupancy" permitted under this section shall mean a combination in one building of residential dwelling units and other permitted and/or special permit uses; provided, however:

[1] Nonresidential uses must be located on the first floor.

[2] There shall be no restrictions on the amount of nonresidential space on the first floor.

- (b) Notwithstanding any provisions of § 230-20.4 or any other provisions of this chapter to the contrary, the following area and bulk regulations shall apply to a development of attached single-family homes, multifamily residential and mixed occupancy buildings permitted under this section. To the extent that contrary area/bulk regulations are not specified in this subsection, they shall be as otherwise provided in this Code:

[1] Maximum floor area ratio (FAR) shall be 0.5.

[2] Maximum height shall be 35 feet/three stories.

[3] The minimum front yard setback shall be 20 feet. The maximum front yard setback shall be 25 feet.

[4] On the property located at 41-51 Maple Avenue and known as Sheet 72.12, Block 3, Lot 3, there shall be a minimum fifty-foot setback from adjacent residential properties on Wells Avenue and Beekman Avenue, which shall remain vegetated.

[5] The property should have only one curb cut, not located on Municipal Place, and located as far from the Municipal Place intersection as practicable.

- (c) Open space. Ten percent of the total area of the site shall be used to create a publicly accessible open space located adjacent to and connected to Municipal Place; provided, however, that the Village Board of Trustees shall have the discretion as part of its special permit review to reduce the area of such open space, provided the Village Board determines other public benefits have been provided as part of the development or

design of the open space. Design of the public space shall include at least the following elements, and shall be evaluated by the Planning Board as part of site plan review:

[1] Paths and benches that connect the site to the street, adjacent sidewalks, and adjacent crosswalks on Municipal Place.

[2] Design improvements to establish a gateway to the area such as enhanced lighting, landscaping, and gateway signage.

(d) Parking and traffic.

[1] Notwithstanding any other provision of this Code to the contrary, for residential or mixed-occupancy buildings permitted under this section, there shall be provided at least the following amount of parking for each residential dwelling unit: one parking space for each studio or one-bedroom unit and two spaces for each unit with two or more bedrooms. The Village Board of Trustees, as part of its special permit determination, shall have the authority to increase these parking requirements. The Village Board of Trustees shall consider and make a finding as to whether the above-stated parking requirements are adequate or will be increased based upon the following factors:

[a] The mix of uses proposed to be conducted in the various spaces in the building, considering, among other things, the extent to which their parking demands are likely to overlap.

[b] Whether the applicant is willing to limit areas of the building to only certain uses.

[c] The square footage of each of the proposed residential and commercial units in the building.

[d] Such other factors as the Board may deem relevant on a case-by-case basis.

[2] The Board shall have the authority to require applicant(s) to provide and/or pay for a professional parking and traffic impact study.

(5) In the North End Gateway District area overlaying the Limited Office O-1 district, mixed use buildings shall be permitted by special permit of the Village Board of Trustees, subject to the following requirements and criteria and to the requirements/criteria contained in Article X of this chapter:

(a) Notwithstanding any other provision of this chapter to the contrary, for the purposes of this section, "mixed use" shall mean a combination in one building of residential dwelling units and other permitted and/or special permit uses, including, but not limited to retail stores and banks, personal service establishments, and business and professional offices, and showrooms; provided, however:

[1] At least 50% of the area of the first floor of any mixed use building must be used for nonresidential use. Residential uses may not be located in the portion of a building's first floor which is immediately inside the building's front facade, it being the intention of this chapter that first floor front building facades, and the building areas immediately inside first floor front building facades, will be used for nonresidential purposes. It is the further intention of this law that any first floor residential space will be located "behind" first floor nonresidential space as viewed from the street/sidewalk adjacent to the building front. For the purpose of this subsection, buildings located on street corners shall be deemed to have building fronts on each of the intersecting streets which form the street corner.

[2] There shall be no percentage restrictions on the amount of residential versus nonresidential space on the second or third floor of a mixed-use building.

[3] Residential dwelling units may be studios, one-bedroom units and two-bedroom units only.

(b) Notwithstanding any provisions of § 230-20.4 or any other provisions of this chapter to the contrary, the following area and bulk regulations shall apply to mixed use buildings in the North End Gateway area overlaying the Limited Office O-1 district. To the extent that contrary area/bulk regulations are not specified in this subsection, they shall be as otherwise provided in this Code:

[1] Maximum floor area ratio (FAR) shall be 0.8.

[2] Maximum height shall be 35 feet/three stories; provided, however, that the third story must be constructed within the roofline of the building.

[3] The Village Board shall have the authority in conducting special permit review to reduce or waive yard setback requirement(s) of the underlying zone, provided that there is otherwise adequate access to parking areas, and provided that one or more of the following criteria are met:

[a] Reducing the setback(s) will facilitate more parking to be provided in the rear of the building than would otherwise be the case.

[b] Reducing the setback(s) will facilitate the interconnection of rear parking lots with those on adjoining properties.

[c] Reducing the setback(s) will contribute to the building forming a more unified, cohesive streetscape with existing or proposed buildings on other properties in the North End Gateway District than would otherwise be the case.

[4] In accordance with the general provisions of this chapter, corner lots shall be deemed to have front yards on each of the intersecting streets which form the corner and the front yard on a Village street shall be 50 feet.

(c) Notwithstanding any provisions of § 230-48 or any other provisions of this chapter to the contrary, at least one Affordable Affirmatively Furthering Fair Housing (AFFH) unit shall be provided in any mixed use building in the North End Gateway area overlaying the Limited Office O-1 district, subject to the standards for the provision of affordable housing units.

(d) Design regulations. In addition to any other design regulations provided in this Code, the following design guidelines shall apply to mixed use buildings in the North End Gateway area overlaying the Limited Office O-1 district in the North End Gateway District area:

[1] All vehicle access shall be from the state highway except that vehicle access for one and two-family homes may also be from a Village street.

[2] Mixed use buildings in the North End Gateway District area shall be subject to such additional design guidelines as may be adopted by resolution of the Board of Trustees from time to time.

(e) Parking.

[1] Notwithstanding any other provision of this Code to the contrary, for mixed use buildings in the North End Gateway District area overlaying the Limited Office O-1 district there shall be provided at least the following amount of parking for each residential dwelling unit: one parking space plus one additional parking space for each bedroom in the unit in excess of one bedroom. (Examples: studio apartment: one space; one-bedroom apartment: one space; two-bedroom apartment: two spaces.) The minimum parking for non-residential space shall be as otherwise required by this chapter. The Village Board of Trustees, as part of its special permit determination, shall have the authority to increase or decrease these parking requirements. In the case of each application, the Village Board of Trustees shall consider and make a finding as to whether the above-stated parking requirements are adequate or will be increased or decreased based upon the following factors:

[a] The mix of uses proposed to be conducted in the various spaces in the building, considering, among other things, the extent to which their parking demands are likely to overlap.

[b] Whether the applicant is willing to limit areas of the building to only certain uses.

[c] The square footage of each of the proposed residential and commercial units in the building.

[d] The availability of nearby dedicated parking on other adjacent properties. Any dedicated parking on other adjacent properties shall be by a filed legal agreement.

[e] Such other factors as the Board may deem relevant on a case-by-case basis.

[2] The Board shall have the authority to require applicant(s) to provide and/or pay for a professional parking study.

C. Prohibited uses. Notwithstanding uses otherwise permitted by the underlying zoning district, the following uses shall be prohibited in all the Gateway District areas:

- (1) Commercial parking lots.
- (2) Automobile storage lots.
- (3) Drive-through windows for commercial establishments.
- (4) Automobile or other vehicle dealerships.

***1. Editor's Note: This local law also repealed L.L. No. 4-2009, adopted 11-16-2009, which was stayed by court-ordered stipulation. Section 12 of L.L. No. 1-2012 states: "The provisions of Sections 2 through 9 of this local law shall not apply to any proposed project for which a complete application has been submitted prior to the effective date hereof. The provisions of the Zoning Law in effect on November 15, 2009, shall apply to such proposed projects."***

**Section Two – Severability.** If any section, subsection, clause, phrase or other portion of this Local Law is, for any reason, declared invalid, in whole or in part, by any court, agency, commission, legislative body or other authority of competent jurisdiction, such portion shall be deemed a separate, distinct and independent portion. Such declaration shall affect the validity of the remaining portions hereof, which other portions shall continue in full force and effect.

**Section Three – Effective Date.** This local law shall take effect immediately upon filing in the office of the New York State Secretary of State in accordance with Section 27 of the Municipal Home Rule Law.

# **EXHIBIT G**

**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: 1380 ALBANY POST ROAD PROPOSED DEVELOPMENT		
Project Location (describe, and attach a general location map): 1380 ALBANY POST ROAD, CROTON-ON-HUDSON, NY		
Brief Description of Proposed Action (include purpose or need): COMBINING LOTS 67.10-2-14 & 67.10-2-15 TO BUILD A RETAIL AND APARTMENT BUILDING.		
Name of Applicant/Sponsor: THE MATRA GROUP LLC		Telephone: 914-271-6466
		E-Mail:
Address: 1380 ALBANY POST ROAD		
City/PO: CROTON-ON-HUDSON	State: NY	Zip Code: 10520
Project Contact (if not same as sponsor; give name and title/role): ANTHONY MATRA		Telephone: 914-271-6466
		E-Mail:
Address: 1380 ALBANY POST ROAD		
City/PO: CROTON-ON-HUDSON	State: NY	Zip Code: 10520
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:



**B. Government Approvals**

**B. Government Approvals, Funding, or Sponsorship.** (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	VILLAGE BOARD-ZONING AMENDMENTS	09-14-2021
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	VILLAGE PLANNING BOARD- SITE PLAN APPROVAL	10-14-2021
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	WCDH-SEPTIC	07-27-2021
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYS DEC-STORMWATER AND SPDES PERMIT	10-14-2021
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources. i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No  ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

**C. Planning and Zoning**

**C.1. Planning and zoning actions.**

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?  Yes  No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

**C.2. Adopted land use plans.**

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?  Yes  No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?  Yes  No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?

O-1, NEGD

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No

If Yes,

i. What is the proposed new zoning for the site? NEGD

**C.4. Existing community services.**

a. In what school district is the project site located? HENDRICK-HUDSON SCHOOL DISTRICT

b. What police or other public protection forces serve the project site?

CROTON-ON-HUDSON POLICE DEPARTMENT

c. Which fire protection and emergency medical services serve the project site?

CROTON FIRE DEPARTMENT

d. What parks serve the project site?

GRAFF SANCTUARY

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? COMMERCIAL, RESIDENTIAL

b. a. Total acreage of the site of the proposed action? 1.62 acres

b. Total acreage to be physically disturbed? 1.66 acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 2.00 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No

i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed?  Yes  No

iii. Number of lots proposed? \_\_\_\_\_

iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will the proposed action be constructed in multiple phases?  Yes  No

i. If No, anticipated period of construction: 18 months

ii. If Yes:

- Total number of phases anticipated \_\_\_\_\_
- Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year
- Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_

f. Does the project include new residential uses?  Yes  No

If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	0	0	0	20
At completion of all phases	0	0	0	20

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No

If Yes,

i. Total number of structures 1

ii. Dimensions (in feet) of largest proposed structure: 30 height; 72 width; and 160 length

iii. Approximate extent of building space to be heated or cooled: 33,400 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No

If Yes,

i. Purpose of the impoundment: \_\_\_\_\_

ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_

iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres

v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

## D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
(Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)

If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): \_\_\_\_\_
- Over what duration of time? \_\_\_\_\_

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No

If yes, describe. \_\_\_\_\_

v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres

vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No

If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments?  Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes: \_\_\_\_\_

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes: \_\_\_\_\_

i. Total anticipated water usage/demand per day: \_\_\_\_\_ 4,500 gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes: \_\_\_\_\_

- Name of district or service area: CROTON-ON-HUDSON VILLAGE
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes: \_\_\_\_\_

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If Yes: \_\_\_\_\_

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes: \_\_\_\_\_

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ 4,500 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

SANITARY WASTEWATER

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes: \_\_\_\_\_

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

• Do existing sewer lines serve the project site?  Yes  No  
 • Will a line extension within an existing district be necessary to serve the project?  Yes  No  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_  
 v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
 A SUBSURFACE SEPTIC SYSTEM CONSISTING OF SEPTIC TANK, PUMP CHAMBER, AND LEACHING GALLEYS.  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 N/A \_\_\_\_\_  
 \_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or 0.92 acres (impervious surface)  
 \_\_\_\_\_ Square feet or 1.62 acres (parcel size)  
 ii. Describe types of new point sources. CURBS, GUTTERS, PIPES.  
 \_\_\_\_\_  
 \_\_\_\_\_

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 ON-SITE STORMWATER INFILTRATION SYSTEM.  
 \_\_\_\_\_  
 \_\_\_\_\_

• If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

• Will stormwater runoff flow to adjacent properties?  Yes  No  
 iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 HEAVY EQUIPMENT FOR CONSTRUCTION  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 N/A \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 N/A \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

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i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

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j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_

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iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

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vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
430,000 kWh

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):  
VIA GRID/LOCAL UTILITY

iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

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l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 7:30 AM - 4:30 PM _____</li> <li>• Saturday: _____ NONE _____</li> <li>• Sunday: _____ NONE _____</li> <li>• Holidays: _____ NONE _____</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 9 AM - 9 PM _____</li> <li>• Saturday: _____ 9 AM - 9 PM _____</li> <li>• Sunday: _____ 9 AM - 6 PM _____</li> <li>• Holidays: _____ NONE _____</li> </ul>
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m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No  
 If yes:  
 i. Provide details including sources, time of day and duration:  
 HEAVY EQUIPMENT FOR EXCAVATION AND PAVING, 8 AM-4 PM, 6 MONTHS.

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ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: TREELINE TO BE REMOVED DURING CONSTRUCTION.

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n. Will the proposed action have outdoor lighting?  Yes  No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
 BUILDING AND PARKING LIGHTING AS PER CODE.

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ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: TREES BETWEEN EXISTING BUILDING AND PROPERTY LINE TO BE REMOVED.

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o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:

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p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No  
 If Yes:  
 i. Product(s) to be stored \_\_\_\_\_  
 ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)  
 iii. Generally, describe the proposed storage facilities: \_\_\_\_\_

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q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No  
 If Yes:  
 i. Describe proposed treatment(s):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

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ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

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r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No  
 If Yes:  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: \_\_\_\_\_ 10 tons per \_\_\_\_\_ YEAR (unit of time)  
 • Operation : \_\_\_\_\_ 5.1 tons per \_\_\_\_\_ YEAR (unit of time)  
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: \_\_\_\_\_  
 • Operation: \_\_\_\_\_ RECYCLING DUMPSTER TO REDUCE SOLID WASTE  
 \_\_\_\_\_  
 iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: BROUGHT TO TRANSFER STATION  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_ DUMPSTERS OUTSIDE FOR APARTMENTS AND RETAIL STORE FRONTS  
 \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

---

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

- Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe:

COMMERCIAL STORES AND OFFICES.  
 \_\_\_\_\_

b. Land uses and coverytypes on the project site.

Land use or Coverytype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.27	0.92	+0.65
• Forested	1.2	0.70	-0.50
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	.15	0	-0.15
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	0	0	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: _____			



c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities:  
\_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection:  
\_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:  
\_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:  
\_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): 546031  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):  
DEC ID 546031 IS STILL CONTAMINATED WITH PCBs. ONGOING WASTE DISPOSAL PERIOD.  
\_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

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**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ >11 feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site: CrC \_\_\_\_\_ 100 %  
 \_\_\_\_\_ %  
 \_\_\_\_\_ %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ >11 feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ % of site  
 Moderately Well Drained: 100 % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: 100 % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_  
 \_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No  
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_  
 \_\_\_\_\_

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i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_



e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  Yes  No

If Yes:

i. Nature of historic/archaeological resource:  Archaeological Site  Historic Building or District

ii. Name: \_\_\_\_\_

iii. Brief description of attributes on which listing is based: \_\_\_\_\_

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f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?  Yes  No

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g. Have additional archaeological or historic site(s) or resources been identified on the project site?  Yes  No

If Yes:

i. Describe possible resource(s): \_\_\_\_\_

ii. Basis for identification: \_\_\_\_\_

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h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?  Yes  No

If Yes:

i. Identify resource: BRITON BROOK SANCTUARY, GRAFF SANCTUARY, OSCAWANA ISLAND PARK

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): STATE PARKS

iii. Distance between project and resource: \_\_\_\_\_, 15 miles.

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i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?  Yes  No

If Yes:

i. Identify the name of the river and its designation: \_\_\_\_\_

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?  Yes  No

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

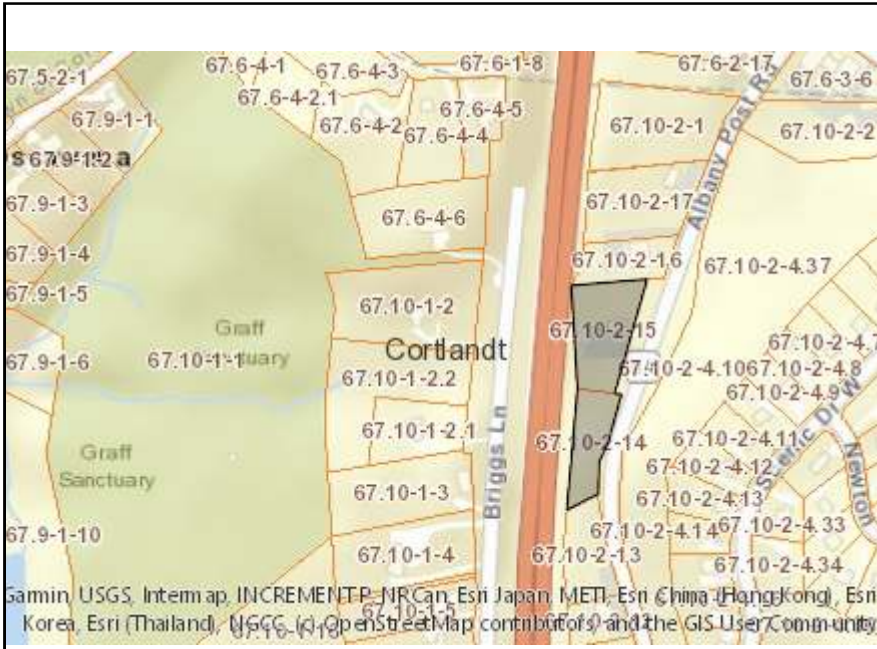
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Anthony J. Matra Date 09.13.2021

Signature  Title President



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



B.i.i [Coastal or Waterfront Area]	Yes
B.i.ii [Local Waterfront Revitalization Area]	Yes
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	546031
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	No
E.2.h.iii [Surface Water Features]	No
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes

E.2.o. [Endangered or Threatened Species - Name]	Atlantic Sturgeon, Shortnose Sturgeon
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	Yes
E.3.d [Critical Environmental Area - Name]	Hudson River
E.3.d.ii [Critical Environmental Area - Reason]	Exceptional or unique character
E.3.d.iii [Critical Environmental Area – Date and Agency]	Agency:Westchester County, Date:1-31-90
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No