

LIST OF DRAWINGS				
SHEET TITLE	SHEET NUMBER	TITLE	ISSUE DATE	LAST REVISED
EC-0.1	1 OF 3	EXISTING CONDITIONS	JUNE 20, 2019	---
SP-1.1	2 OF 3	SITE DEVELOPMENT PLAN	JUNE 20, 2019	---
UD-2.1	3 OF 3	CONSTRUCTION DETAILS	JUNE 20, 2019	---

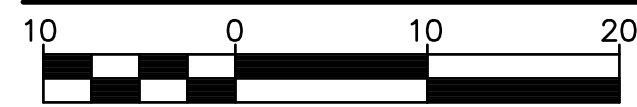
SITE DISTURBANCE (SLOPES)		
	OVERALL SITE TOTAL AREA (SQ. FT.)	DISTURBED (SQ. FT.)
15% TO 25% SLOPES	1,139	1,139
25% TO 35% SLOPES	274	274
>35% SLOPES	84	84
TOTAL STEEP SLOPES	1,497	1,497

NOTE: DISTURBANCE OF THE ENTIRE PARCEL IS ASSUMED ALTHOUGH TREES INCLUDING THE 48" OAK AND ITS SURROUNDING AREA NEAR THE WESTERN CORNER OF THE PROPERTY IS TO BE PRESERVED.

SLOPE CALCULATIONS			
	DIST. AREA (SQ. FT.)	WEIGHING FACTOR	ADJ. AREA (SQ. FT.)
15% TO 25% SLOPES	1,139	1.0	1,139
25% TO 35% SLOPES	274	1.5	411
>35% SLOPES	84	3.0	252
TOTAL STEEP SLOPES	1,497		1,802 < 13,068

NOTE: TOTAL STEEP SLOPE DISTURBANCE IS 1,497 SQUARE FEET WHICH IS LESS THAN LESS THAN HALF THE TOTAL LOT AREA (6,250/2 = 3,125 SQUARE FEET). SLOPE DISTURBANCES DO NOT MEET ANY OTHER THRESHOLDS DESCRIBED IN SECTION 195-3 OF THE VILLAGE CODE THEREFORE THE STEEP SLOPES ARE NOT REGULATED BY THE VILLAGE CODE.

EXISTING CONDITIONS



SCALE: 1"=10'

LEGEND

EXISTING CONTOUR	
EXISTING SLOPES 15% TO 25%	
EXISTING SLOPES 25% TO 35%	
EXISTING SLOPES > 35%	
EXISTING TREE	
EXISTING TREE TO BE REMOVED	

UTILITY LEGEND

	FIRE HYDRANT
	GAS VALVE
	POLYVINYL CHLORIDE PIPE
	WATER VALVE

SUBTERRANEAN

	DRAIN LINE
	GAS LINE (STRIPED IN FIELD)
	SANITARY LINE
	WATER LINE (STRIPED IN FIELD)

TREE LEGEND

	OK14TW
	ATTRIBUTE (TW = TWN)
	CALIPER (14 = 14")
	SPECIES (OK = OAK)
	TREE LOCATION

KEY

SPECIES
PE PINE
SP SPRUCE

ATTRIBUTES

TR TRIPLE

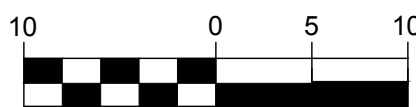
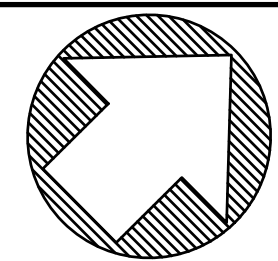
*DOUBLE TREES ARE THOSE WHERE THE TRUNK SPLITS AT 4.5 FEET OR HIGHER, TWN TREES ARE THOSE WHERE THE TRUNK SPLITS BELOW 4.5 FEET.



LOCATION MAP SCALE: 1" = 200'

GENERAL NOTES

- TOTAL AREA OF PARCEL IS 49,763 SQUARE FEET.
- SURVEY AND TOPOGRAPHIC DATA SHOWN HEREON IS TAKEN FROM A SURVEY PREPARED BY BADEY & WATSON SURVEYING & ENGINEERING, P.C. FOR DORAN HOMES CORP DATED FEBRUARY 5, 2018.
- PARCEL IS LOCATED IN AN RA-5 ZONING DISTRICT.



SCALE: 1" = 10 FT.

APPLICANT

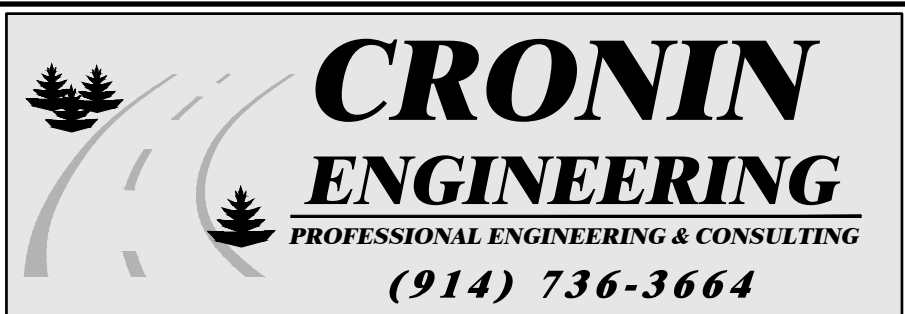
80 OLCOTT AVENUE LLC
111 RIDGECREST ROAD
BRIARCLIFF MANOR, NEW YORK 10510

• UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 145, SECTION 7209 (2), IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.
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REVISIONS

#	REASON	DATE
1	PER PHONE COMMENTS FROM VILLAGE 7/5/19 AND 7/9/19	JULY 9, 2019

SECTION: 79.9	TIMOTHY L. CRONIN III LICENSE #062980
BLOCK: 2	
LOT: 78	
DRAWN: KAA	
CHECKED: KCS/TC3	
PROJECT: DORAN - 80 OLCOTT AVE.	
DATE: JULY 2, 2019	
JOB #: 190309	



39 Arlo Lane
Cortlandt Manor, New York 10567

EXISTING CONDITIONS

PROPOSED RESIDENCE AT
OLCOTT AVENUE
FOR
80 OLCOTT AVENUE LLC

LOCATION:
80 OLCOTT AVENUE
VILLAGE OF CROTON-ON-HUDSON, NEW YORK

SHEET 1 OF 3

EC-0.1

ZONING DATA CHART - RA-5 (ONE FAMILY RESIDENCE) ZONING DISTRICT		
	REQUIRED	PROVIDED
LOT AREA	5,000 S.F.	6,250 S.F.
LOT WIDTH	50 L.F.	50 L.F.
LOT DEPTH	100 L.F.	125 L.F.
FRONT YARD	15 L.F.	15 L.F.
ONE SIDE YARD	8 L.F.	8 L.F.
BOTH SIDE YARDS	20 L.F.	20 L.F.
REAR YARD	25 L.F.	49 L.F.
HABITABLE (FLOOR AREA/DWELLING UNIT)	>880 S.F.	±2,277 S.F.*
OFF-STREET PARKING SPACES	2	2
BUILDING HEIGHT (STORIES) (FEET)	2 1/2 MAX.	2 1/2
BUILDING COVERAGE (PERCENT)	35 MAX.	<35
FLOOR AREA RATIO	40% MAX.	±24%
	0.55	±0.36

* HABITABLE FLOOR AREA APPROXIMATE. SEE ARCHITECTURAL PLANS FOR EXACT FIGURE.

DRAINAGE NOTES

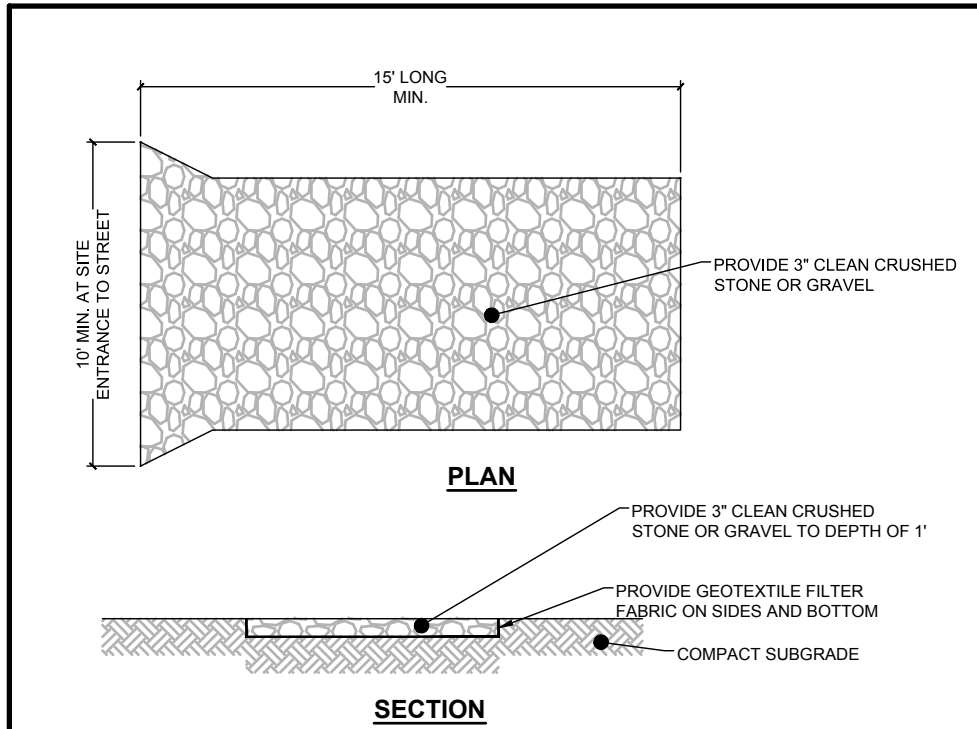
- ALL ROOF LEADERS FROM PROPOSED RESIDENCE SHALL CONNECT TO YARD DRAIN 2 WITH 6" PVC PIPE.
- DEEP AND PERCOLATION TESTING SHALL BE PERFORMED IN THE VICINITY OF THE PROPOSED INFILTRATION SYSTEM WITH RESULTS PROVIDED TO THE VILLAGE ENGINEER PRIOR TO INSTALLATION OF THE INFILTRATION SYSTEM. SHOULD A PERCOLATION VALUE OF LESS THAN 1" DROP IN 15 MINUTES OR LESS THAN 3 FEET OF SOIL BE FOUND BELOW THE CHAMBER SYSTEM BOTTOM, A REPORT FOR A REDESIGNED SYSTEM SHALL BE SUBMITTED TO AND APPROVED BY THE VILLAGE ENGINEER PRIOR TO INFILTRATION SYSTEM INSTALLATION.

EROSION CONTROL NOTES

- ADDITIONAL SILT FENCE AND OTHER EROSION CONTROL MEASURES MAY BE REQUIRED THROUGH THE COURSE OF CONSTRUCTION AS REQUIRED BY THE VILLAGE OR CONSULTING ENGINEER.
- PROVIDE TEMPORARY STABILIZATION (SEED AND MULCH OR APPROVED EQUIVALENT) TO ALL DISTURBED AREAS TO BE LEFT IDLE FOR 14 DAYS OR LONGER. PROVIDE TOPSOIL, SEED AND MULCH WITHIN SEVEN DAYS FOR ALL DISTURBED AREAS WHERE WORK IS COMPLETED.
- ALL DISTURBED AREAS NOT COVERED WITH HARD IMPROVEMENTS OR LANDSCAPING SHALL BE TOPSOILED, SEEDED AND MULCHED WITHIN SEVEN DAYS OF FINAL DISTURBANCE.

LEGEND

EXISTING CONTOUR	
PROPOSED CONTOUR	
ZONING SETBACK LINE	
PROPOSED RETAINING WALL	
PROPOSED SEWER SERVICE	
PROPOSED 3/4" OR 1" TYPE K COPPER WATER SERVICE	
PROPOSED SILT FENCE	
PROPOSED INLET PROTECTION	
PROPOSED STABILIZED CONSTRUCTION ENTRANCE	

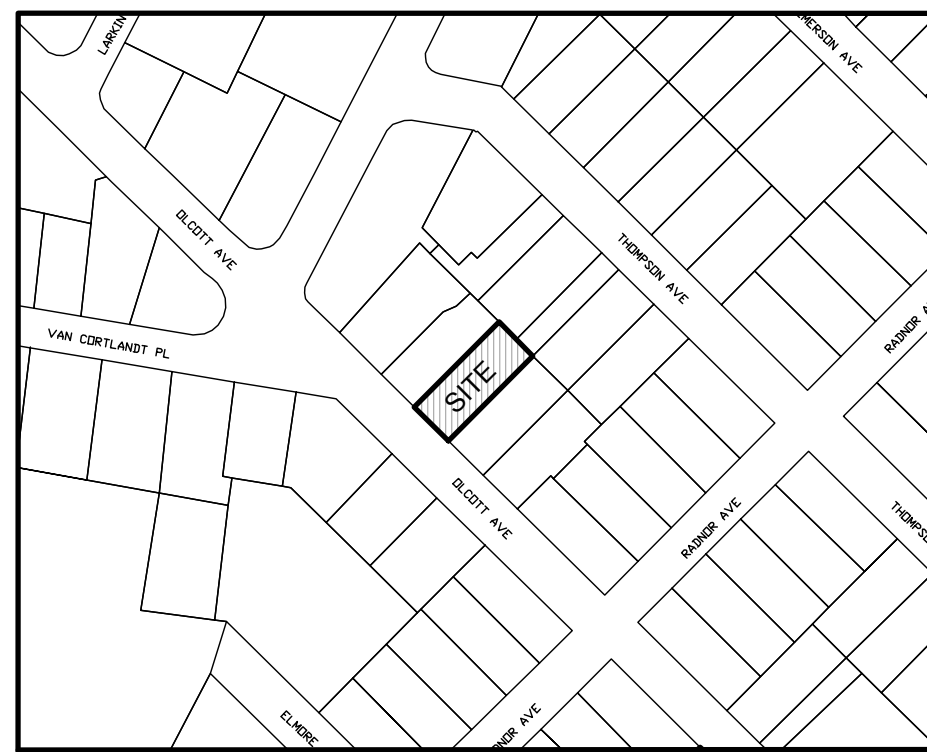
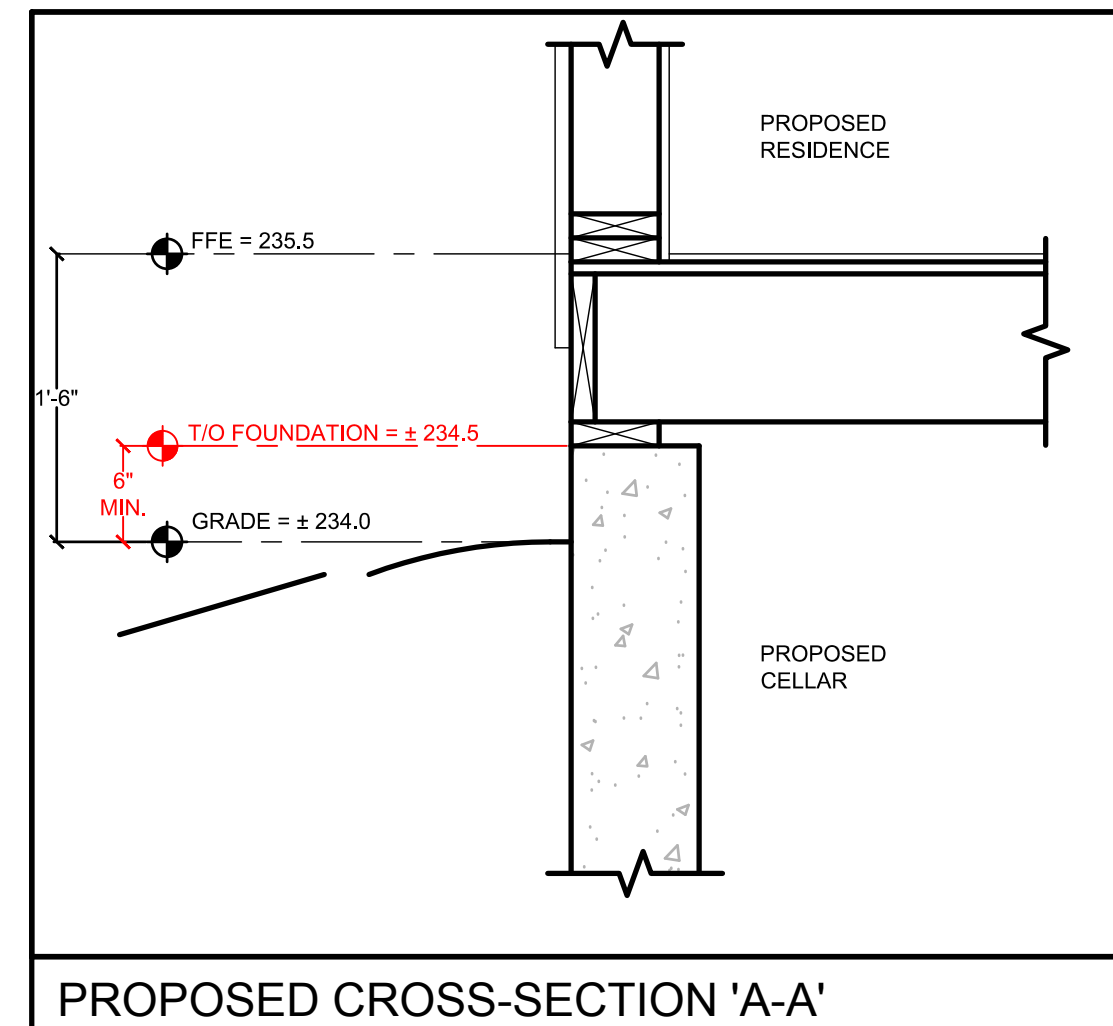
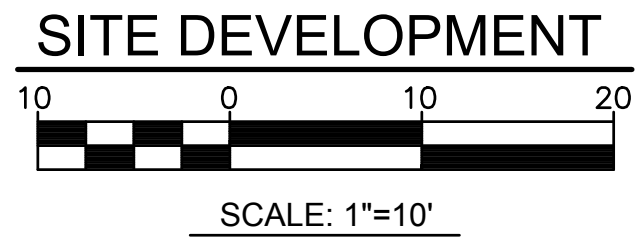
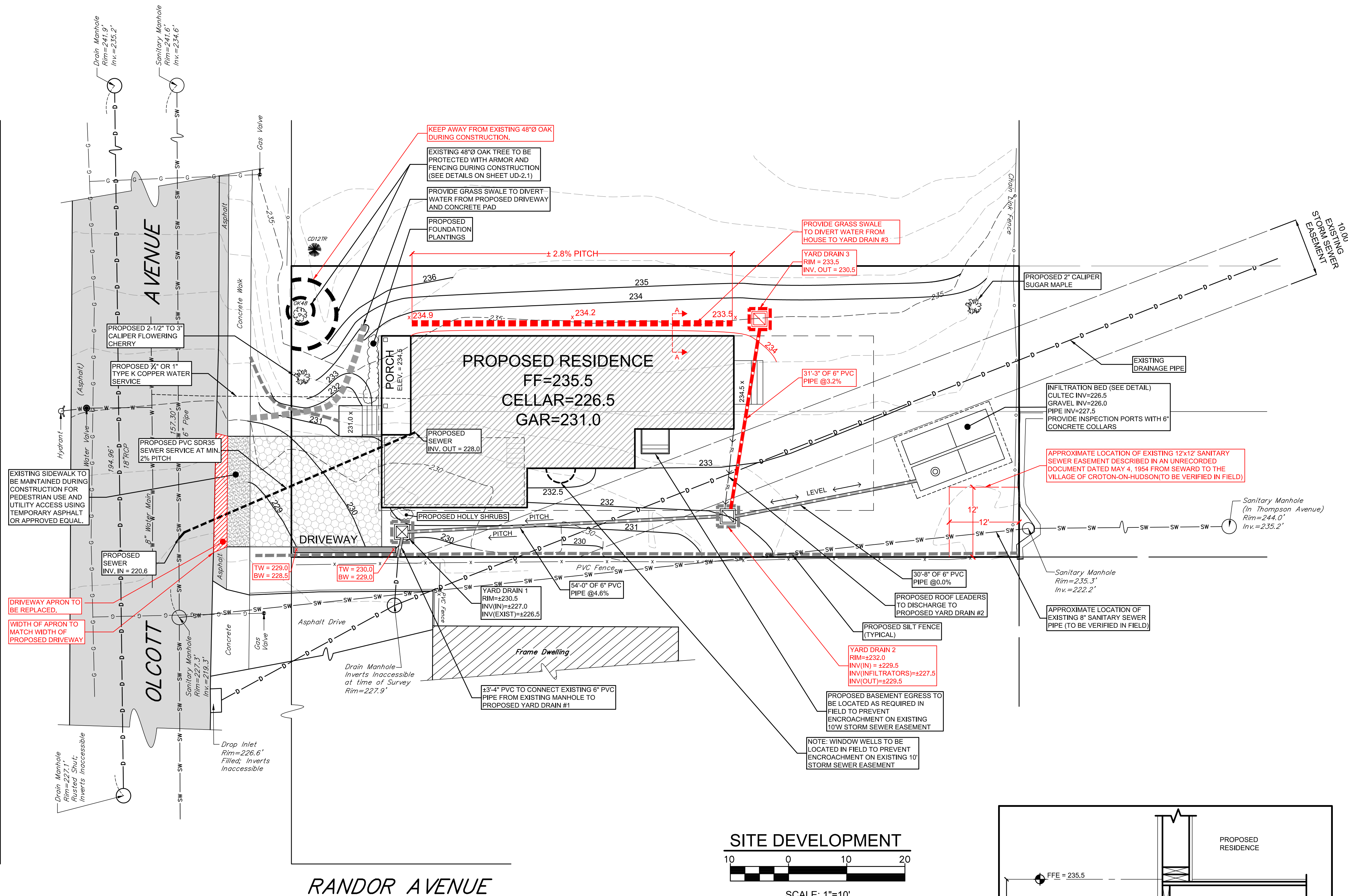


INSTALLATION NOTES:

- STONE SIZE SHALL BE 3" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT ONLY.
- LENGTH SHALL BE AS SHOWN BUT NOT LESS THAN 15'.
- THE THICKNESS SHALL BE NO LESS THAN 12" AT THE CONSTRUCTION ENTRANCE.
- THE WIDTH SHALL BE 10' AT A MINIMUM BUT NOT LESS THAN THE FULL WIDTH OF THE TRAVELED WAY.
- FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO THE PLACING OF ANY STONE. FILTER FABRIC WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE CONSTRUCTION.
- IF SURFACE WATER IS FLOWING TOWARD THE CONSTRUCTION ENTRANCE, IT SHALL BE PIPED UNDERNEATH THE STABILIZED ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SIDE SLOPES SHALL BE PERMITTED.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT FROM CONSTRUCTION INTO THE PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO CAPTURE SEDIMENT. ANY SEDIMENT TRACKED, DROPPED OR WASHED INTO PUBLIC RIGHT OF WAY SHALL BE REMOVED IMMEDIATELY.
- WHEELS OF CONSTRUCTION VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING ONTO THE PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE IN AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROPRIATE SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED FOR THE DURATION OF CONSTRUCTION OR UNTIL FINAL GRADE IS ACHIEVED.

N.T.S.

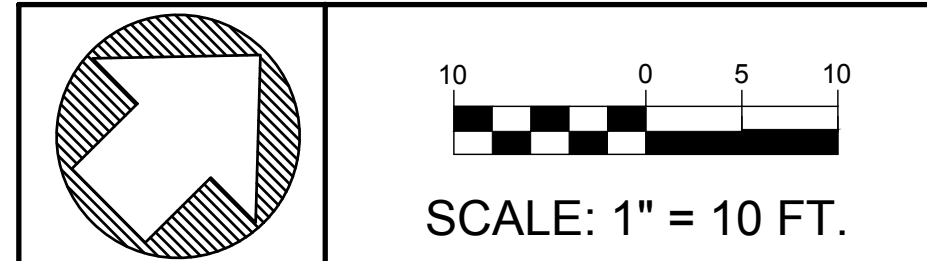
STABILIZED CONSTRUCTION ENTRANCE



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- PARCEL IS LOCATED IN AN RA-5 ZONING DISTRICT.



APPLICANT

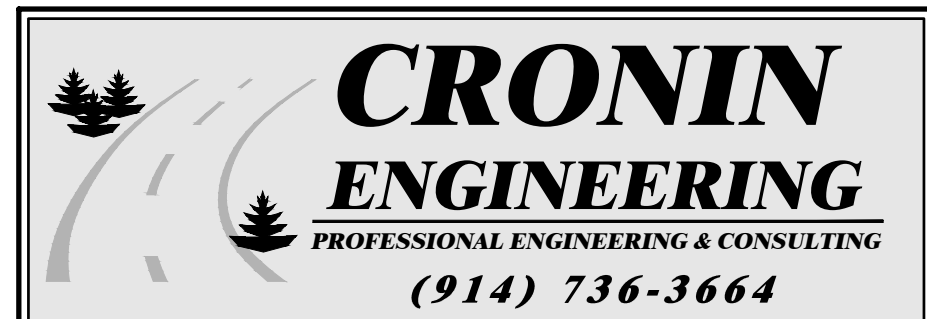
80 OLCOTT AVENUE LLC
111 RIDGECREST ROAD
BRIARCLIFF MANOR, NEW YORK 10510

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JOB #:	190309	
		TIMOTHY L. CRONIN III LICENSE #062980



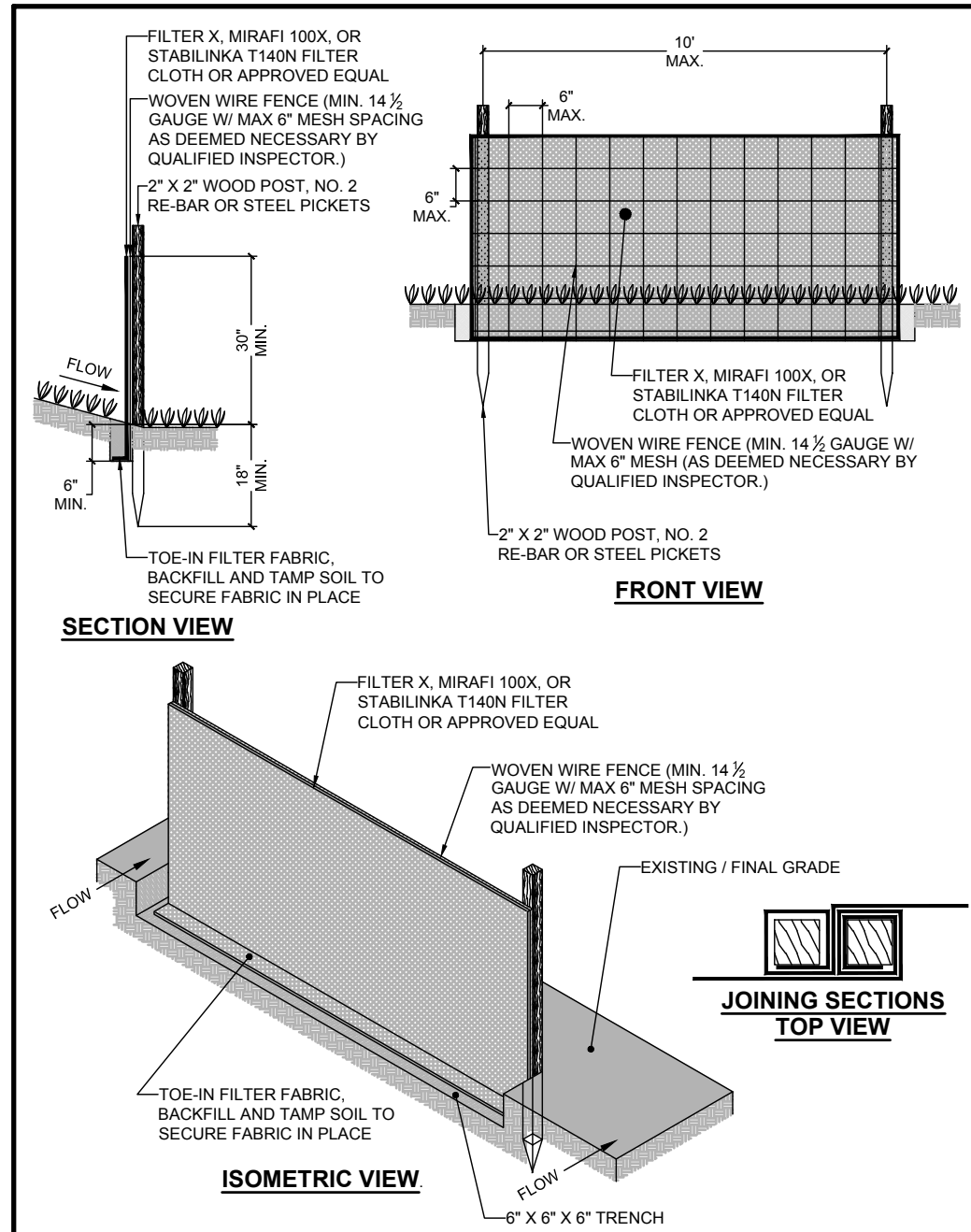
SITE DEVELOPMENT PLAN

PROPOSED RESIDENCE AT
OLCOTT AVENUE
FOR
80 OLCOTT AVENUE LLC

LOCATION:
80 OLCOTT AVENUE
VILLAGE OF CROTON-ON-HUDSON, NEW YORK

SHEET 2 OF 3

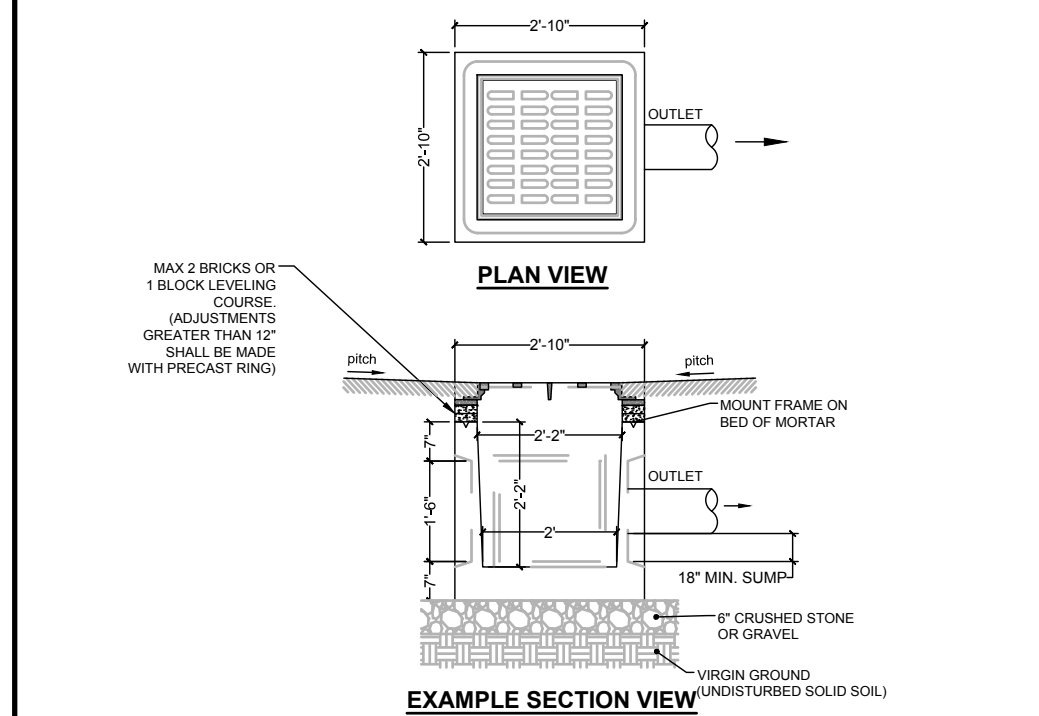
SP-1.1



- INSTALLATION NOTES:**
- EXCAVATE A 4 INCH X 4 INCH TRENCH ALONG THE LOWER SIDE OF A SLOPE AS SPECIFIED ON SITE PLAN.
 - UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNHILL) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF STORM WATER FLOW).
 - DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.
 - LAY THE TOE-IN FLAP OF FABRIC FLAT IN THE BOTTOM OF THE TRENCH AND BACKFILL THE TRENCH AND TAMP THE SOIL OVER THE FLAP TO SECURELY HOLD THE FABRIC IN PLACE. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.
 - JOIN SECTIONS AS SHOWN ABOVE.
 - PREFABRICATED UNITS SHALL BE OF TYPE GEOTAB, ENVIROFENCE, OR APPROVED EQUIVALENT.

SILT FENCE INSTALLATION

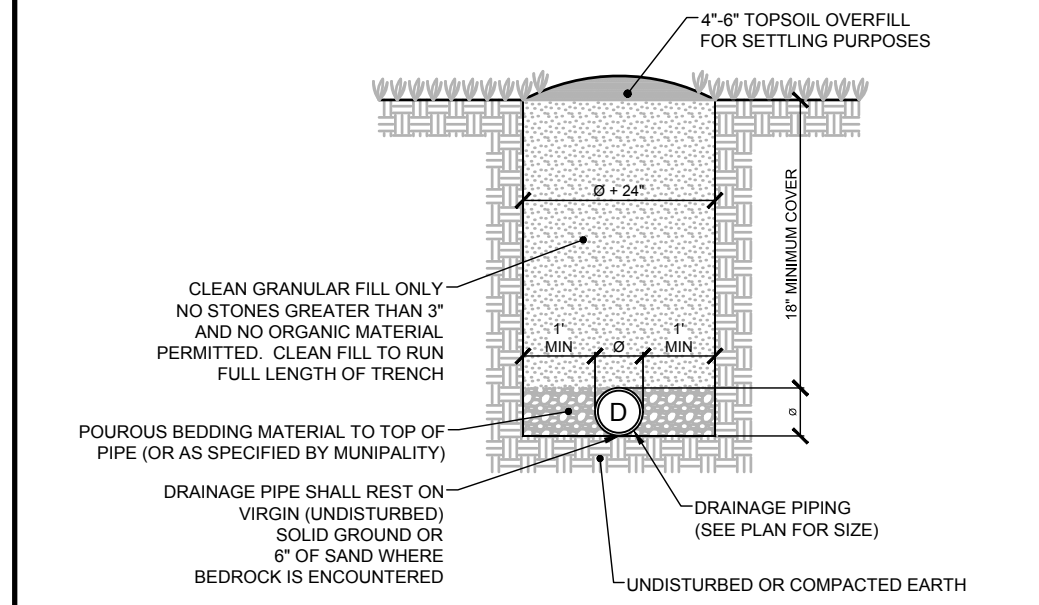
N.T.S.



- INSTALLATION NOTES:**
- PIPES SHALL BE CUT FLUSH WITH INSIDE WALL OF BASIN.
 - BASINS MUST BE DESIGNED FOR H-20 LOADING AND SHALL BE AS MANUFACTURED BY WOODARD'S CONCRETE PRODUCTS, INC. AND BE OF MODEL CB-2X2 OR APPROVED EQUAL.
 - CATCH BASIN SPECIFICATION SHALL HAVE CAMPBELL FOUNDRY FRAME AND GRATE PATTERN #2815 (DROP INLET) OR #2802 (SOLID COVER) OR APPROVED EQUAL.
 - ALL BACKFILL AROUND STRUCTURES (I.E. MANHOLES, CATCH BASINS, ETC) MUST BE COMPACTED TO 95% PROCTOR DENSITY TO AVOID SETTLEMENT OF MATERIAL AROUND THE STRUCTURE.
 - SIZE, MATERIAL, PITCH AND INVERT ELEVATIONS OF ALL PIPING TO BE AS SPECIFIED ON AMENDED SITE DEVELOPMENT PLANS.
 - GRATE INVERTS SHALL BE SET AS SHOWN ON THE AMENDED SITE DEVELOPMENT PLANS.
 - BASINS TO BE CHECKED PERIODICALLY DURING CONSTRUCTION BY A QUALIFIED INSPECTOR AND CLEANED OUT AS NECESSARY DURING CONSTRUCTION.

YARD DRAIN INSTALLATION

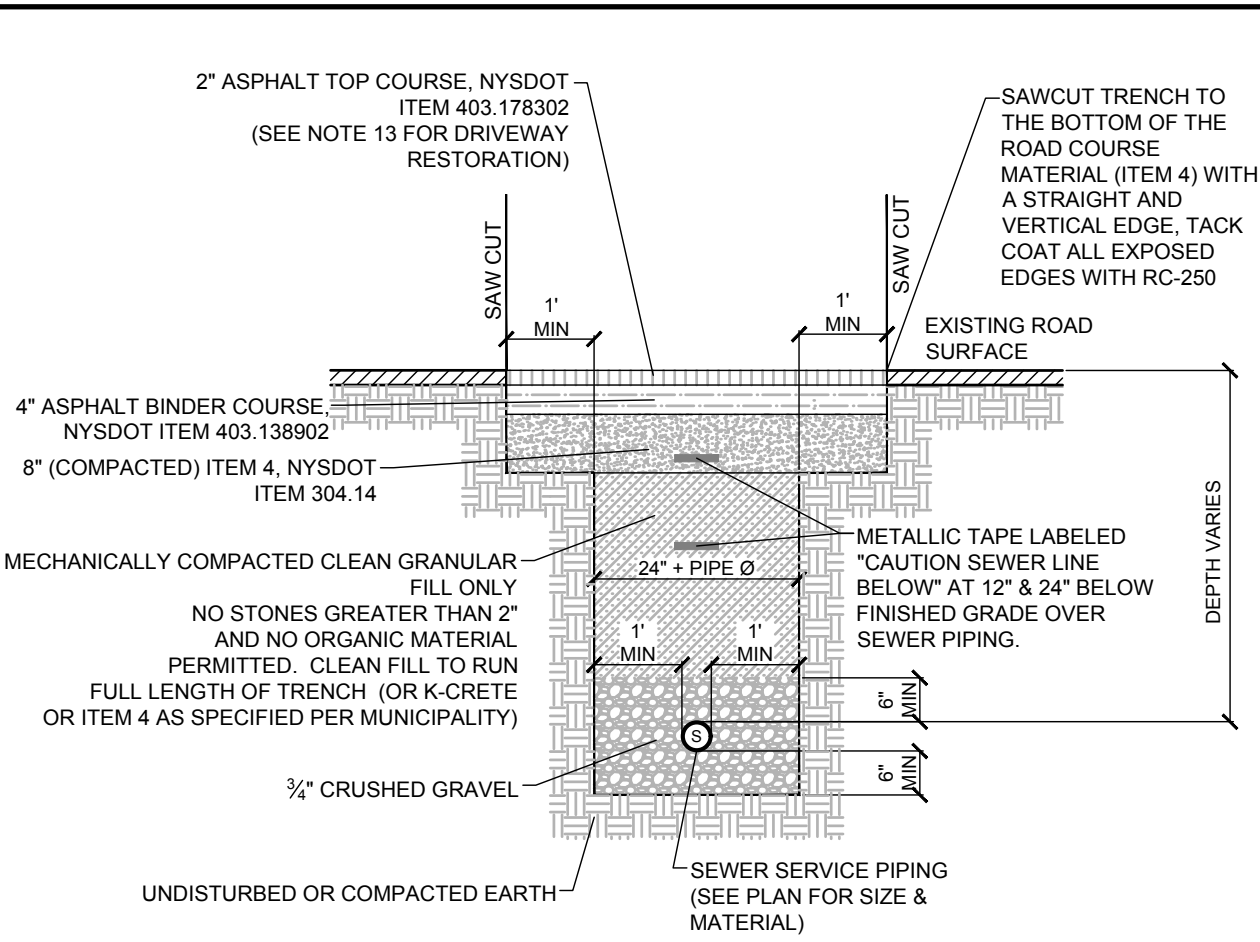
N.T.S.



- DRAIN PIPE INSTALLATION NOTES:**
- NO ROCK SHALL PROJECT WITHIN THE SURFACE OF THE TRENCH AND ALL ROCK SHALL BE A MINIMUM OF 12" FROM THE PIPE HORIZONTALLY. IF BEDROCK IS ENCOUNTERED DURING INSTALLATION, IT SHALL BE EXCAVATED TO A MINIMUM DEPTH OF INVERT AS SPECIFIED ON SITE DEVELOPMENT PLANS + 6" AND REPLACED WITH 6" OF SAND.
 - CLAY, SILT LOAM, OR NON-HOMOGENOUS SOILS REQUIRE SHORING AND BRACING.
 - SHEETING AND BRACING SHALL BE USED IN ACCORDANCE WITH OSHA AND THE NYS DEPARTMENT OF LABOR INDUSTRIAL CODE, RULE 753 WHERE REQUIRED. SHEETING & BRACING ARE REQUIRED WHERE TRENCH DEPTHS EXCEED 5' IN HEIGHT.
 - ANY UNSUITABLE MATERIAL EXCAVATED FROM THE TRENCH SHALL NOT BE USED AS BACKFILL AND SHALL BE REPLACED BY SUITABLE MATERIAL APPROVED BY THE DESIGN ENGINEER.

DRAIN PIPE INSTALLATION

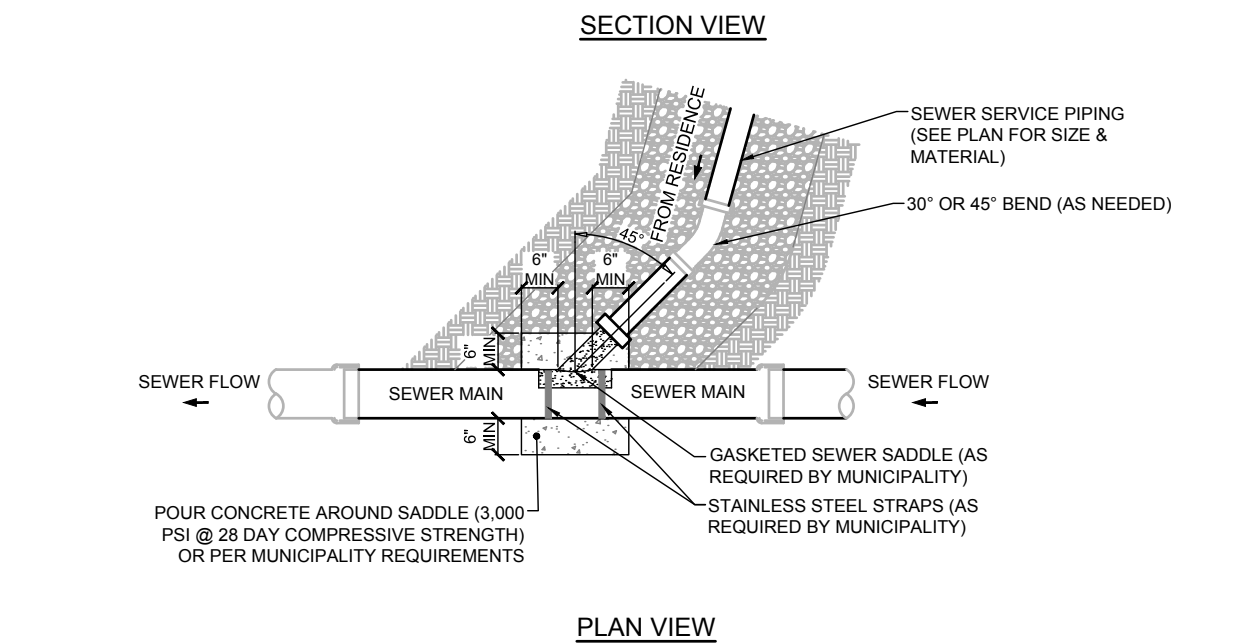
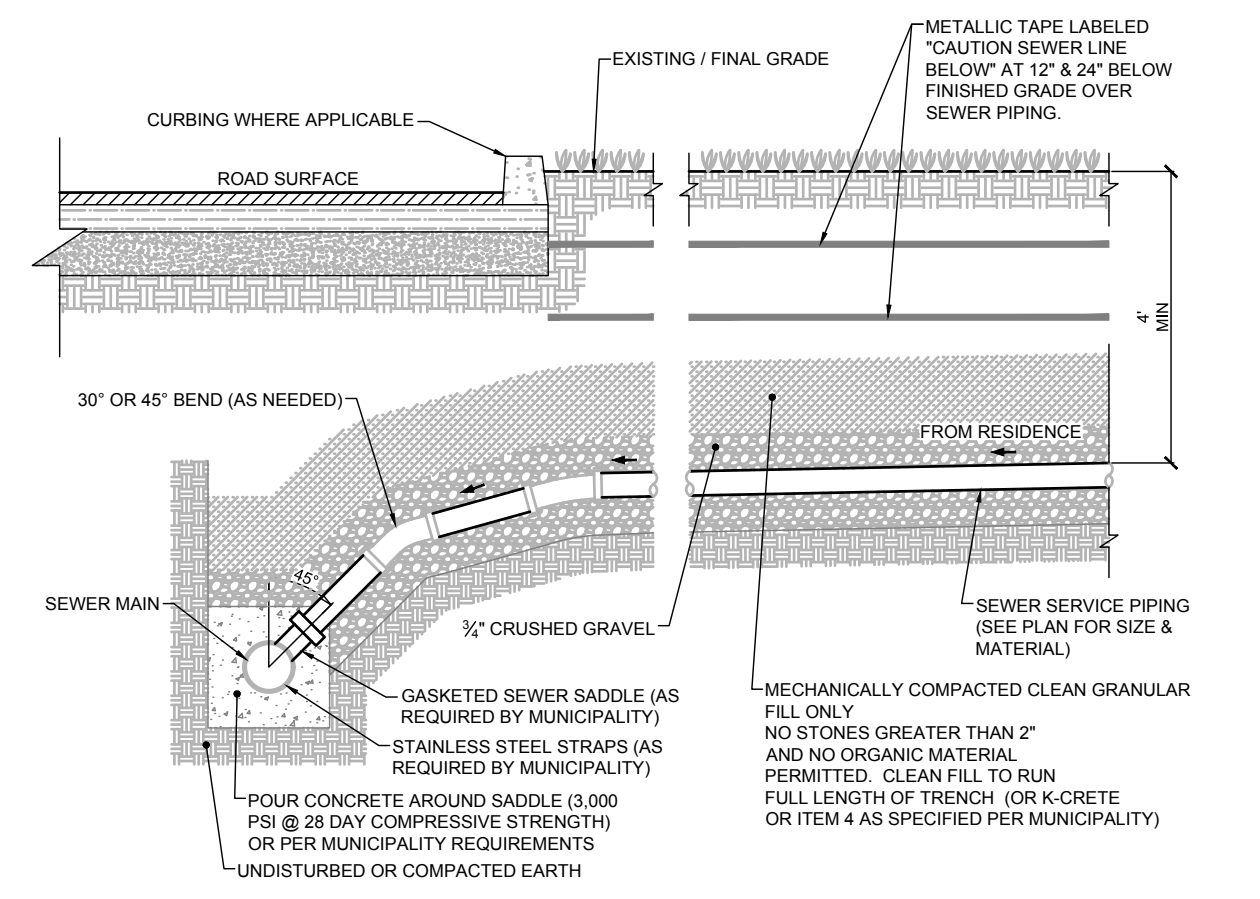
N.T.S.



- SEWER SERVICE INSTALLATION NOTES:**
- THE CONTRACTOR SHALL CALL IN A "CODE 753" PRIOR TO EXCAVATION.
 - ALL SANITARY SEWER SERVICE PIPING TO BE AS SPECIFIED ON SITE DEVELOPMENT PLANS.
 - SANITARY SEWER SERVICE PIPING SHALL HAVE A MINIMUM OF 4" COVER OVER PIPE. IF THIS IS NOT POSSIBLE THE OWNER/APPLICANT SHALL CONTACT THE MUNICIPALITIES ENGINEERING DIVISION PRIOR TO CONSTRUCTION.
 - SANITARY SEWER MAIN RUNS SHALL HAVE A MINIMUM SLOPE OF 1.0%.
 - SANITARY SEWER SERVICE RUNS SHALL HAVE A MINIMUM SLOPE OF 2.0% FOR 4" DIA. PIPES.
 - NO ROCK SHALL PROJECT WITHIN THE SURFACE OF THE TRENCH AND ALL ROCK SHALL BE A MINIMUM OF 12" FROM THE PIPE HORIZONTALLY. IF BEDROCK IS ENCOUNTERED DURING INSTALLATION, IT SHALL BE EXCAVATED TO A MINIMUM DEPTH OF INVERT AS SPECIFIED ON SITE DEVELOPMENT PLANS + 6" AND REPLACED WITH 6" OF SAND.
 - SANITARY SEWER SHALL BE ANCHORED AT EACH BELL WHERE SLOPE OF PIPE EXCEEDS 20%.
 - DEBRIS, FROZEN MATERIAL, LARGE CLODS OR STONES, ORGANIC MATTER OR OTHER UNSUITABLE MATERIALS SHALL NOT BE USED AS BACKFILL.
 - BACKFILL SHALL BE PLACED SO AS NOT TO DISTURB THE PIPE ALIGNMENT.
 - SELECT AND BACKFILL MATERIAL SHALL BE PLACED IN 12" LIFTS (PRIOR TO COMPACTION) AND COMPACTED WITH A MECHANICAL TAMPER.
 - CONTRACTOR TO NOTIFY MUNICIPALITY 48 HOURS IN ADVANCE FOR TRENCH INSPECTION.
 - CLAY, SILT LOAM OR NON SOILS REQUIRE SHORING AND BRACING. SHEETING AND BRACING SHALL BE USED IN ACCORDANCE WITH OSHA AND THE NYS DEPARTMENT OF LABOR INDUSTRIAL CODE, RULE 753 WHERE REQUIRED. SHEETING & BRACING ARE REQUIRED WHERE TRENCH DEPTHS EXCEED 5' IN HEIGHT.

SEWER SERVICE INSTALLATION W/ PAVEMENT RESTORATION

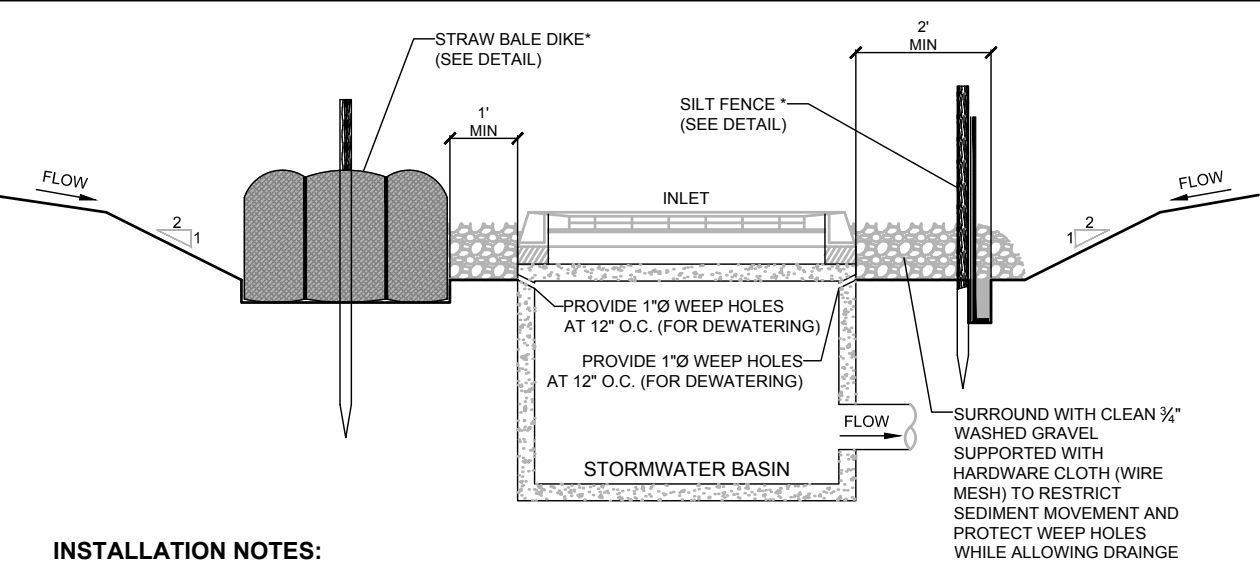
N.T.S.



- SEWER SERVICE INSTALLATION NOTES:**
- CLEANOUTS TO BE PROVIDED AS REQUIRED.
 - CONTRACTOR TO FOLLOW MANUFACTURER'S INSTALLATION GUIDE FOR INSTALLING PROCEDURE FOR SADDLE FITTING.
 - CONTRACTOR TO NOTIFY MUNICIPALITY 48 HOURS IN ADVANCE FOR INSPECTION PRIOR TO INSTALLATION.

SEWER SERVICE CONNECTION AT SEWER MAIN

N.T.S.

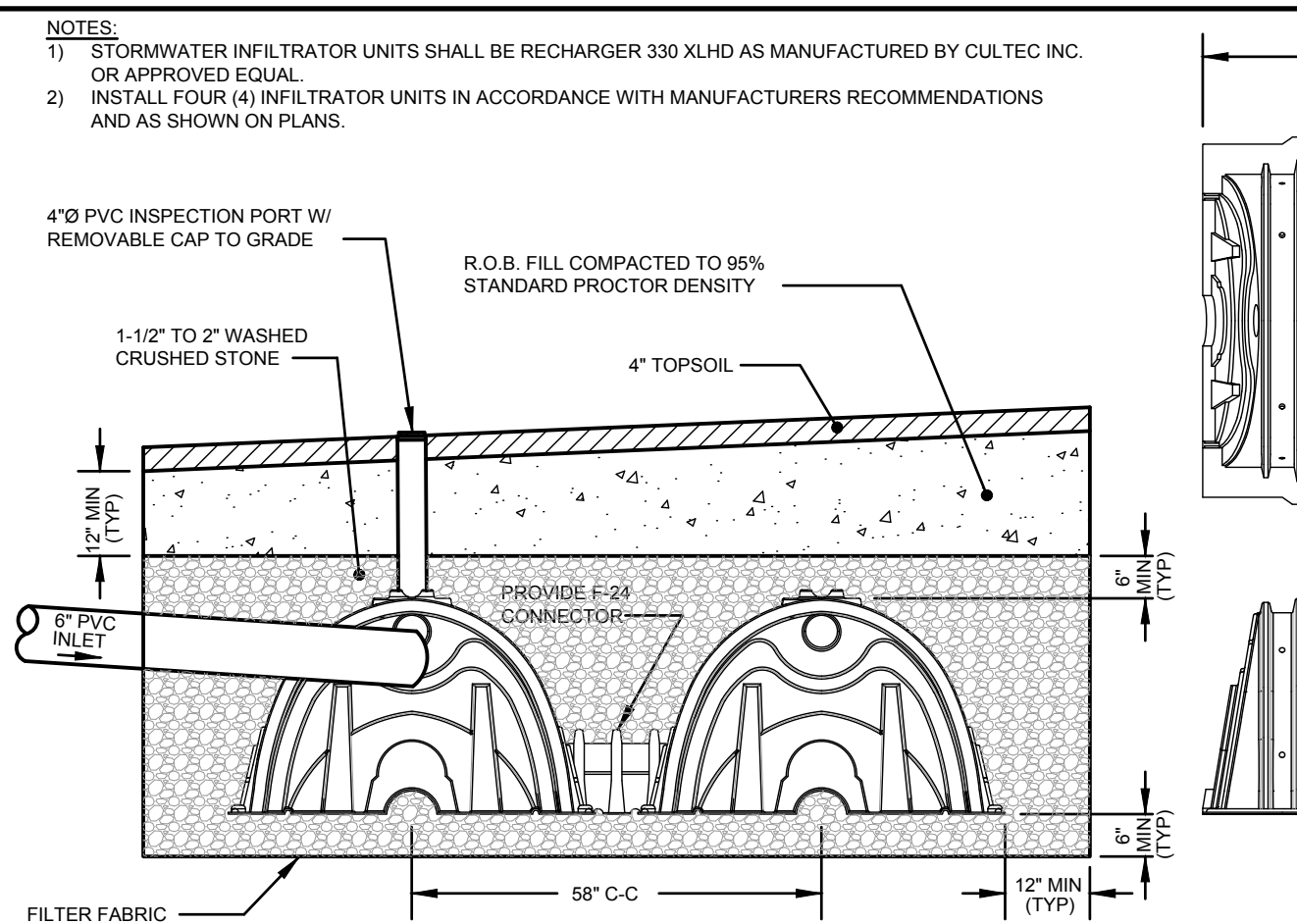


- INSTALLATION NOTES:**
- GRADE APPROACH TO INLET UNIFORM AROUND THE BASIN.
 - PROVIDE WEEP HOLES AND PROTECT WITH GRAVEL AS SHOWN.
 - UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA (MAX 1 ACRE), SEAL WEEP HOLES, FILL EXCAVATION WITH STABLE SOIL TO FINAL GRADE, COMPACT IN 6" LIFTS AND STABILIZE WITH PERMANENT SEEDING OR PAVEMENT WHERE APPLICABLE.
 - REFER TO STRAW BALE DIKE AND SILT FENCE INSTALLATION DETAILS IN THIS PLAN SET FOR INSTALLATION GUIDELINES.

* EITHER A STRAW BALE DIKE OR SILT FENCE MAY BE USED FOR INLET PROTECTION AS SPECIFIED BY QUALIFIED INSPECTOR.

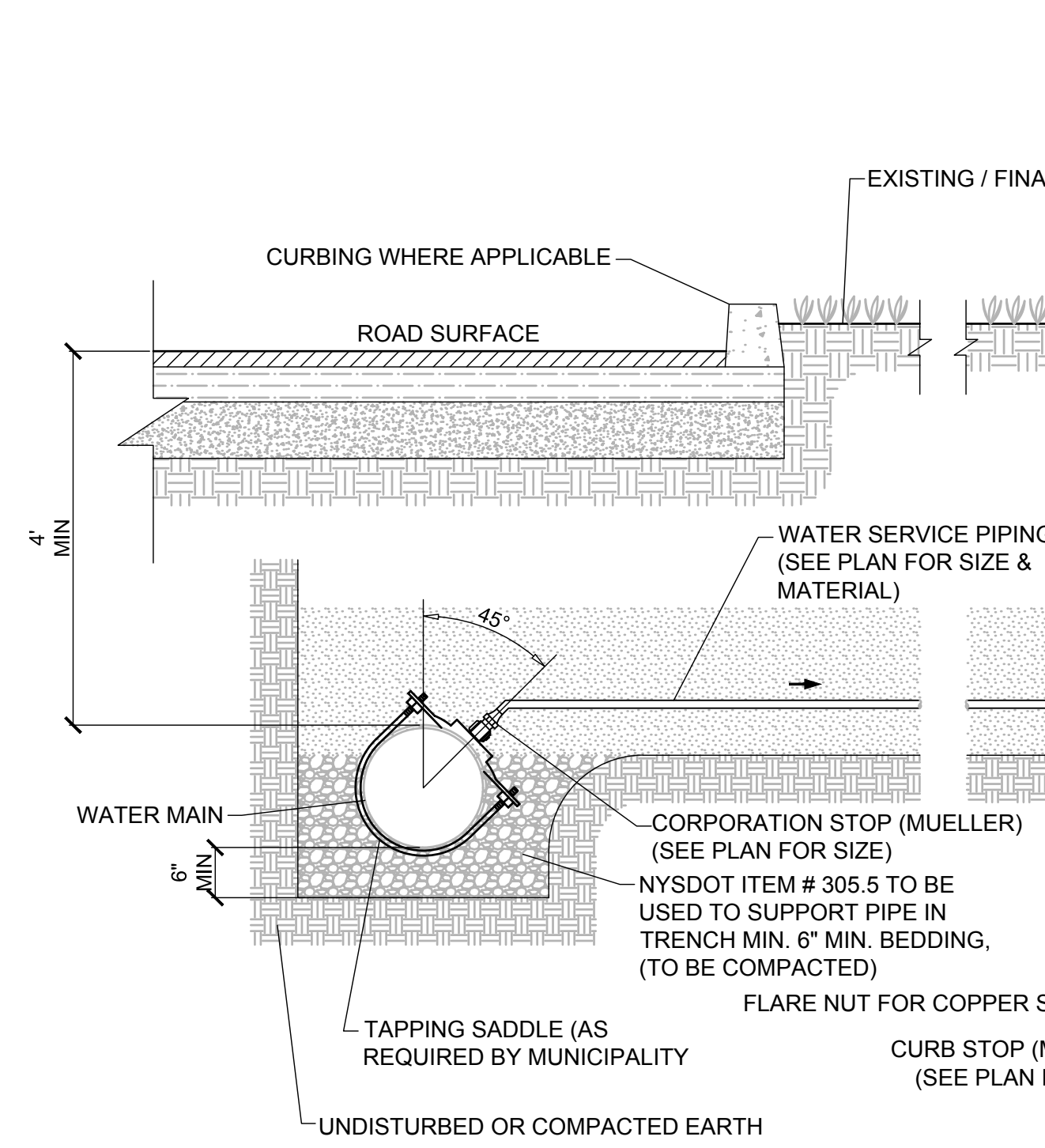
INLET PROTECTION

N.T.S.



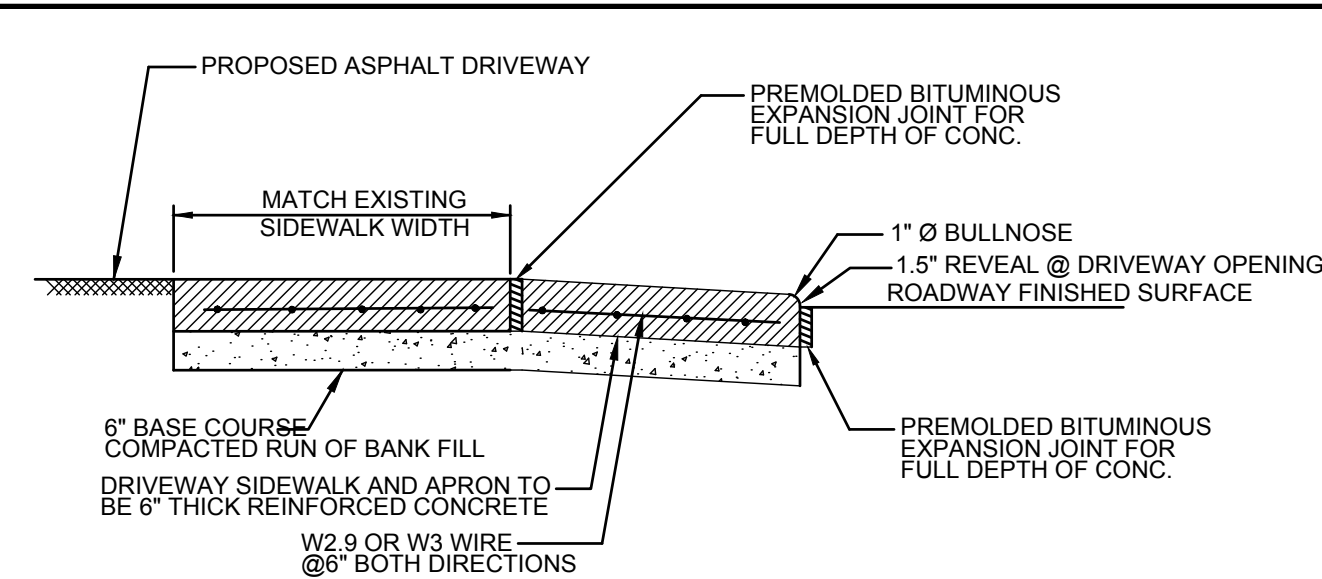
STORMWATER SUBSURFACE INFILTRATOR SYSTEM - CULTEC 330 UNITS

N.T.S.

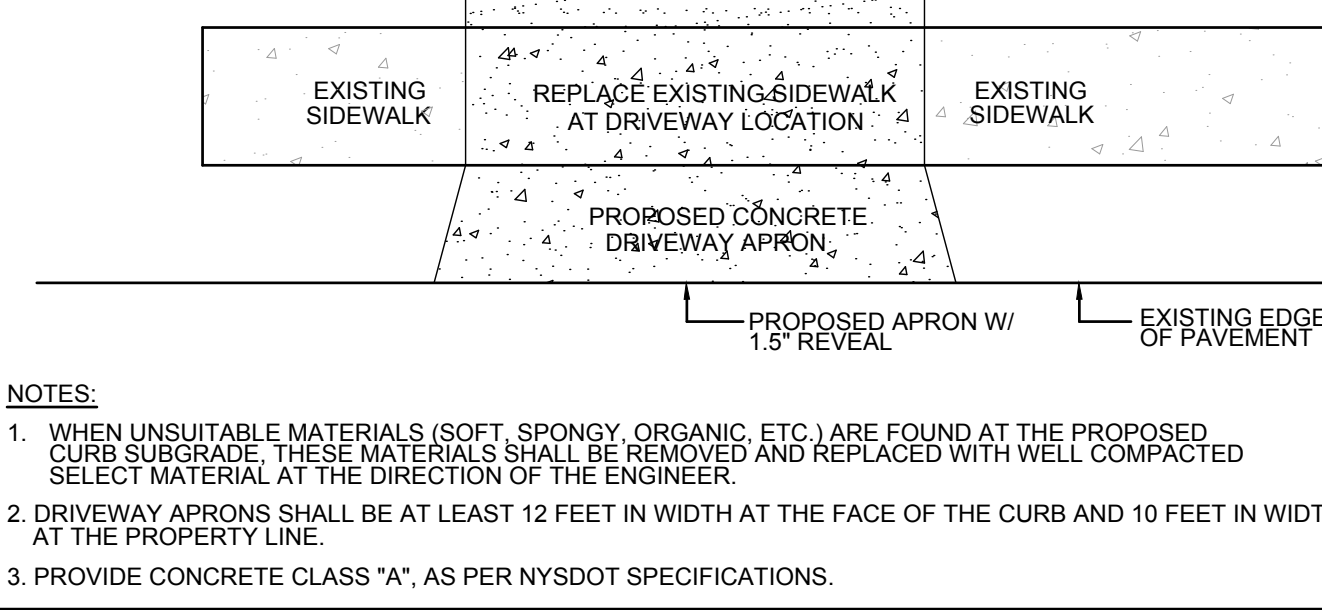


WATER SERVICE CONNECTION AT WATERMAIN

N.T.S.

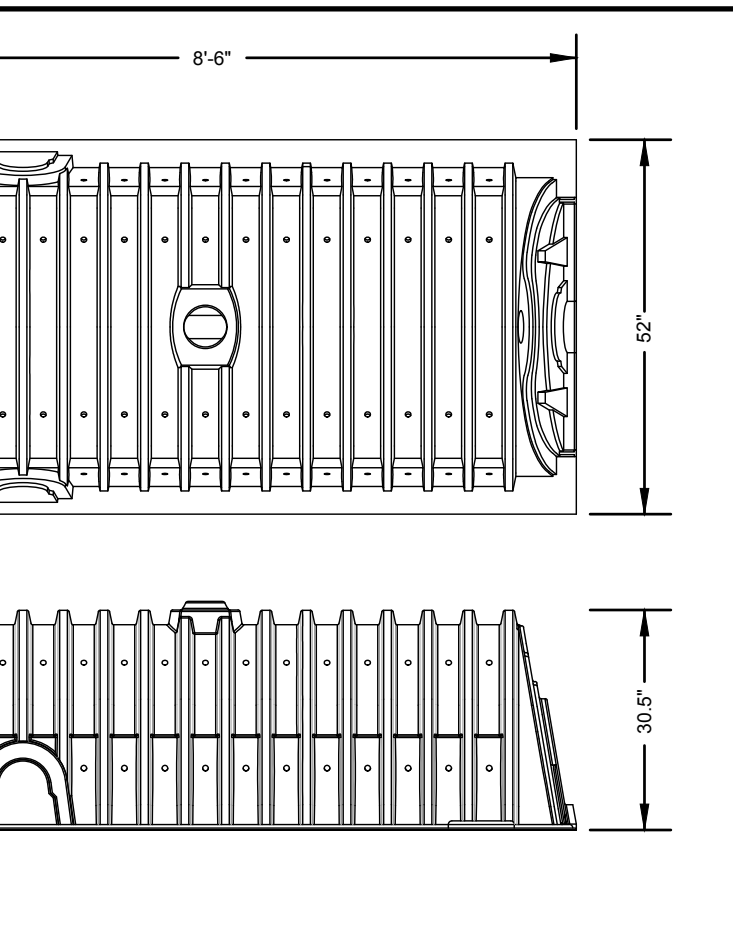


- CONCRETE CURB DETAIL**
- N.T.S.



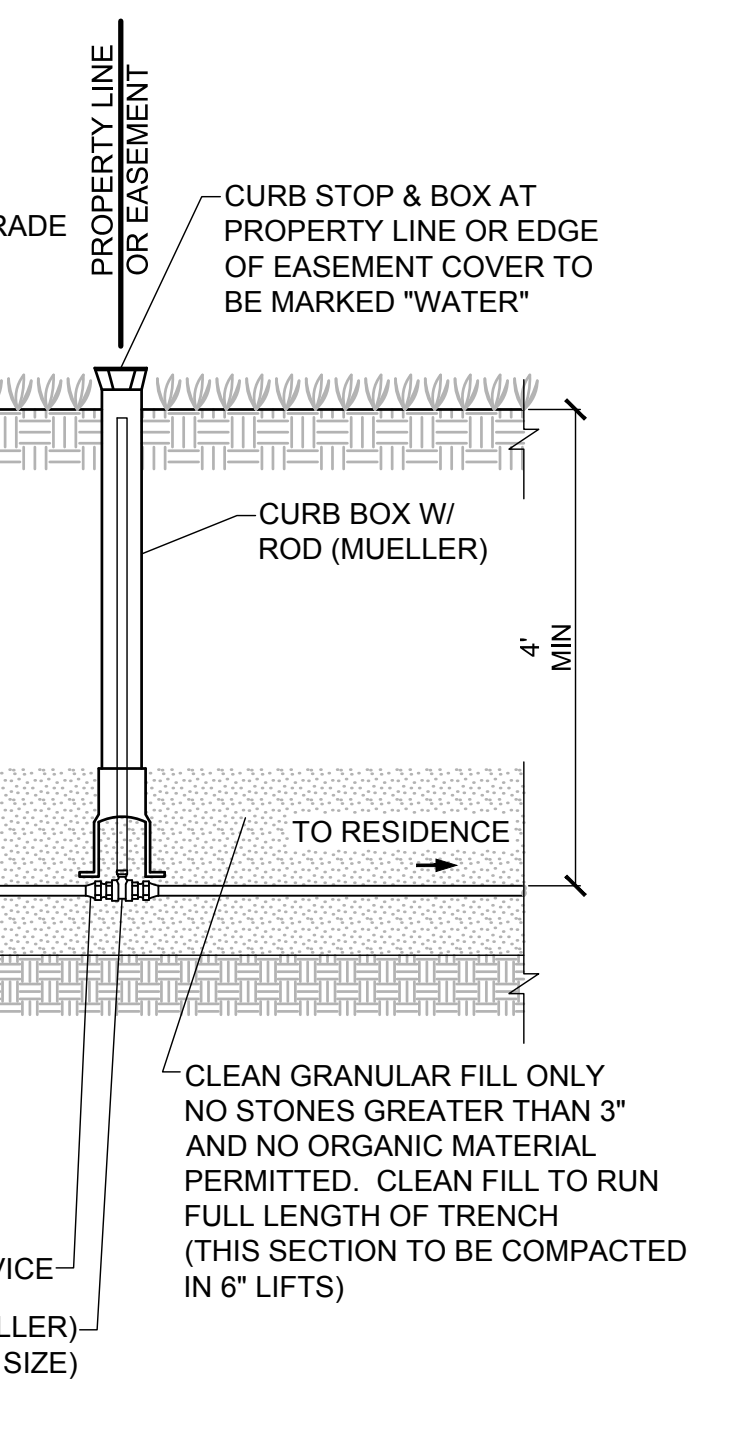
WATER SERVICE TRENCH

N.T.S.



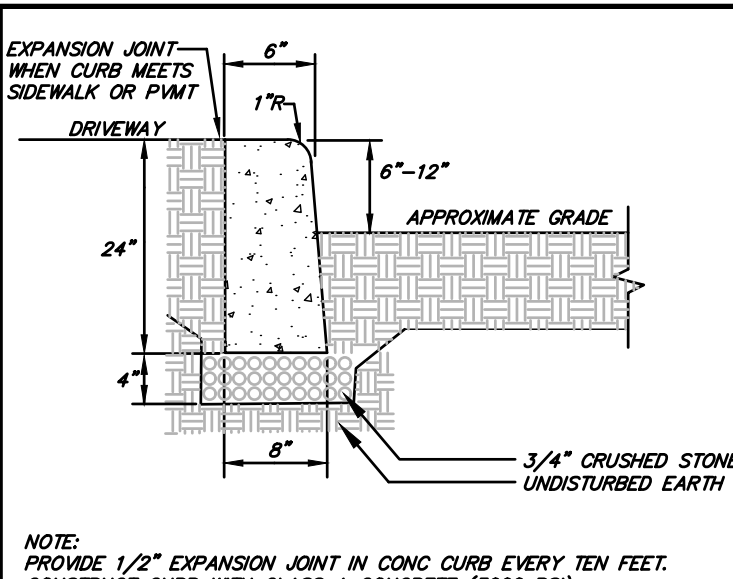
DECIDUOUS TREE PLANTING

N.T.S.



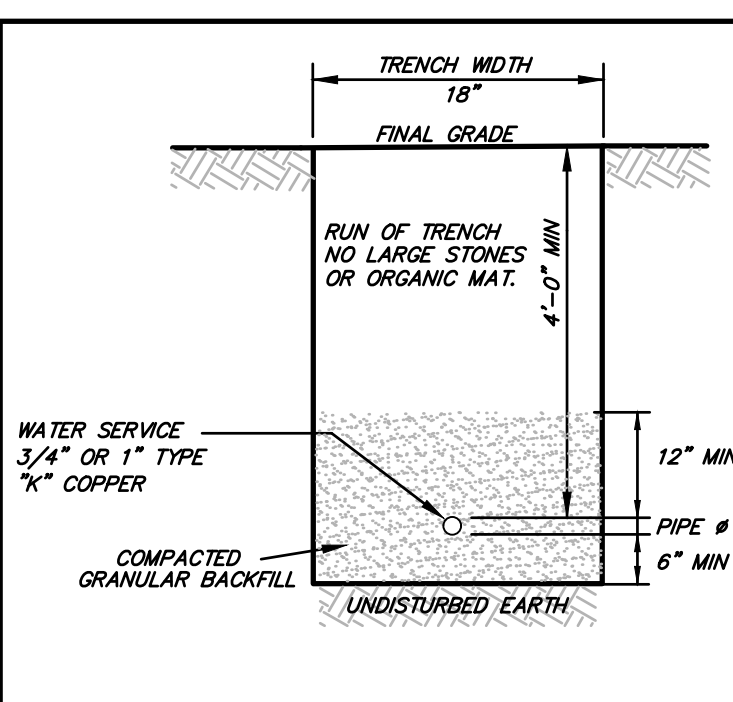
SHRUB PLANTING

N.T.S.



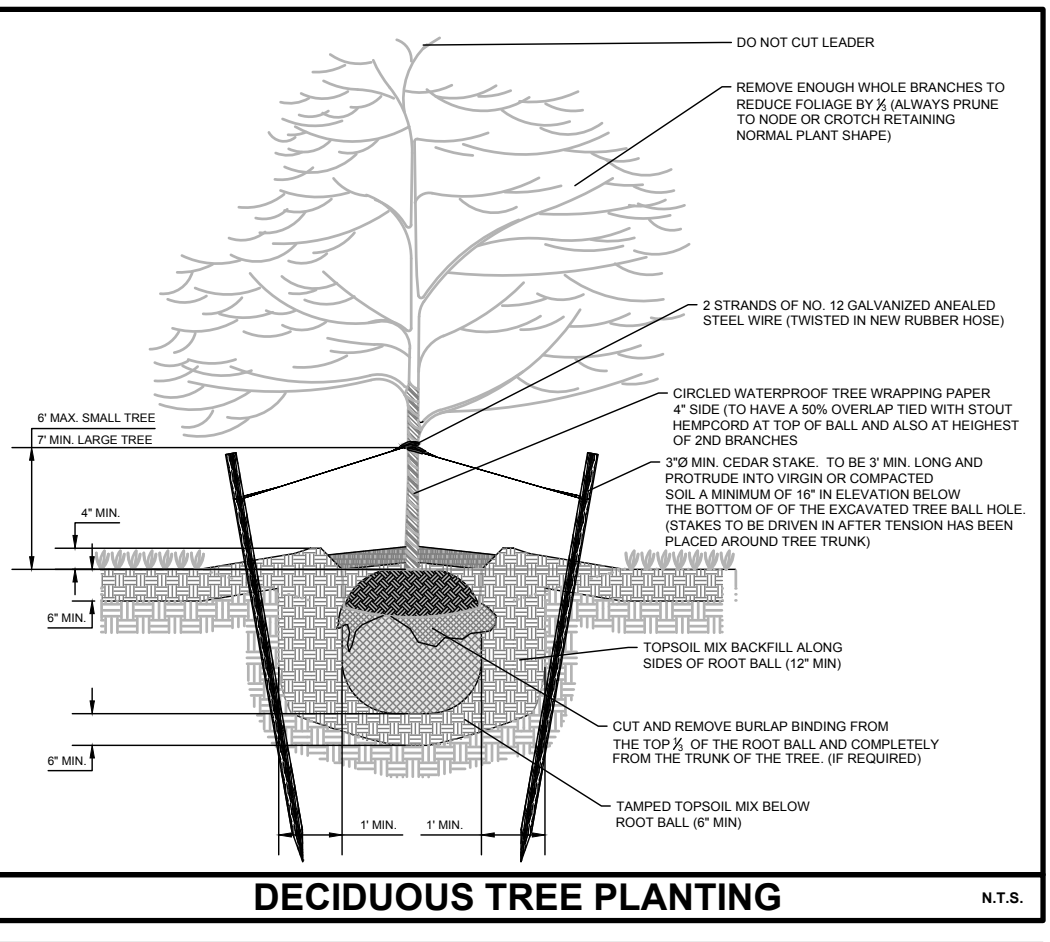
TREE TRUNK ARMOR INSTALLATION

N.T.S.



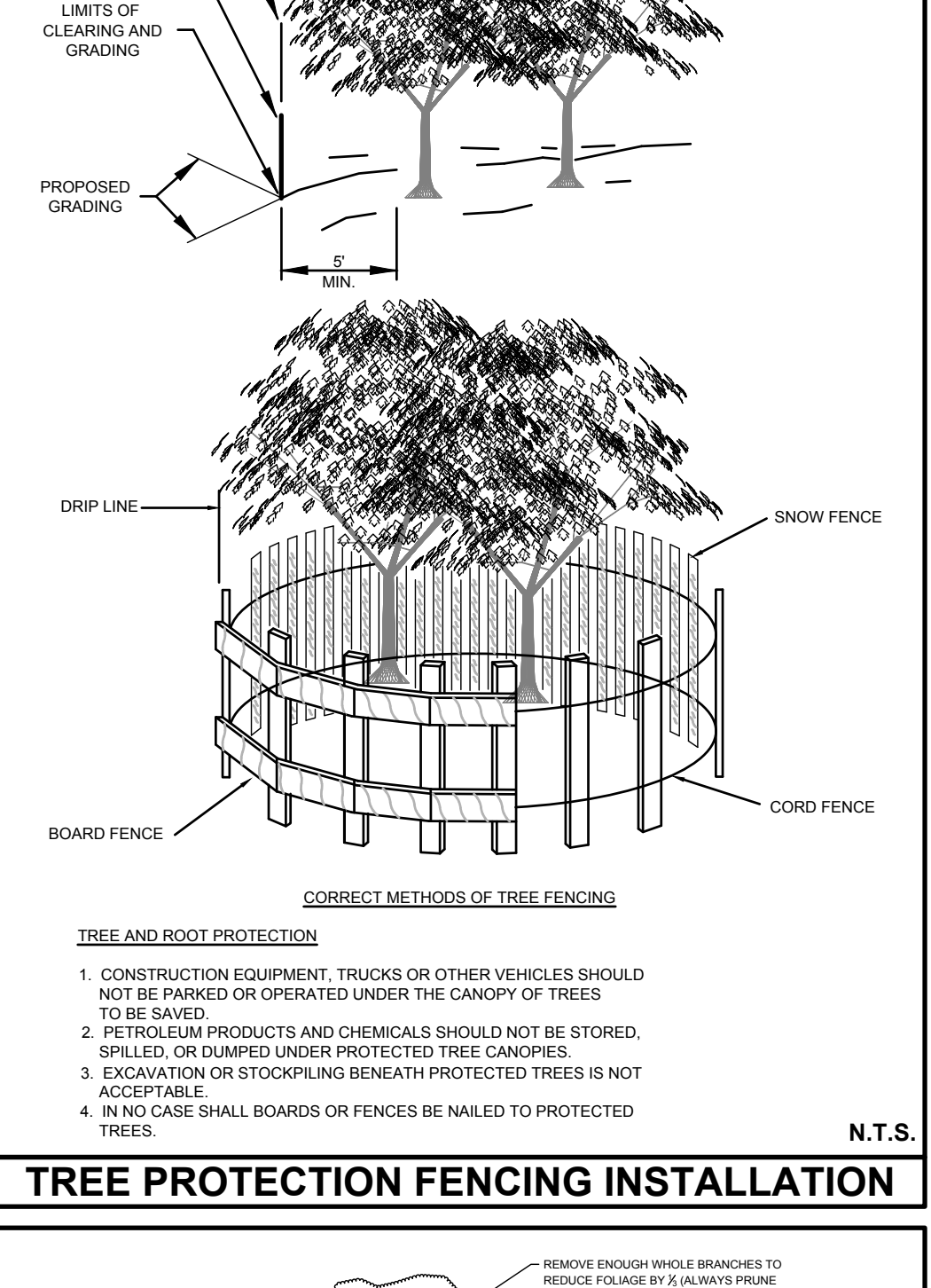
PROPOSED RESIDENCY AT OLCOTT AVENUE FOR 80 OLCOTT AVENUE LLC

N.T.S.



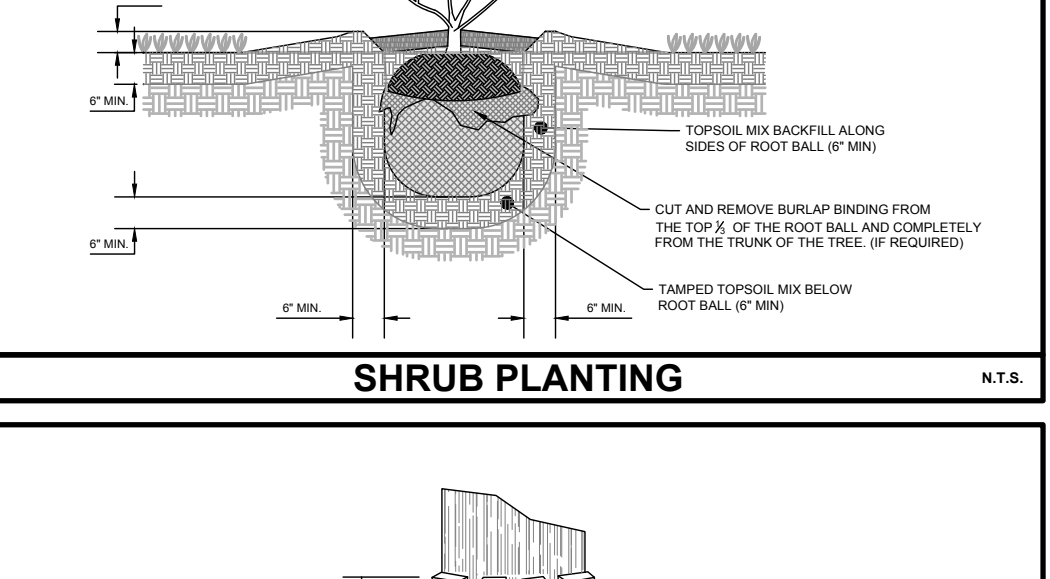
LOCATION MAP

SCALE: 1" = 200'



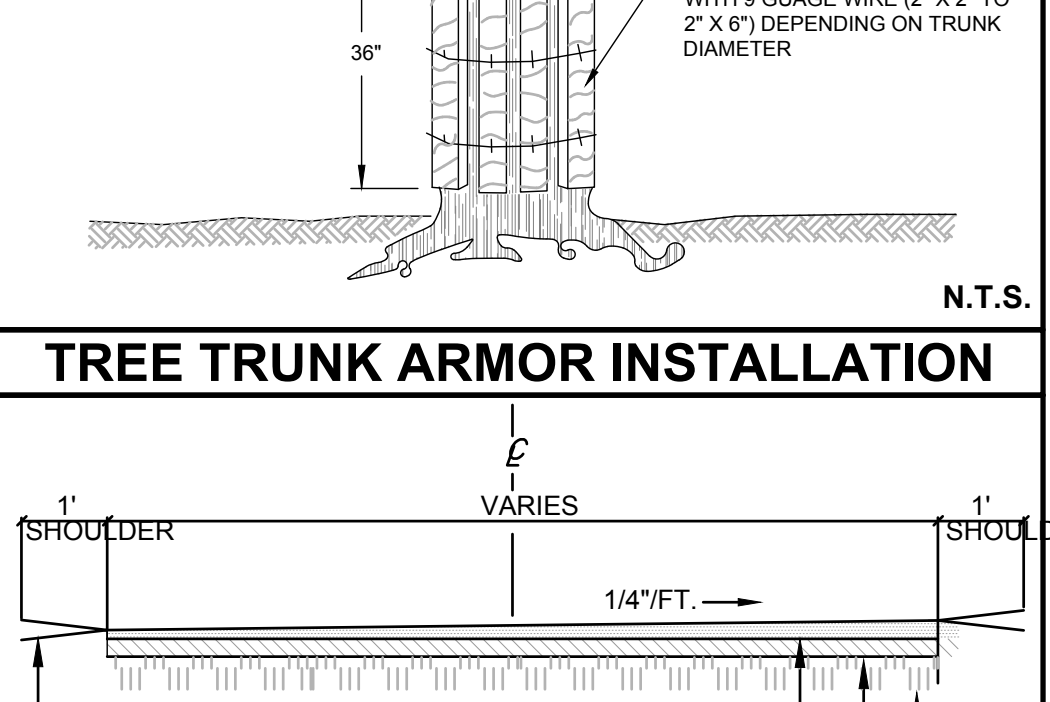
TREE PROTECTION FENCING INSTALLATION

N.T.S.



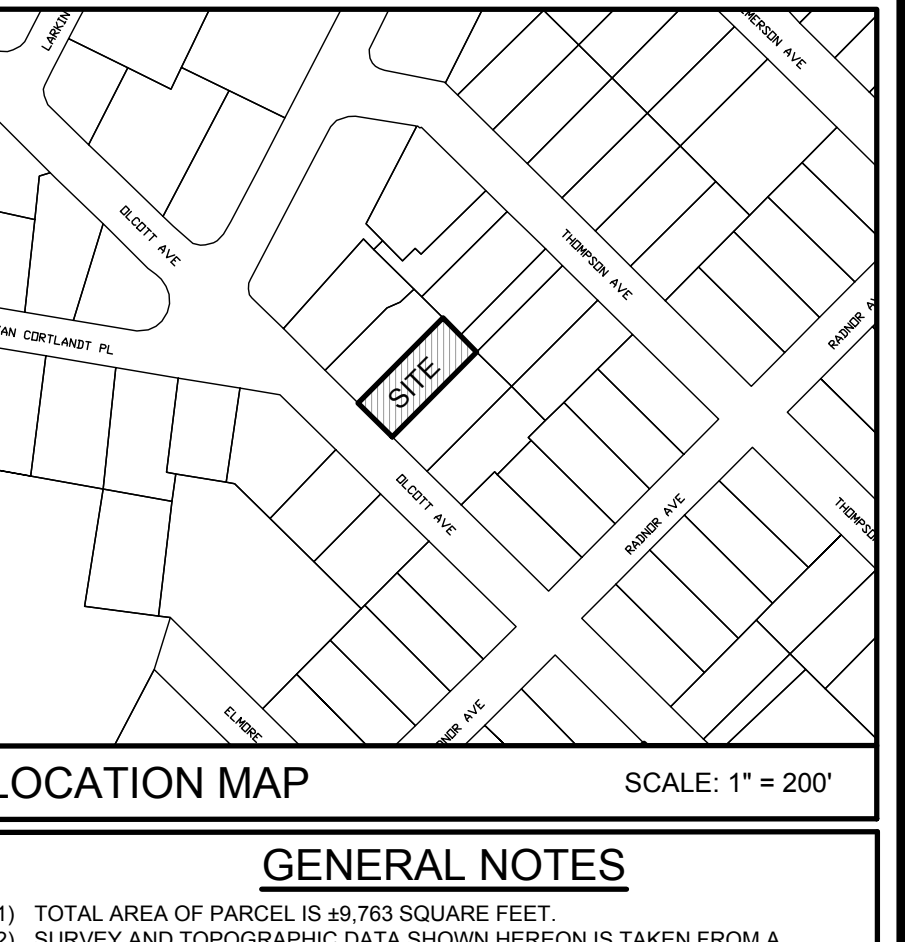
SEWER SERVICE CONNECTION AT WATERMAIN

N.T.S.



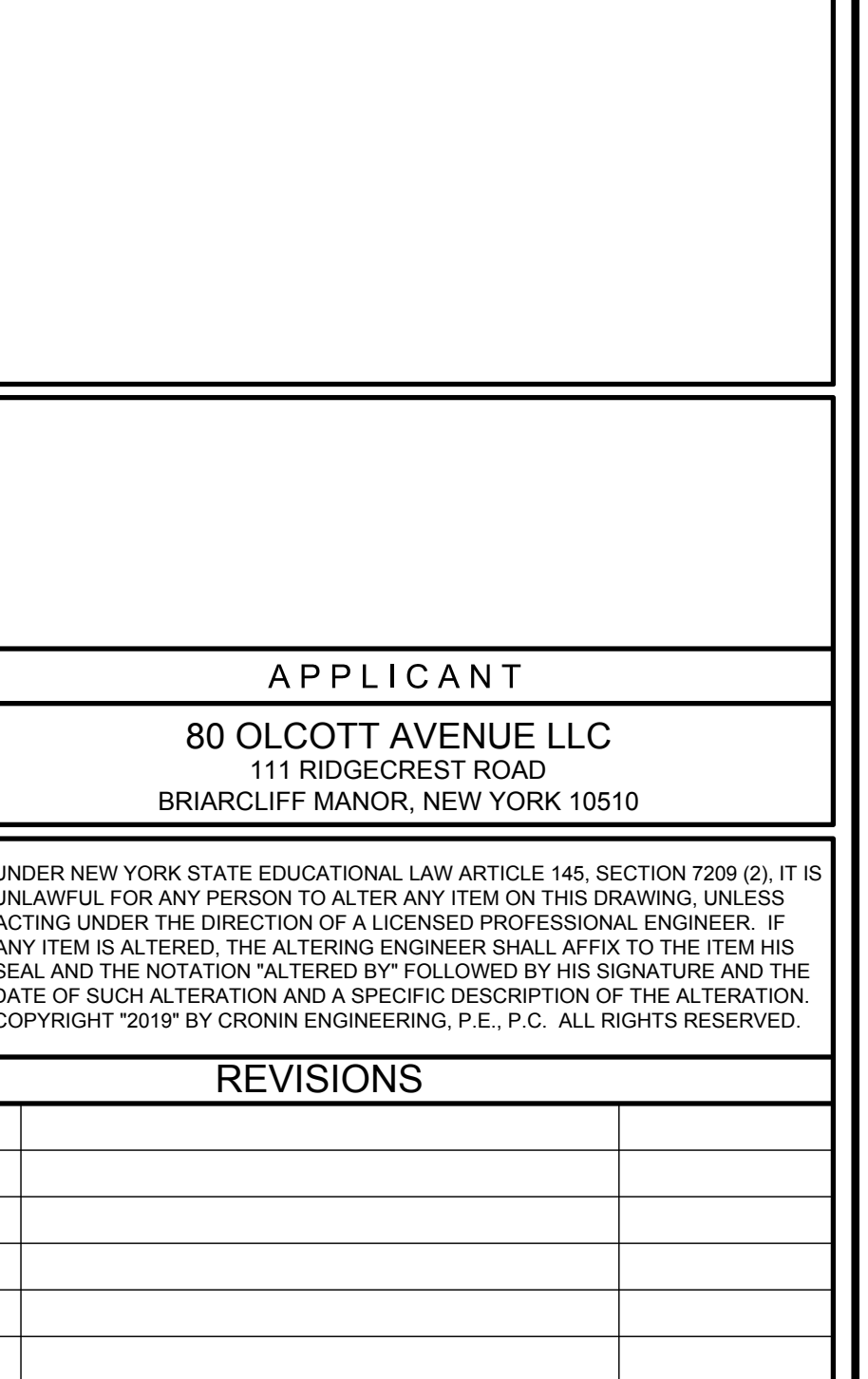
SEWER SERVICE CONNECTION AT SEWER MAIN

N.T.S.



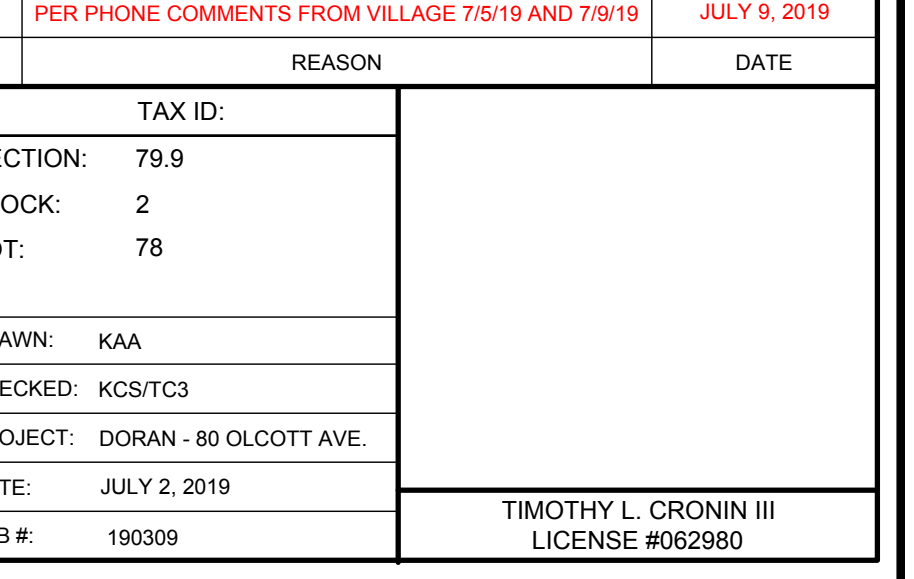
LOCATION MAP

SCALE: 1" = 200'



TREE PROTECTION FENCING INSTALLATION

N.T.S.



SEWER SERVICE CONNECTION AT WATERMAIN

N.T.S.



SEWER SERVICE CONNECTION AT SEWER MAIN

N.T.S.

- GENERAL NOTES**
- TOTAL AREA OF PARCEL IS 49,763 SQUARE FEET.
 - SURVEY AND TOPOGRAPHIC DATA SHOWN HEREON IS TAKEN FROM A SURVEY PREPARED BY BADEY & WATSON SURVEYING & ENGINEERING, P.C. FOR DORAN HOMES CORP DATED FEBRUARY 5, 2018.
 - PARCEL IS LOCATED IN AN RA-5 ZONING DISTRICT.

APPLICANT

80 OLCOTT AVENUE LLC
111 RIDGECREST ROAD
BRIARCLIFF MANOR, NEW YORK 10510

REVISIONS

#	REASON	DATE
1	PER PHONE COMMENTS FROM VILLAGE 7/5/19 AND 7/9/19	JULY 9, 2019

TAX ID:

SECTION: 79.9

BLOCK: 2

LOT: 78

DRAWN: KAA

CHECKED: KCS/TC3

PROJECT: DORAN - 80 OLCOTT AVE.

DATE: JULY 2, 2019

JOB #: 190309

TIMOTHY L. CRONIN III
LICENSE #062980

CRONIN ENGINEERING

PROFESSIONAL ENGINEERING & CONSULTING
(914) 736-3664

39 Arlo Lane
Cortlandt Manor, New York 10567

CONSTRUCTION DETAILS

PROPOSED RESIDENCE AT OLCOTT AVENUE FOR 80 OLCOTT AVENUE LLC

LOCATION:
80 OLCOTT AVENUE
VILLAGE OF CROTON-ON-HUDSON, NEW YORK

SHEET 3 OF 3

CD-2.1