

June 29, 2022

[Via Hand Delivery and Email]

Brian Pugh, Mayor
Village of Croton-on-Hudson
1 Van Wyck Street
Croton-on-Hudson, NY 10520

***Re: 1380 Albany Post Road, Croton-on-Hudson
Special Permit Application***

Hon. Mayor and Members of the of the Board of Trustees:

I. INTRODUCTION

As you know, this firm represents the Matra Group, LLC (“Matra” or “Applicant”), owner of two contiguous parcels totaling approximately 1.6 acres located at 1380 Albany Post Road (“Property”) in connection with this application for a special use permit pursuant to § 230-20.3B(5) of the Croton-on-Hudson Zoning Code. The purpose of this application is to obtain special permit approval for a 29-unit-multi-family housing building on the Property.

Section 230-20.3(B)(5) of the Zoning Code permits multi-family housing in North End Gateway District (“NEGD”), subject to meeting the requirements of Article X of the Zoning Code. As will be discussed in more detail below, it is respectfully submitted that this application meets the goals and objectives contained in § 230-58.

II. DESCRIPTION OF SITE AND ZONING

The Property is located at 1380 Albany Post Road and consists of an assemblage of two contiguous parcels. The parcels are identified on the tax assessment map of the Village of Croton-on-Hudson as parcel numbers 67.10-2-14 and 15. The Property is approximately 1.6 acres and is located in the North End Gateway District. The underlying zoning of the Property is Limited Office (“O-1”). The site is currently improved with a roughly 2,600 s.f. structure, which houses Estate Cabinetry, and associated parking. The improvements are located on the northern side of the Property, while the southern portion of the site is vacant land.

III. COMPREHENSIVE PLAN

The multi-family housing development proposed for the Property is fully supported by the Village of Croton-on-Hudson Comprehensive Plan (“Comprehensive Plan”). As provided in the Comprehensive Plan, Village Gateways, such as the NEGD, “mark a sense of arrival, and connection to a community, and establish an image for the community.” The stated purpose of gateways districts is to “upgrade the image and function of commercial areas, define the entry to the Village, strengthen the overall visual identity of the Village, promote economic development, and improve linkages to adjacent residential neighborhoods.”

Currently, the Property is improved with a 2,600 s.f. structure. The demolition of this structure and its replacement with a 33,400 s.f. multi-family building and associated landscaping will help define the northern entry point to the Village and strengthen the overall image of the North End Gateway District area. Further, the introduction of one- and two-bedroom apartments will provide an influx of shoppers and income for Croton businesses, with minimal impacts on schools and traffic.

The Comprehensive Plan notes that “the predominant land use in the village is single-family residential...and that [s]ince 2003, the majority of the development activity in the Village has been single family homes on large lots in the northern part of the village.” The proposed development will help to create a diversity of housing opportunities by providing multi-family housing.

Finally, the Comprehensive Plan states that “[t]he gateway districts include special use, area and bulk regulations, and design regulations.” This was true for the Harmon/South Riverside Gateway District and the Municipal Gateway District. However, until recently, no such regulations were in place for the NEGD. In order to close that gap, the Applicant petitioned your Board in September 2021 to establish those regulations. By Local Law No. 03-2022, your Board established special use, area and bulk regulations and design regulations for the NEGD. The proposed project is fully compliant with those recently adopted regulations.

IV. CURRENT PROPOSAL

The Applicant is proposing to construct an approximately 33,400 s.f. , three-story, multi-family building on the Property. The building will consist of a total of 29 units, with a mix

of 18 one-bedroom units and 11 two-bedroom units. The one-bedroom units will range in size from 703 s.f. to 934 s.f. The two-bedroom units range in size from 1,003 s.f. to 1,202 s.f. Forty four (44) parking spaces are proposed and will be located at-grade southern and western sides of the building. Amenities within the building include: (i) rooftop/outdoor lounge; (ii) fitness center; (iii) community/event room¹; (iv) bicycle storage racks; (v) outdoor barbeque/grill area; and (vi) electric vehicle charging stations. Additionally, the building will include a rooftop solar panel array, high efficiently air sourced heat pumps, and rainwater harvesting. A rendering of the proposed building is attached hereto as **Exhibit A**.

In support of this application, the following plans are submitted herewith:

1. "Existing Conditions, Demo & Site Layout Plan," prepared by Alfonzetti Engineering, P.C., dated September 10, 2021, last revised on June 27, 2022;
2. "Proposed Grading and Utility Plan," prepared by Alfonzetti Engineering, P.C., dated September 10, 2021, last revised on June 27, 2022;
3. "Erosion Control Plan," prepared by Alfonzetti Engineering, P.C. dated January 21, 2021, last revised on June 27, 2022;
4. "Site Details," prepared by Alfonzetti Engineering, P.C., dated January 21, 2021, last revised on June 27, 2022.
5. "Front Elevation," prepared by Demasi Architects, P.C., dated June 27, 2022;
6. "Ground Floor Plan," prepared by Demasi Architects, P.C., dated June 27, 2022;
7. "Second & Third Floor Plan," prepared by Demasi Architects, P.C., dated June 27, 2022; and

V. CONSIDERATION FOR SPECIAL PERMIT APPROVAL

1. Necessity for Special Permit Approval: As set forth above, the Property is located in the NEGD. Pursuant to § 230-20.3B(5), multi-family housing is permitted in the NEGD, subject to the issuance of a special permit by the Village Board of Trustees (BoT").

2. Special Permit Objectives and Goals: Pursuant to § 230-58, prior to a decision by the BoT an application for a special permit shall be reviewed by the Planning Board, which shall submit its recommendation to the BoT. In reviewing a special permit application, "the Planning Board shall take into consideration the public health, safety, and welfare and the comfort and convenience of the public in general and the immediate neighborhood in particular." Additionally, § 230-58(A-E) provides additional objectives and goals, which should be achieved.

¹ For use by building residents and their guests only.

It is respectfully submitted that the proposed multi-family building will not be a detriment to the public health, safety, and welfare of the community. Nor will it impact the comfort and convenience of the public in general or the immediate neighborhood. In fact, as described in section III above, the proposed multi-family residence is compliant with the 2020 Comprehensive Plan Amendment and, therefore, will prove to be a benefit to the Village.

The additional objectives and goals contained in § 230-58(A-E) are listed below, followed by an explanation of how each is met.

A. The accessibility of all proposed structures to fire and police protection.

The Property is located on Albany Post Road (Route 9A), a State highway. As such, all proposed structures on the Property are accessible to fire and police. Additionally, the Washington Engine Company #2 is located at 81 North Riverside Ave., which is approximately 1.6 miles from the Property. Finally, the proposed building will have a sprinkler system as required by code.

B. The compatibility of the location, size, and character of the proposed use with the orderly development of the zoning district in which it is located and with that of adjacent properties in conformity with the zoning district applicable to such properties.

As discussed in section III above, your Board recently adopted Local Law No. 03-2022, which established use, bulk and area, and design regulations for the NEGD. The Property consists of two of the eight parcels located in the NEGD. The proposed development of the Property is fully compliant with the recently adopted zoning regulations and is, therefore, compatible with the orderly development of the NEGD and with that of adjacent properties.

C. The safety, convenience and congruity with the normal traffic of the neighborhood and of the pedestrian and vehicular traffic generated by the proposed use, taking into particular account the location and size of such use, the nature and intensity of the operations involved in or conducted in connection therewith, its site layout and its relation to access streets.

Access to the proposed multi-family building will be via Albany Post Road (Route 9A), which provides ample sight distance in both directions. The Applicant is proposing to utilize the existing curb cut on the Property to access the site. While there will be a nominal increase in peak hour trips, any increase in vehicular trips will be negligible and not even noticed by existing traffic travelling through the area.

D. The compatibility of the location and height of buildings, the location, nature and height of walls and fences and the nature and extent of landscaping on the site with adjacent land and buildings and their appropriate development.

The height of the proposed building is fully compliant with the existing zoning regulations. The development of the Property includes extensive landscaping. Further, the development of the Property is compatible with the adjacent land and buildings and their appropriate development.

E. The preservation of ecological or environmental assets of the site or adjacent lands.

It is respectfully submitted that this criterion is not applicable. The proposed multi-family building will have no adverse effect on the environment.

VI. CONCLUSION

Attached hereto as **Exhibit B** please find the special permit application, together with the application fee of \$3,000.00 Please place this matter on the Board of Trustee's July 5, 2022 agenda for: (i) an initial presentation; (ii) referral to the Planning Board for their review and recommendation; and (iii) referral to the Westchester County Planning Board.

Please do not hesitate to contact me if you have any questions.

Very truly yours,


Kory Salomone

cc: Daniel O'Connor, P.E.
Linda B. Whitehead, Esq.
Anthony Matra
Ralph Alfonzetti, P.E.
Lou Demasi, AIA

EXHIBIT A



EXHIBIT B

Village of



Croton-on-Hudson

Engineering Department
Stanley H. Kellerhouse Municipal Building
One Van Wyck Street
Croton-on-Hudson, NY 10520-2501
Tel: 914-271-4763

Planning Board and Village Board Application

Rev 11/17

Note: Prior to submitting this application, contact Planning Board Secretary at 914-271-4783

Application Date: 06/29/2022

Application #:

Property Information:

Section: 67.10

Block: 2

Lot: 14 and 15

Property Location (street address):

Zoning District O-1

Commercial Lot: ☒ Yes ☐ No

Vacant Lot: ☐ Yes ☒ No

Applicant Information: Person or Company Doing Work: ☒ Owner ☐ Contractor ☐ Other:

Last Name: First Name: MI:

Company: Matra Group LLC

Address: 1330 Albany Post Road, Croton-on-Hudson, NY 10520

Address:

Phone #: 914-271-6466

Cell #:

E-mail: ajmatra@matrabuildigncorp.com

Property Owner:

☒ Same As Above

Last Name: First Name: MI:

Company:

Address:

Address:

Phone #:

Cell #:

E-mail:

Application Type: (Please check those that apply)

☐ Site Plan *

☐ Amended Site Plan*

☐ Minor Site Plan

☐ Change of Use

☐ Amended Site Plan Extension

☐ Minor Site Plan Extension

☐ Building Envelope Modification

☐ Wetlands Permit*

☒ Village Board Special Permit*

☐ Steep Slope Permit*

☐ Village Board Special Permit Renewal*

☐ Excavation & Fill Permit

☐ Preliminary Subdivision

☐ Final Subdivision

**note: Public Hearing required for these permits*

NOTE: The Planning Board also reviews applications (e.g., special permits, accessory apartments, zoning amendments, etc.) that have been referred to them by the Village Board for a recommendation. No public hearing before the Planning Board is required for referral applications.

Per §230-57, the submission should also include the following documentation:

- A description of the proposed use, with reference to the appropriate use and regulations of this chapter, including any supplementary regulations applying thereto.
- A cost-benefit analysis or similar study to review the estimated municipal costs, services and prospective revenues which would be generated by the proposed use.
- Evidence that the proposed use is consistent with the goals of the Village Master Plan.

- D. A traffic and circulation study projecting the effects of the proposed use of the existing and probable future traffic and access in the vicinity of the proposed use.
- E. Copies of environmental assessments or permit applications and supporting materials which may be required to meet New York State or federal regulations.
- F. A stormwater pollution prevention plan (SWPPP) consistent with the requirements of Chapter 196, Article I, Stormwater Management and Erosion and Sediment Control, shall be required for any special permit approval that qualifies as or authorizes a land development activity as defined in Chapter 196, Article I. The SWPPP shall meet the performance and design criteria and standards in Chapter 196, Article I. The approved special permit shall be consistent with the provisions of Chapter 196, Article I.

INSTRUCTIONS: Please submit eight (8) paper copies (Nine copies if a special permit from the Village Board is also required) of supporting materials to the Planning Board Secretary and one (1) pdf file of all application materials to engineering@crotononhudson-ny.gov

I certify that the above information is accurate, and I am the property owner or authorized by the owner to file this application on their behalf and that I will indemnify and hold the Village harmless against any damage or injury that may be caused by or arise out of any entry onto the property in connection with the processing of the application, during construction or performance of the work or within one year after the completion of the work.

Applicant (if other than owner) certifies that he is authorized by the Owner of subject premises to conduct the project described above

Anthony Matra

Applicant's Name (please print)

Signature of Applicant or Agent

Date

FOR VILLAGE USE ONLY:

Fee \$ _____

Fee Paid (date): _____

Received by: _____

TAXES PAID: _____

LEASE AGREEMENT (if applicable): _____

HEARD BY THE VILLAGE BOARD ON: _____

HEARD BY THE PLANNING BOARD ON: _____

PUBLIC HEARING HELD ON: _____

PUBLIC HEARING HELD ON: _____

APPROVED: ☐ _____

DENIED: ☐ _____

APPROVED: ☐ _____

DENIED: ☐ _____



 **Front Elevation - Street Side**
Scale: 3/16" = 1'-0"

- A - Stucco Siding
- B - Natural Wood Rain Screen
- C - Stone Veneer
- D - Metal Board & Batten Siding

Commercial Mixed Use For:

**1380 Albany Post Rd.
Croton-On-Hudson, NY.**

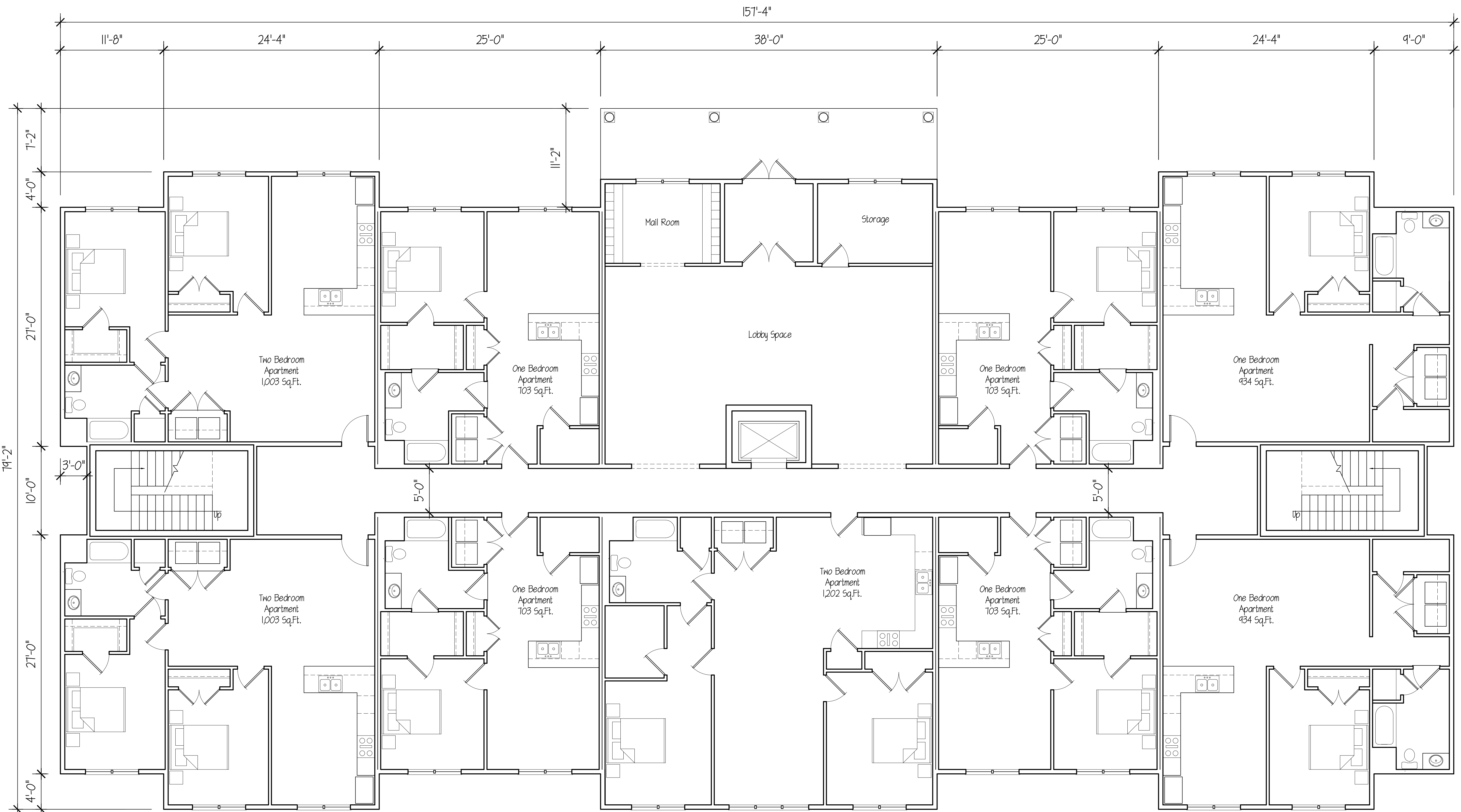
Revision	Date
Date	June 21, 2022
Job No	221-089
Drawing	1 OF 3



These plans are the property of the Architect. Any use or reproduction in whole or part without the written authorization of the Architect is prohibited. Any person or corporation who reproduces these plans without the written authorization of the Architect will be responsible to compensate the Architect.

These plans are not valid for a building permit unless accompanied by a signed and sealed certificate for the construction of one structure only by the person whose name appears on the plans.

DeMasi Architects P.C.
105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549
PHONE: (914) 666-3858
EMAIL: Lou@DemasiArchitects.com



 **Ground Floor Plan**
Scale: 3/16" = 1'-0"

Apartment Numbers For First Floor
(6) Single Bedrooms
(3) Double Bedrooms

Apartment Numbers For Second And Third Floors
(12) Single Bedrooms
(8) Double Bedrooms

For A Total Of 40 Beds

Commercial Mixed Use For:

1380 Albany Post Rd.
Croton-On-Hudson, NY.

Revision	Date
Date	June 21, 2022
Job No	221-084
Drawing	

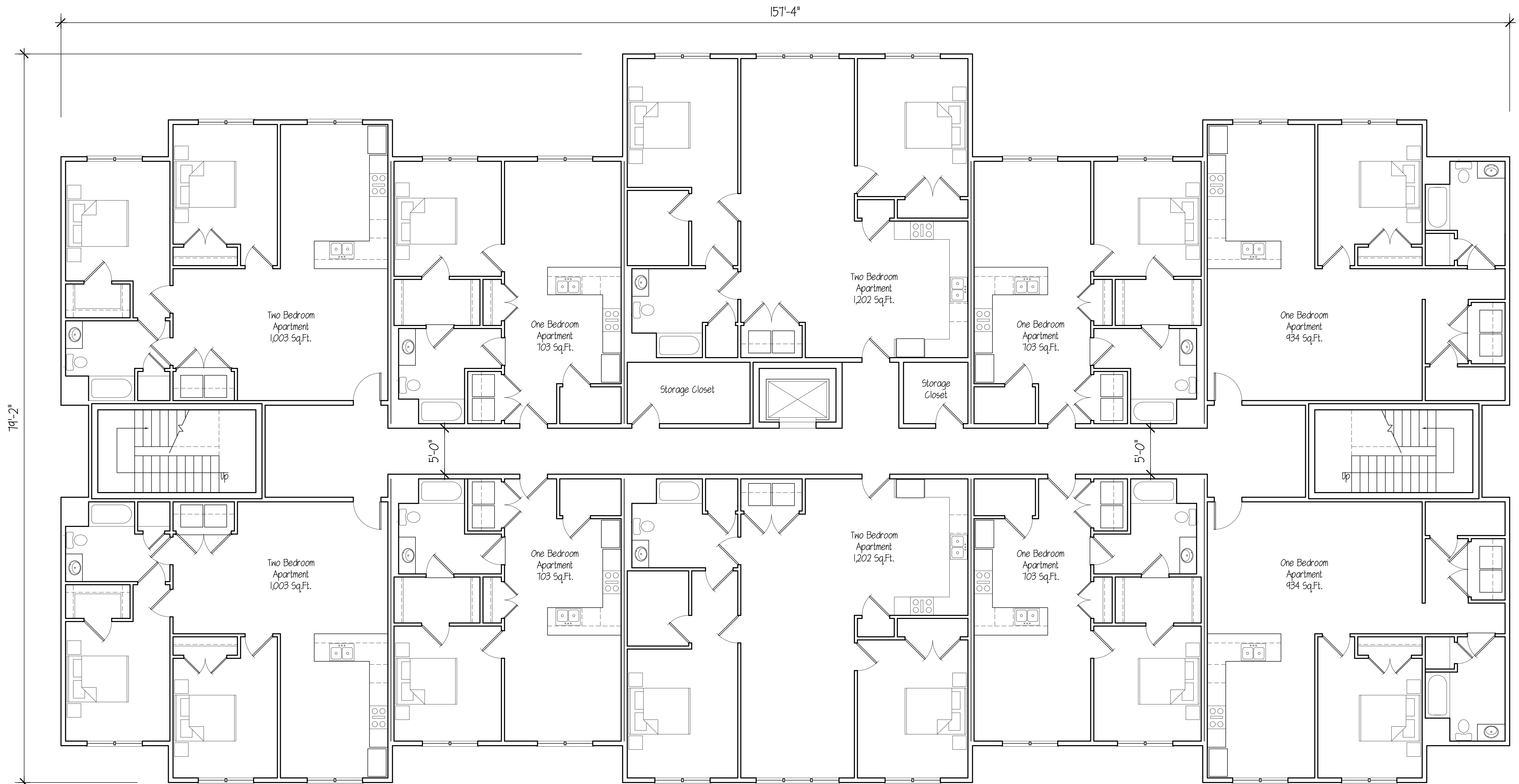
2 OF 3



These plans are the property of the Architect. Any use or reproduction in whole or part without the written authorization of the Architect is prohibited. Any person or corporation who reproduces these plans without the written authorization of the Architect will be responsible to compensate the Architect.
These plans are not valid for a building permit unless the person whose name appears on the plans is a duly licensed professional engineer or architect.

DeMasi Architects P.C.
105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549
PHONE: (914) 666-3858
EMAIL: Lou@DemasiArchitects.com

Do Not Scale Prints



Second & Third Floor Plan

Scale: 3/16" = 1'-0"

Apartment Numbers For First Floor
(6) Single Bedrooms
(3) Double Bedrooms

Apartment Numbers For Second And Third Floors
(12) Single Bedrooms
(8) Double Bedrooms

For A Total Of 40 Beds

Commercial Mixed Use For:

1380 Albany Post Rd.
Croton-On-Hudson, NY.

Revision	Date
Date	June 21, 2022
Job No	221-084
Drawing	

3 OF 3

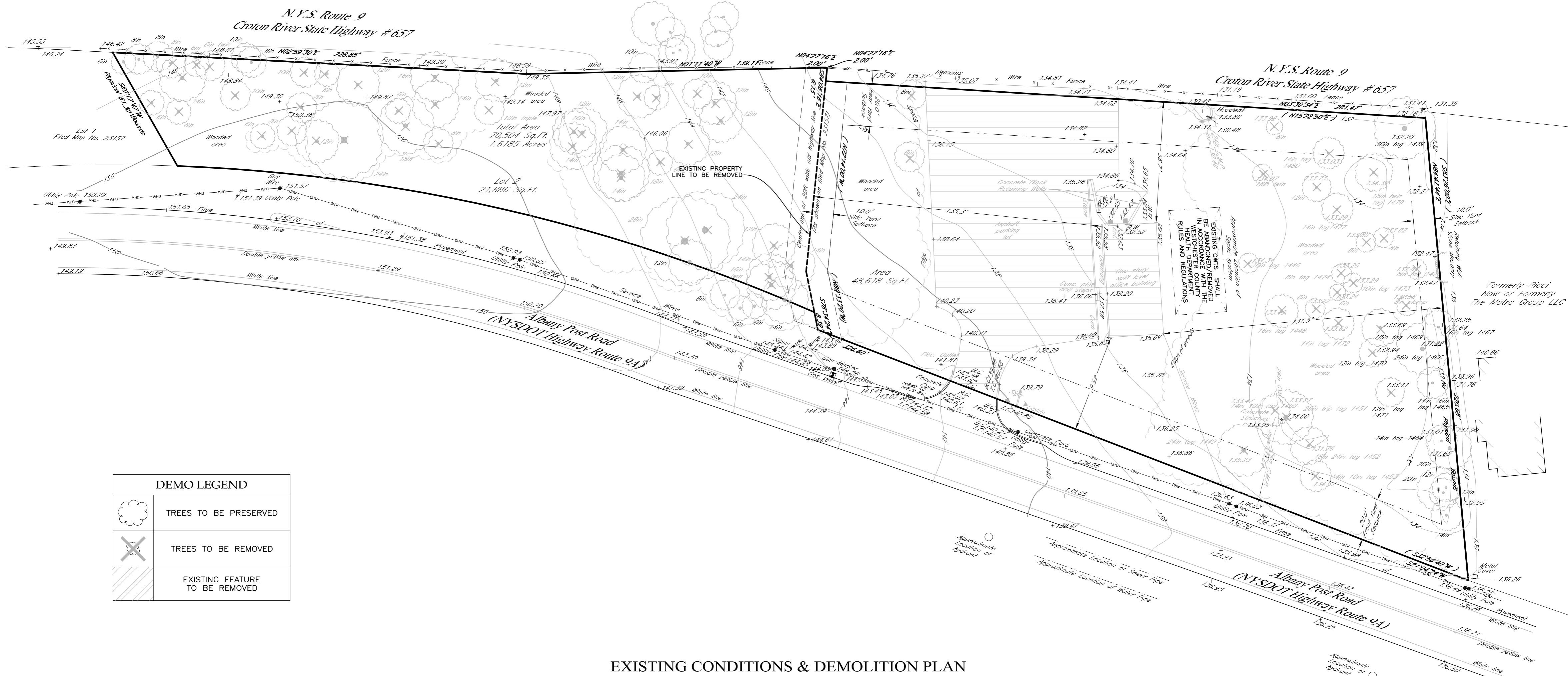


These plans are the property of the Architect. Any use or reproduction in whole or part without the written authorization of the Architect is prohibited. Any person or corporation who reproduces these plans without the written authorization of the Architect will be responsible to compensate the Architect.

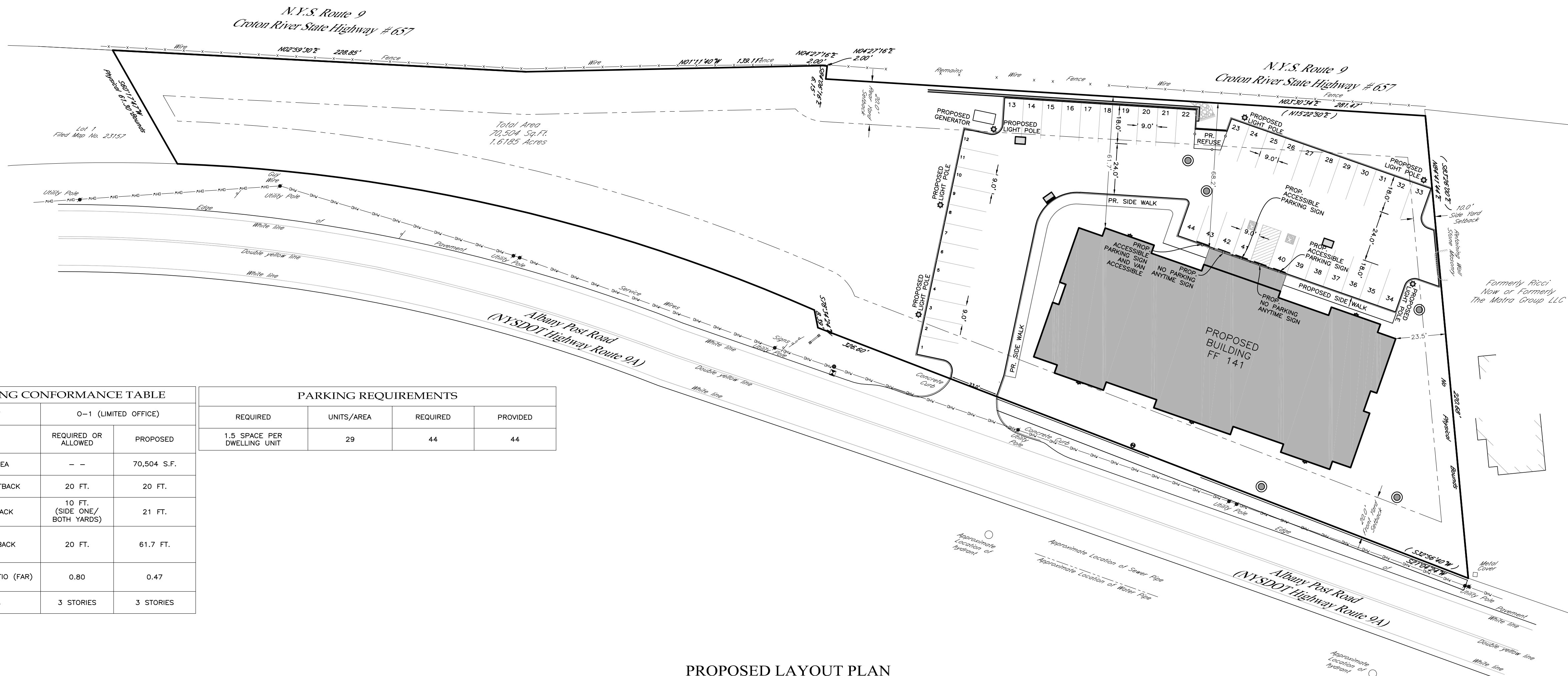
These plans are not valid for a building permit unless accompanied by a signed and sealed certificate for the construction of one structure only by the person whose name appears on the plans.

DeMasi Architects P.C.
105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549
PHONE: (914) 666-3858
EMAIL: Lou@DemasiArchitects.com

Do Not Scale Prints



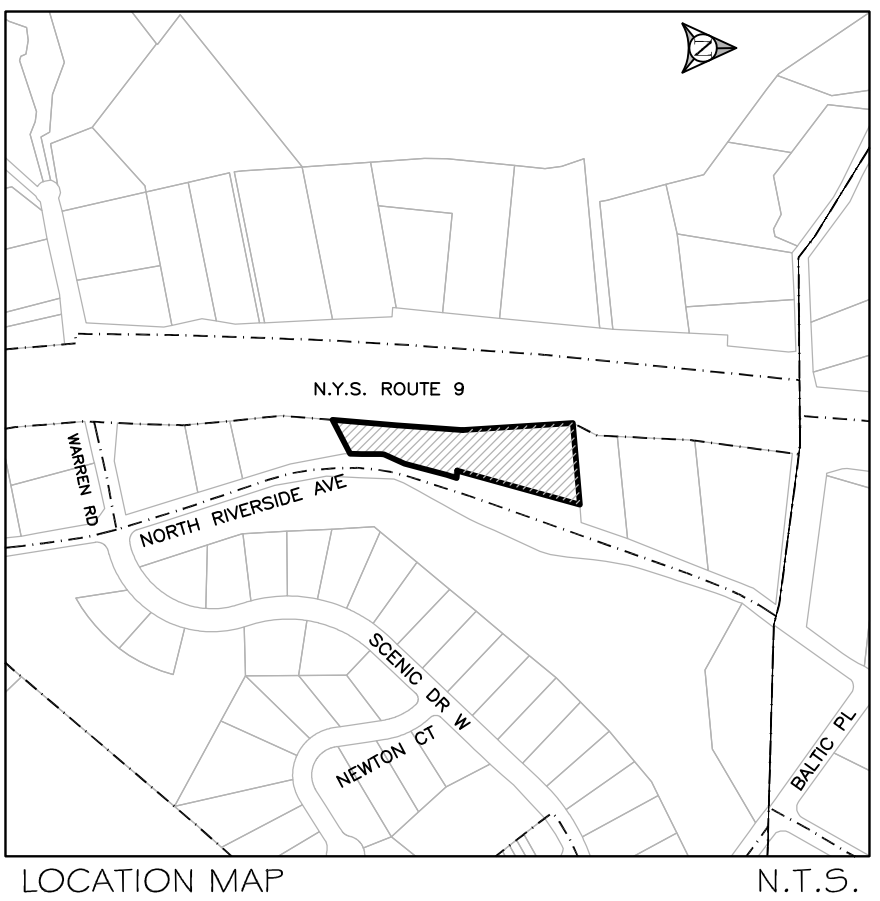
EXISTING CONDITIONS & DEMOLITION PLAN



PROPOSED LAYOUT PLAN

ZONING CONFORMANCE TABLE		
ZONING DISTRICT	O-1 (LIMITED OFFICE)	
	REQUIRED OR ALLOWED	PROPOSED
MINIMUM LOT AREA	--	70,504 S.F.
FRONT YARD SETBACK	20 FT.	20 FT.
SIDE YARD SETBACK	10 FT. (SIDE ONE/ BOTH YARDS)	21 FT.
REAR YARD SETBACK	20 FT.	61.7 FT.
FLOOR AREA RATIO (FAR)	0.80	0.47
MAXIMUM BUILDING HEIGHT	3 STORIES	3 STORIES

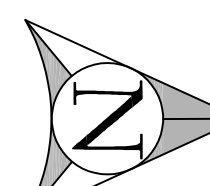
PARKING REQUIREMENTS				
REQUIRED	UNITS/AREA	REQUIRED	PROVIDED	
1.5 SPACE PER DWELLING UNIT	29	44	44	



- CONSTRUCTION NOTES:
1. THE CONTRACTOR SHALL LOCATE AND VERIFY IN THE FIELD ALL UTILITIES, SEWER, WATER, GAS, ELECTRICAL, ETC. PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL CALL CODE 753 (FORMERLY CODE 53) PRIOR TO THE START OF CONSTRUCTION.
 2. THE INSTALLATION OF WATER AND SEWER SHALL BE INSPECTED UNDER THE DIRECTION OF A N.Y. STATE LICENSED PROFESSIONAL ENGINEER.
 3. EROSION AND SEDIMENT CONTROL MEASURES, SHALL BE REQUIRED AS INDICATED ON THIS PLAN OR THE EROSION CONTROL PLAN OR AS DIRECTED BY THE GOVERNING AGENCY, IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).
 4. AS BUILT PLANS IF REQUIRED, SHALL BE CERTIFIED BY A N.Y. STATE LICENSED SURVEYOR OR PROFESSIONAL ENGINEER.
 5. ALL PROPERTY DISTURBED IN THE RIGHT-OF-WAY OR ON PRIVATE LANDS, SHALL BE RESTORED TO ACCEPTABLE CONDITIONS, AS REQUIRED BY THE GOVERNING AGENCY.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICATIONS AND PERMITS REQUIRED FOR CONSTRUCTION.
 7. THE ROAD AND UTILITIES SHALL BE STAKED IN THE FIELD BY A NEW YORK STATE LICENSED SURVEYOR OR ENGINEER.
 8. UNDERGROUND UTILITIES: GAS, ELECTRIC, CABLE, TELEPHONE, ETC. SHALL BE AS REQUIRED BY THE GOVERNING AGENCY AND THE APPROPRIATE UTILITY COMPANY.
 9. ALL PROPOSED OR DISTURBED SLOPES, 1H:3V OR GREATER SHALL BE STABILIZED WITH AN EROSION CONTROL BLANKET.
 10. IN LIEU OF BLASTING, ROCK RIPPING WILL BE USED WHEREVER POSSIBLE. IF BLASTING IS REQUIRED, BLASTING WILL OCCUR IN ACCORDANCE WITH REGULATIONS AND STANDARDS PRESCRIBED BY THE GOVERNING AGENCY. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.
 11. NO REPRESENTATION OF THE SUB-SURFACE SOIL CONDITIONS ON THIS SITE ARE MADE OR IMPLIED. IT IS THE DEVELOPER/CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL IMPROVEMENTS ARE PLACED ON SOIL WITH A SUITABLE BEARING CAPACITY.



IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

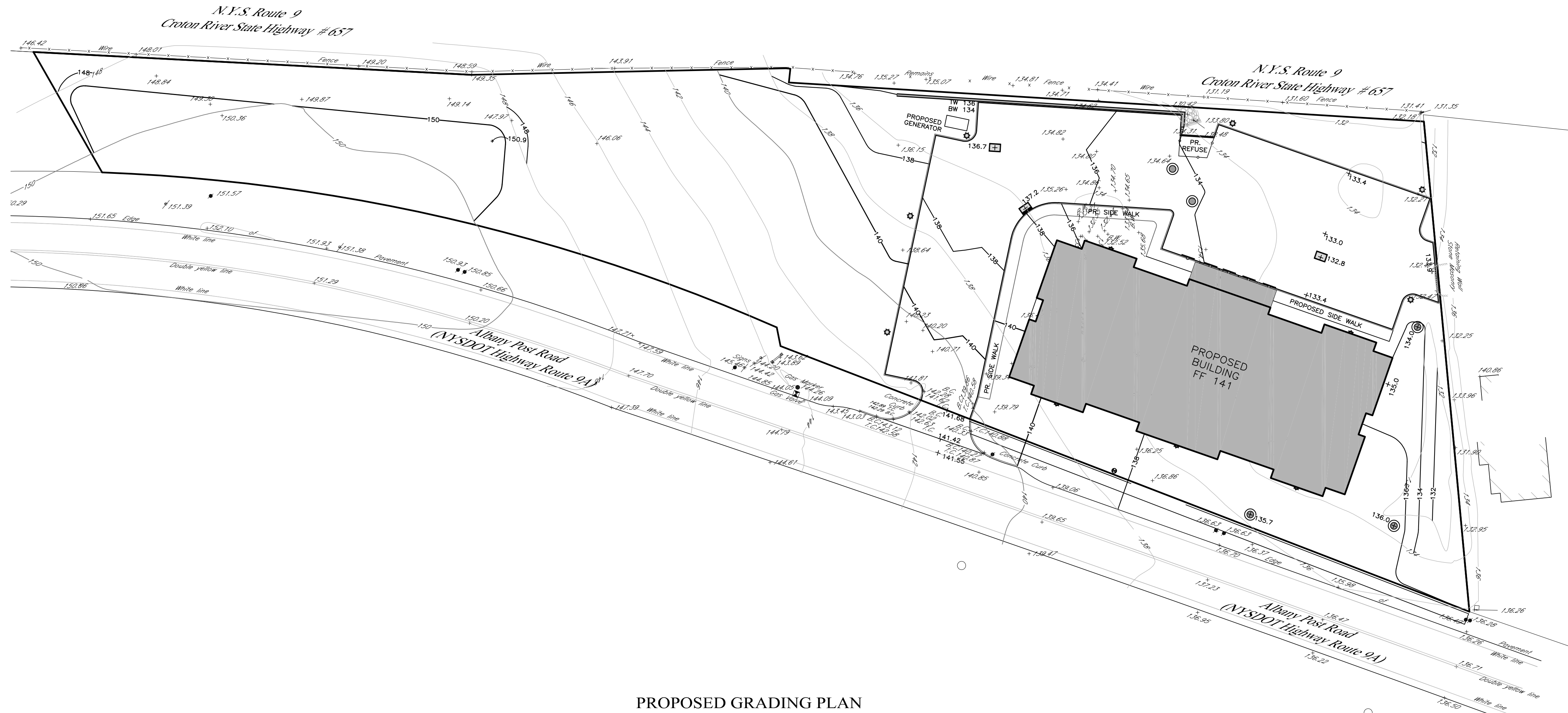


SCALE: 1" = 30'

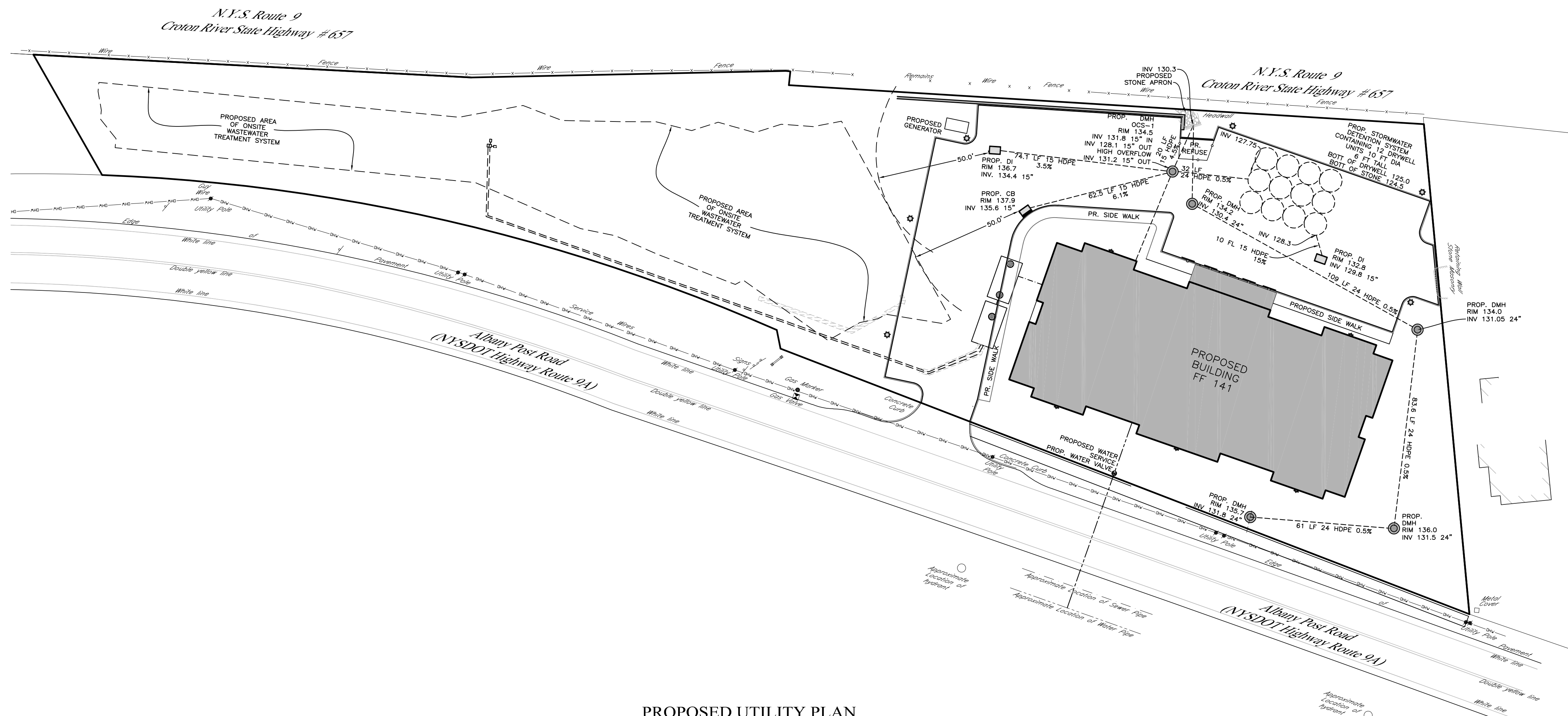
ALFONZETTI ENGINEERING, P.C.
14 SMITH AVE, MT. KISCO, N.Y. 10549
914-666-9800 INFO@ALFONZETTIENG.COM

SITE DATA
OWNER/APPLICANT: MATRA GROUP LLC
SITE ADDRESS: 1380 ALBANY POST ROAD, CROTON ON HUDSON, NY
TAX MAP #: 67.10-2-14
67.10-2-15
LOT AREA: 1.618 AC
ZONING: O-1 (LIMITED OFFICE)
NEED (NORTH END)
DRAWING: EXISTING CONDITIONS, DEMO & SITE LAYOUT PLAN
SEPTEMBER 10, 2021
PROJECT: 1380 ALBANY POST ROAD PROPOSED DEVELOPMENT
CROTON ON HUDSON, WESTCHESTER COUNTY, NEW YORK

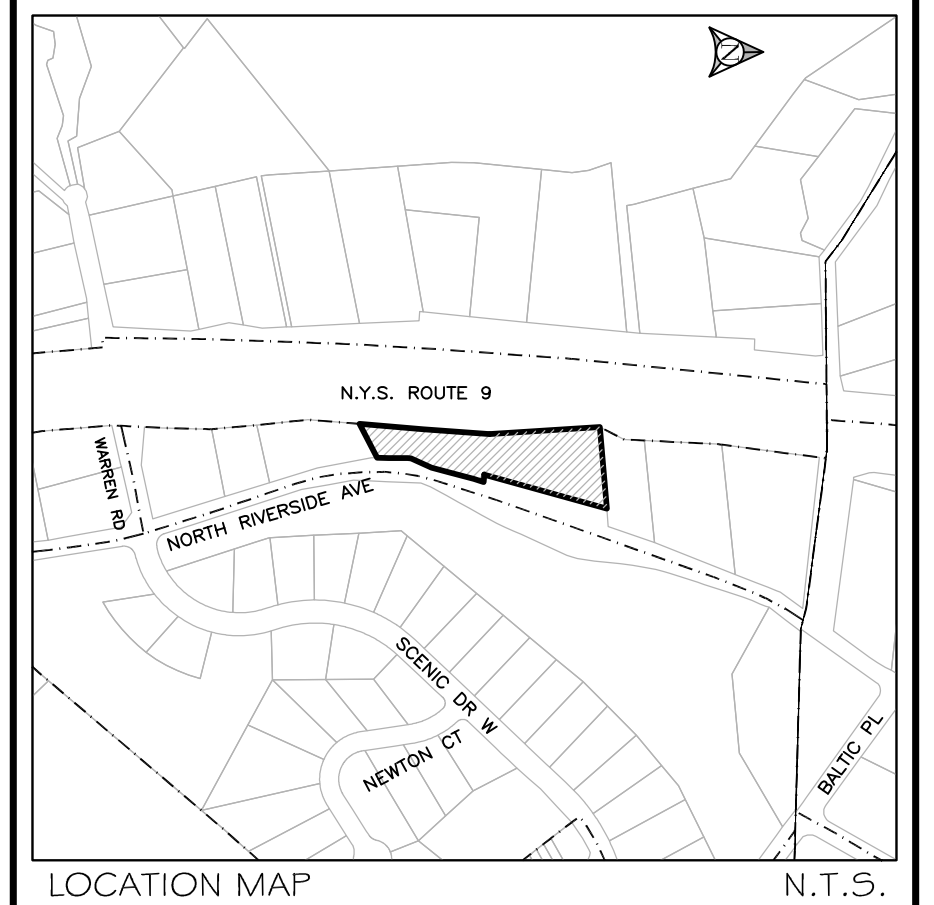
REVISD: JUNE 27, 2022
REVISD: NOVEMBER 1, 2021
SHEET: 01 OF 04



PROPOSED GRADING PLAN



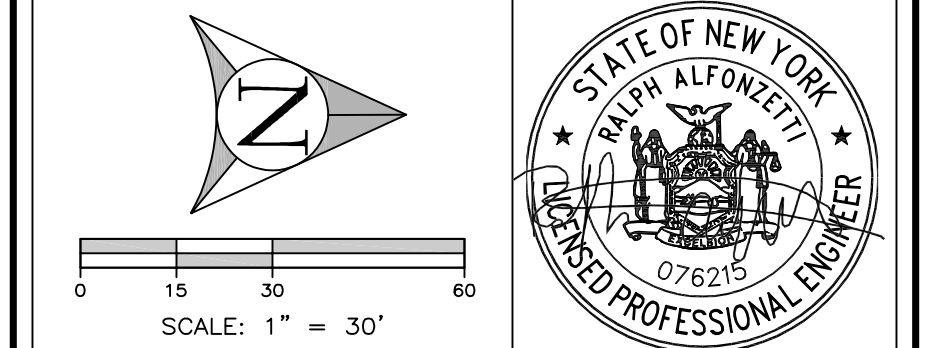
PROPOSED UTILITY PLAN



LOCATION MAP N.T.S.

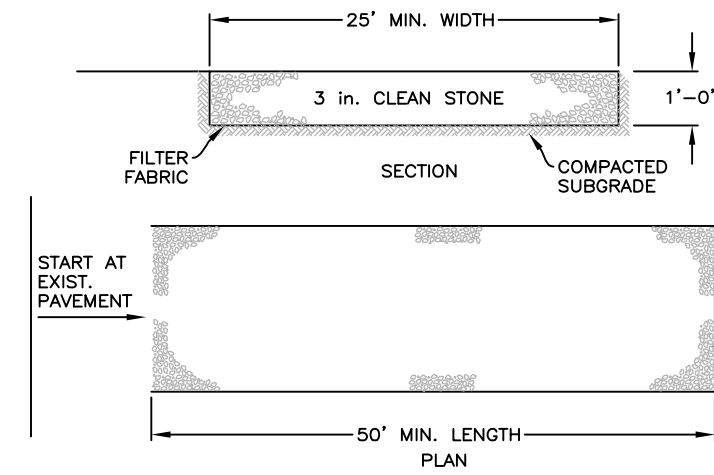
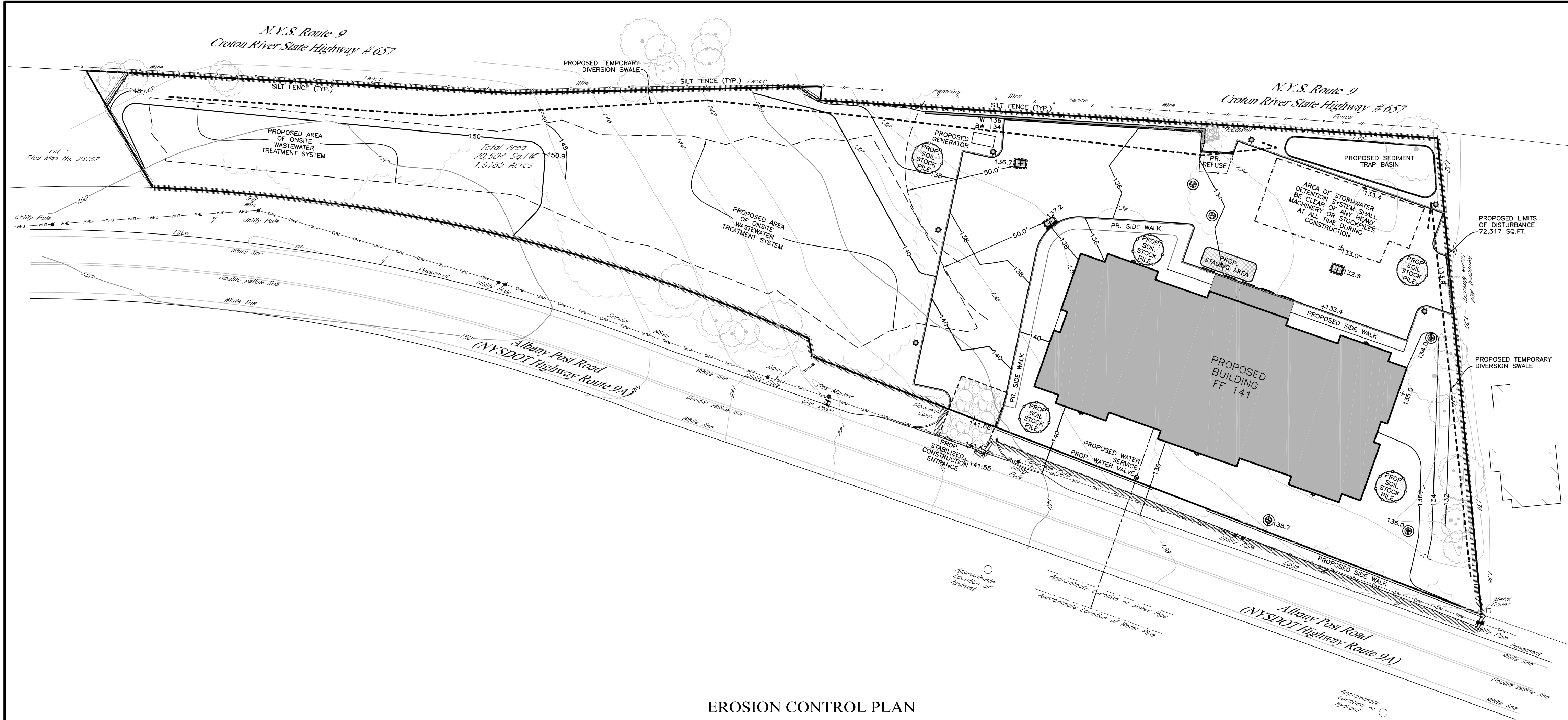


IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



ALFONZETTI ENGINEERING, P.C.
14 SMITH AVE, MT. KISCO, N.Y. 10549
914-666-9800 INFO@ALFONZETTIENG.COM

SITE DATA	
OWNER/APPLICANT: MAYRA GROUP LLC	
SITE ADDRESS: 1380 ALBANY POST ROAD, CROTON ON HUDSON, NY	
TAX MAP #: 67.10-2-14 67.10-2-15	
LOT AREA: 1.618 AC	
ZONING: O-1 (LIMITED OFFICE) NECD (NORTH END)	REVISED: JUNE 27, 2022 REVISED: NOVEMBER 1, 2021
DRAWING:	
PROJECT: 1380 ALBANY POST ROAD PROPOSED DEVELOPMENT CROTON ON HUDSON, WESTCHESTER COUNTY, NEW YORK	

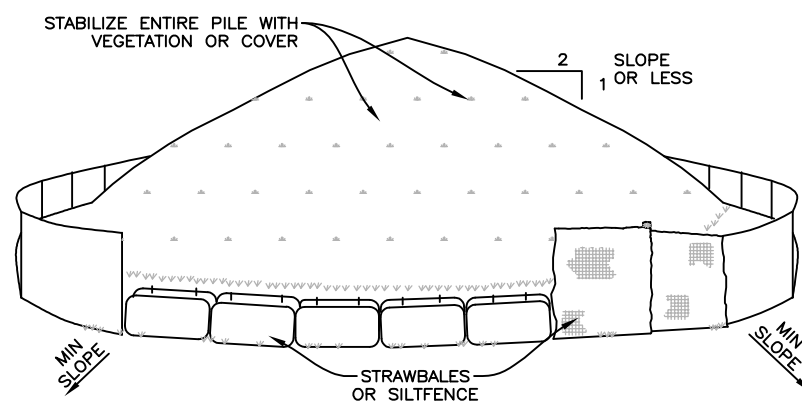


TO BE PROVIDED AT ALL POINTS OF EQUIPMENT INGRESS OR EGRESS ONTO PUBLIC RIGHTS-OF-WAY.

INSTALLATION NOTES

1. STONE SIZE - USE 3" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN 6(6) INCHES.
4. WIDTH - 25 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICES. BENEFICIAL FOR ALL TYPES OF LAWN OR ORNAMENTAL PLANTINGS.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE (ANTI-TRACKING PAD) N.T.S.



TO BE USED WHERE TOPSOIL PRESERVATION IS NECESSARY FOR REGRADING AND VEGETATING DISTURBED AREAS. TOPSOIL IS APPLIED TO SUBSOLLS THAT ARE DROUGHTY (HAVING LOW AVAILABLE MOISTURE FOR PLANTS), STONY, SALTY, HAVE LOW PERMEABILITY, OR ARE EXTREMELY ACID. IT IS ALSO USED TO BACKFILL AROUND SHRUB AND TREE TRANSPLANTS. PRESERVATION OF EXISTING TOPSOIL IS BENEFICIAL FOR ALL TYPES OF LAWN OR ORNAMENTAL PLANTINGS.

TEMPORARY STOCKPILE STABILIZATION MEASURES INCLUDE VEGETATIVE COVER, MULCH, NON-VEGETATIVE COVER, AND PERIPHERAL SEDIMENT TRAPPING BARRIERS. THE STABILIZATION MEASURES SELECTED SHOULD BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS, AND REQUIRED DURATION OF USE.

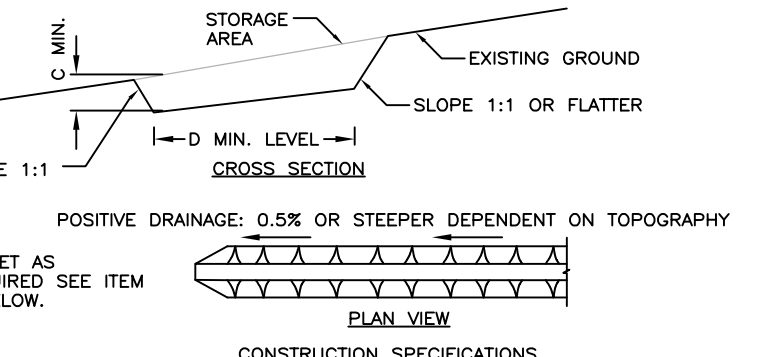
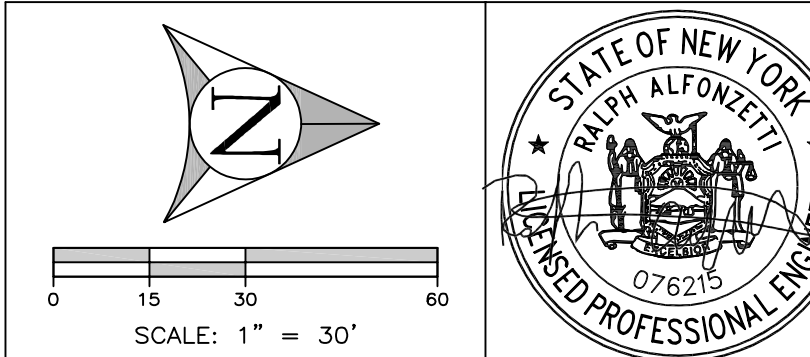
INSTALLATION NOTES

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.

TEMPORARY MATERIAL STOCKPILE N.T.S.



IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



CONSTRUCTION SPECIFICATIONS

1. ALL TEMPORARY SWALES SHALL HAVE UNINTERFERED POSITIVE GRADE TO AN OUTLET.
 2. DIVERTED RUNOFF FROM A DISTURBED AREA SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE.
 3. DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET DIRECTLY INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSIVE VELOCITY.
 4. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE SWALE.
 5. THE SWALE SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPED EARTH MOVING EQUIPMENT.
 6. FILLS SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.
 7. ALL EARTH REMOVED AND NOT NEEDED FOR CONSTRUCTION SHALL BE PLACED SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE SWALE.
 8. STABILIZATION SHALL BE AS PER THE FLOW CHANNEL STABILIZATION CHART BELOW:
- | TYPE OF TREATMENT | CHANNEL GRADE | A/S AC. OR LESS | B/S AC. (10-AC) |
|-------------------|---------------|-----------------------------|---|
| 1 | 0.5-1.0% | SEED AND STRAW MULCH | SEED AND STRAW MULCH |
| 2 | 1.1-2.0% | SEED AND STRAW MULCH | SEED USING JUTE OR EXCELSDUR |
| 3 | 2.1-8.0% | SEED WITH JUTE OR EXCELSDUR | LINED WITH 4-8" RIP-RAP OR RECYCLED CONCRETE EQUIVALENT |
| 4 | 8.1-20.0% | LINED WITH 4-8" RIP-RAP | ENGINEERED DESIGN |
9. PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

TEMPORARY SWALE DETAIL N.T.S.

EROSION CONTROL PLAN

EROSION CONTROL NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD OR UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. PRIOR TO ANY EXCAVATION, SILT FENCE SHALL BE INSTALLED AT THE LOCATIONS NOTED ON THE EROSION CONTROL PLAN. ADDITIONAL SILT FENCE MAY BE REQUIRED BY THE ENGINEER IN THE FIELD. SILT FENCING SHALL BE MAINTAINED IN EFFECTIVE CONDITION AND SHALL NOT BE REMOVED UNTIL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
3. INSTALL ANTI-TRACKING PAD AT ALL CONSTRUCTION ENTRANCES. ANTI-TRACKING PAD SHALL BE 2"-3" DIAMETER CRUSHED STONE OR DEEP.
4. TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT REMOVING DEVICES SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. SEDIMENT SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT RESULT IN ADDITIONAL EROSION OR POLLUTION. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED ON A REGULAR BASIS, AND IMMEDIATELY AFTER EACH RAINFALL TO INSURE PROPER OPERATION AS DESIGNED. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
5. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LINED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 7 DAYS OR OTHERWISE STABILIZED. DO NOT STOCKPILE MATERIALS ON STEEP SLOPES, IN DRAINAGE SWALES OR IN WETLAND AREAS. SURROUND ALL STOCKPILE AREAS WITH STAKED HAYBALES OR SILT FENCE.
6. ALL SLOPES CONSTRUCTED WITH FILL MATERIAL AND ALL SLOPES WITH GRADE 3:1 OR STEEPER SHALL BE TOPSOILED, SEEDED, MULCHED AND STABILIZED WITH STAKED TOBACCO NETTING, OR EROSION BLANKET AS NOTED, UNLESS OTHERWISE DIRECTED.
7. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 7 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LINED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
8. ALL DISTURBED AREAS WITHIN 500 FEET OF A BUILDING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL. A WATERING TRUCK WILL BE USED IN DRY SEASON TO WET DOWN DUST AREAS.
9. THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
10. ALL CATCH BASINS AND DRAIN INLETS ARE TO BE PROTECTED WITH SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE STABILIZED.
11. UTILITY LINE EXCAVATED MATERIAL SHALL BE TEMPORARILY STOCKPILED ON THE HIGH SIDE OF EXCAVATION SO RUNOFF IS DIRECTED AWAY FROM TRENCH. AFTER BACK-FILLING, AREA IS TO BE TOPSOILED, SEEDED AND MULCHED.
12. SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
13. ALL AREAS OF DISTURBED SOIL SHALL BE STABILIZED BY THE CONTRACTOR. IN ADDITION TO ALL SPECIFIED EROSION CONTROL DEVICES, THE CONTRACTOR SHALL TAKE ALL STEPS PRUDENT AND NECESSARY TO STABILIZE THE SITE AT ALL TIMES.
14. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).

CONSTRUCTION SEQUENCE:

THE PROPOSED DEVELOPMENT IS PROPOSED TO BE CONSTRUCTED IN 1 PHASE. THE CONSTRUCTION WILL BE IN A SEQUENCE THAT WILL MINIMIZE THE POTENTIAL FOR EROSION. CONSTRUCTION IS ANTICIPATED TO BEGIN IN THE FALL OF 2021 AND BE COMPLETED IN APPROXIMATELY 18 MONTH TIME FRAME.

THE GENERAL SEQUENCE OF CONSTRUCTION IS AS FOLLOWS:

ACCESS, STAGING AREA, DRAINAGE, STORMWATER BASINS, CLEARING.

1. A PRE-CONSTRUCTION MEETING WILL TAKE PLACE WITH THE TOWN ENGINEER, NYCDOT STAFF, APPLICANT, APPLICANT'S REPRESENTATIVE, AND CONTRACTORS.
2. THE INITIAL FIELDWORK SHALL CONSIST OF SURVEYING AND STAKING FOR DISTURBANCE LIMITS AND EROSION CONTROL INSTALLATION.
3. THE PLACEMENT OF A CONSTRUCTION TRAILER AND/OR FIELD OFFICE AND A CONSTRUCTION STAGING AREA SHALL COMMENCE.
4. ALL TREES TO BE PRESERVED WITHIN THE DISTURBANCE LIMITS SHALL BE MARKED AND PROTECTED PRIOR TO THE START OF CLEARING OPERATIONS.
5. EROSION CONTROLS SHALL BE INSTALLED AS SHOWN ON THE EROSION CONTROL PLAN AND AS PER THE RESPECTIVE EROSION CONTROL DETAILS PER THE CONSTRUCTION SEQUENCE.
6. SILT FENCE AND HAYBALES, WHERE INDICATED, SHALL BE INSTALLED.
7. ANTI-TRACKING PADS SHALL BE INSTALLED AT ALL CONSTRUCTION ENTRANCES.
8. TREES TO BE REMOVED SHALL BE CUT AT THIS TIME.
9. TREES STUMPS SHALL BE REMOVED AT THIS TIME. TREE STUMP REMOVAL SHALL ONLY INCLUDE STUMPS WITHIN THE IMMEDIATE WORK AREA. SILT FENCE DAMAGED BY TREE STUMP REMOVAL SHALL BE REPLACED.
10. THE SEPTIC SYSTEM SHALL BE CORRODED OFF AND PROTECTED FROM HEAVY EQUIPMENT AT THIS TIME.

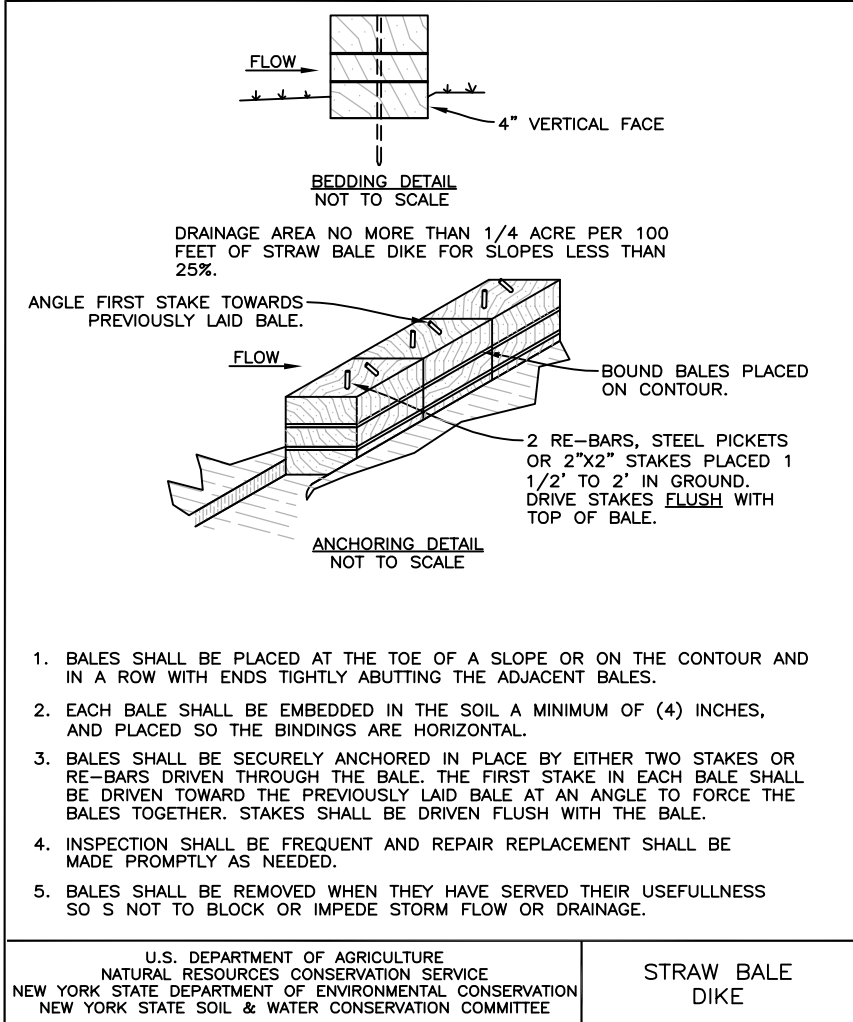
EARTHWORK

11. CLEAR AND GRUB IN THE AREA OF THE SEDIMENT TRAPS.
12. INSTALL SEDIMENT TRAPS. INSTALL STRAW BALES OR SILT FENCE FOR TEMPORARY SOIL STOCKPILE FROM SEDIMENT TRAP.
13. INSTALL THE STAKED HAY BALES UPSTREAM OF SITE AND TEMPORARY DIVERSION SWALES.
14. CLEAR AND GRUB FOR REMAINING WORK AREA.
15. SOIL STRIPPING AND STOCKPILING OCCUR AT THIS TIME.
16. AFTER THE DIVERSION SWALES, SEDIMENT TRAPS, SILT FENCE AND HAYBALES HAVE ALL BEEN INSTALLED EARTHWORK OPERATIONS SHALL BEGIN.
17. EARTHWORK OPERATIONS INCLUDE ROCK DRILLING & BLASTING PRIOR TO ANY BLASTING, THE CONTRACTOR SHALL APPLY FOR AND SECURE ALL BLASTING PERMITS NECESSARY.
18. A WATER TRUCK WILL BE AVAILABLE DURING DRY TIMES TO REDUCE AIRBORNE DUST.
19. BUILDING CONSTRUCTION/GRADING/DRAINAGE/SEPTIC SYSTEM/UTILITY INSTALLATION.
20. AS THE GRADE NEARS FINISHED FORM, THE BUILDING EXCAVATION FOR THE FOUNDATIONS AND THE FOUNDATIONS SHALL BEGIN.
21. THE BUILDING'S SUPERSTRUCTURE CONSTRUCTION BEGINS ONCE THE FOUNDATIONS HAVE PROPERLY CURED AND BACKFILLING IS COMPLETE.
22. UTILITIES SUCH AS DRAINAGE AND SEPTIC SYSTEM, AND ELECTRIC ALONG WITH OTHERS, AS REQUIRED, SHALL BE INSTALLED, BACKFILLED AND COMPACTED WHILE THE SUPERSTRUCTURE IS BEING BUILT.
23. AS THE DRAINAGE SYSTEM IS INSTALLED, IT SHALL BE PROTECTED TO ENSURE SEDIMENT DOES NOT ENTER THE SYSTEM. DRAIN INLETS AND CATCH BASINS SHALL BE RAISED APPROXIMATELY 3" ABOVE FINISHED GRADE DURING CONSTRUCTION, PRIOR TO PAVING, AND PRIOR TO BINDER COURSE INSTALLATION. STONE AND BLOCK INLET PROTECTION SHALL BE INSTALLED AT ALL INLETS AND CATCH BASINS.
24. THE APPROPRIATE PROPOSED UTILITY SERVICES ARE INSTALLED TO THE PROPOSED BUILDING.
25. ONCE ROUGH GRADING OPERATIONS ARE COMPLETED, FINAL GRADING WILL COMMENCE AND BINDER COURSE WILL BE INSTALLED. AFTER BINDER INSTALLATION, STONE AND BLOCK INLET PROTECTION SHALL BE INSTALLED.
26. SEEDING, SODDING, AND OTHER SOIL STABILIZING LANDSCAPING MAY BE INSTALLED.

STABILIZATION

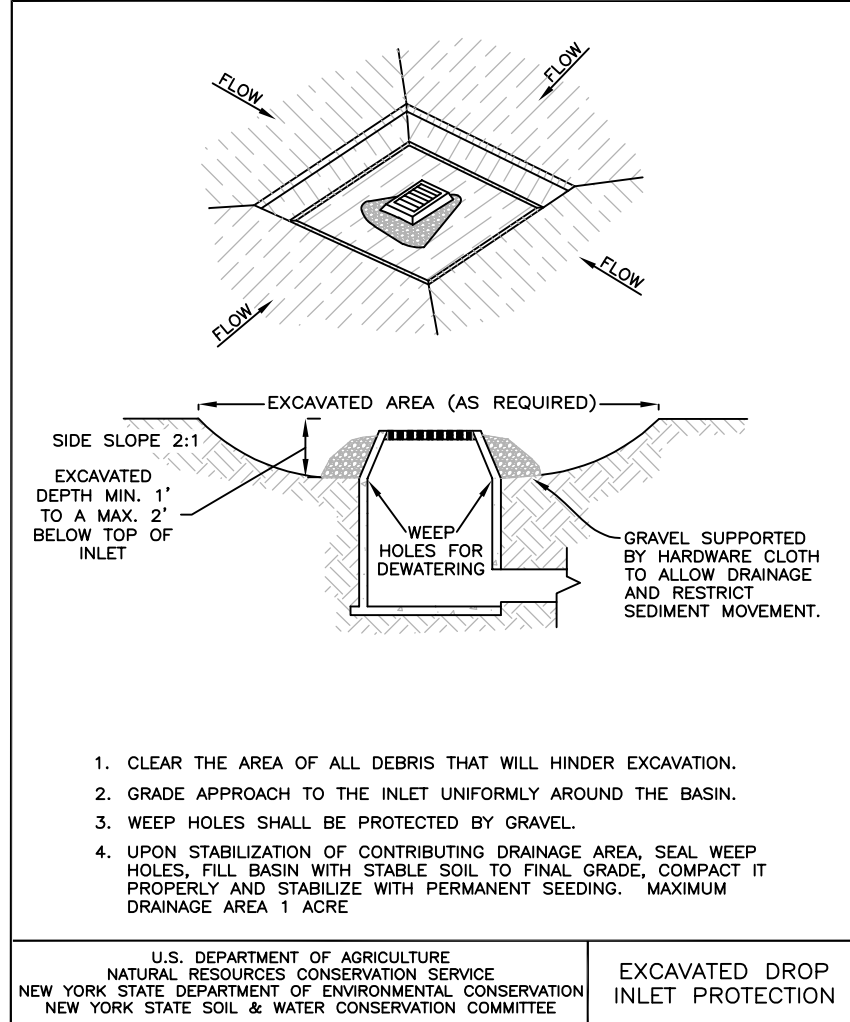
26. SEDIMENT FROM THE TEMPORARY SEDIMENT TRAP(S) SHALL BE REMOVED AND DISPOSED OF IN A LAWFUL MANNER. THE STORMWATER BASIN/POND SHALL BE BROUGHT TO FINAL GRADE AS PER THE GRADING PLAN.
27. RIP RAP AND OTHER TREATMENTS SHALL BE INSTALLED IN THE STORMWATER BASIN/POND AS PER THE UTILITY PLAN.
28. THE PERMANENT STORMWATER BASIN/POND SHALL BE LANDSCAPED WITH SPECIFIED PLANTS.
29. ROWWAYS/PARKING AREAS SHALL BE PAVED WITH TOP COURSE AND STRIPPED AS HEAVY EQUIPMENT IS NO LONGER REQUIRED ONSITE.
30. AS AREAS ARE STABILIZED, SEDIMENT SHALL BE REMOVED AND EROSION CONTROL DEVICES SHALL BE DISCARDED IN AN APPROPRIATE MANNER. FINAL STABILIZATION FOR VEGETATED AREAS REQUIRES AT LEAST BOX VEGETATIVE COVER. ALL DRAINAGE STRUCTURES SHALL BE INSPECTED AND CLEANED IF NECESSARY.

REMOVAL OF EROSION CONTROL DEVICES



HAYBALE SEDIMENT BARRIERS N.T.S.

U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE



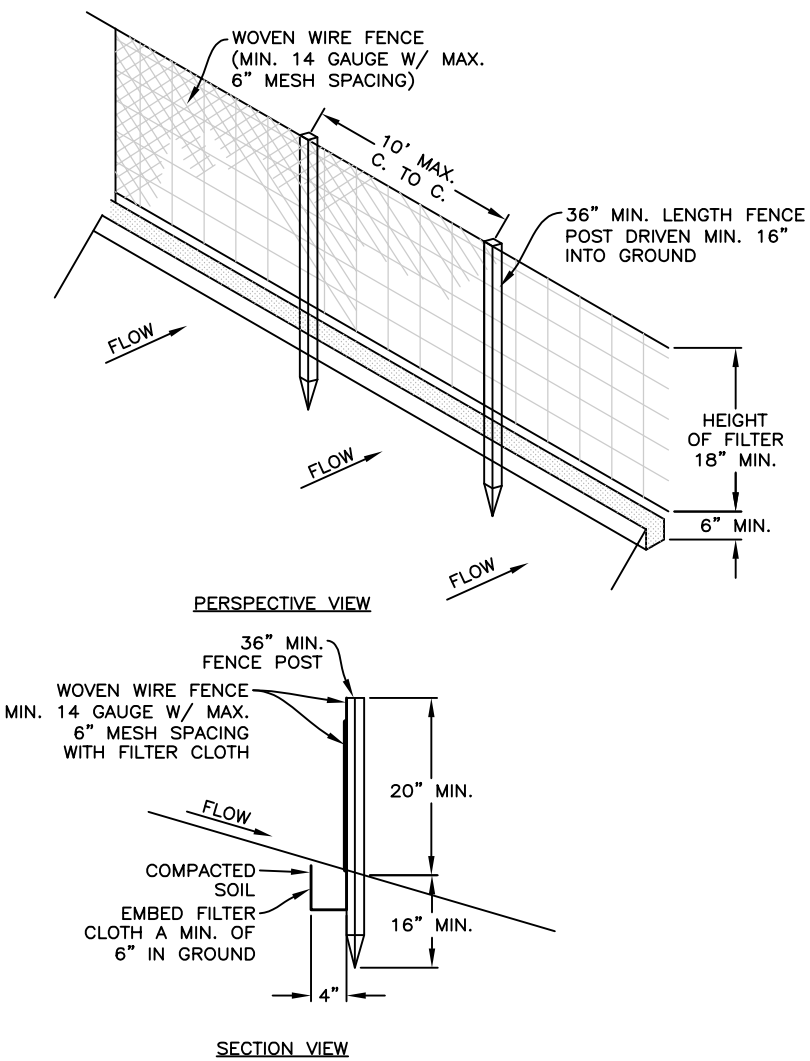
INLET PROTECTION N.T.S.

U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

CONSTRUCTION SPECIFICATIONS

1. AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED.
2. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS AND OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC MATERIAL, OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVELING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
3. ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER.
4. THE STONE USED IN THE OUTLET SHALL BE SMALL RIPRAP 4"-8" ALONG WITH A 1" THICKNESS OF 2" AGGREGATE PLACED ON THE UP-GRADE SIDE ON THE SMALL RIPRAP OR EMBEDDED FILTER CLOTH IN THE RIPRAP.
5. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP.
6. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
7. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND SEDIMENT ARE CONTROLLED.
8. THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

MAXIMUM DRAINAGE AREA 5 ACRES



CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POST WITH TIES OR STAPLES. POST SHALL BE STEEL EITHER 1" OR 1 1/2" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIMIR 100X, STABULINK T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL MEET THE MINIMUM REQUIREMENTS SHOWN.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE N.T.S.

U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

STONE OUTLET SEDIMENT TRAP-ST-IV N.T.S.

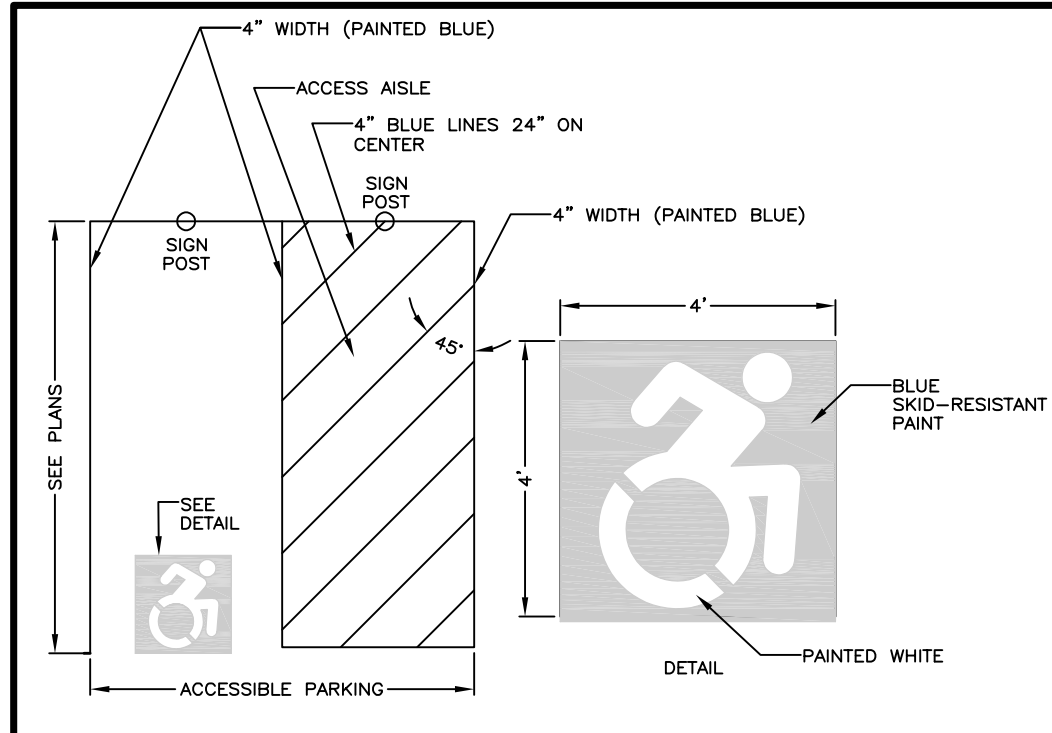
U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

ALFONZETTI ENGINEERING, P.C.
14 SMITH AVE, MT. KISCO, N.Y. 10549
914-666-9800 INFO@ALFONZETTIENG.COM

SITE DATA	
OWNER/APPLICANT:	MATRA GROUP LLC
DATE:	07-10-2021
TAX MAP #:	07-10-2-14
LOT AREA:	1.618 AC
ZONING:	0-1 (LIMITED OFFICE)
NEED (NORTH END)	REVISOR: NOVEMBER 1, 2021
DRAWING:	REVISOR: JUNE 27, 2022

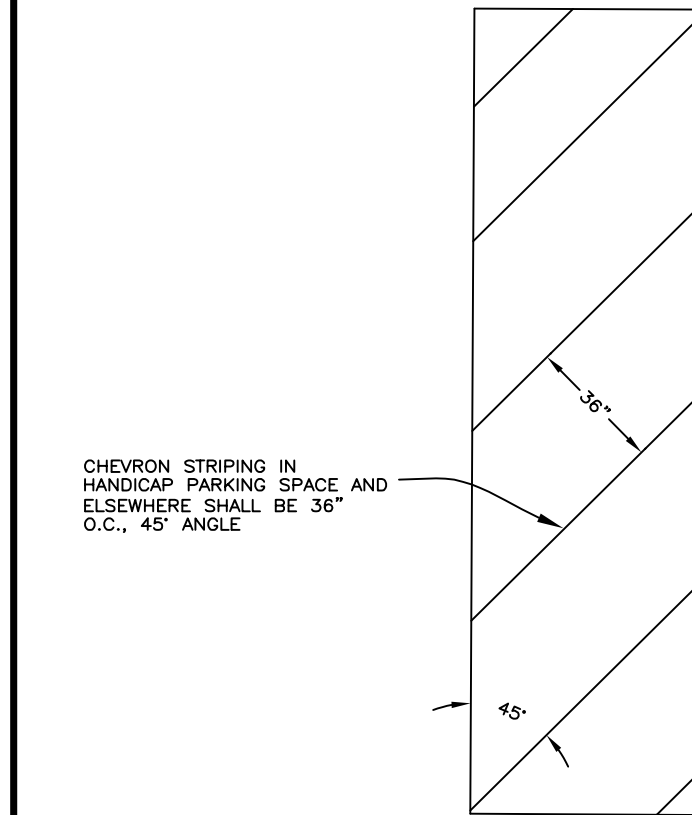
EROSION CONTROL PLAN JANUARY 21, 2021

1380 ALBANY POST ROAD
PROPOSED DEVELOPMENT
CROTON ON HUDSON, WESTCHESTER COUNTY, NEW YORK



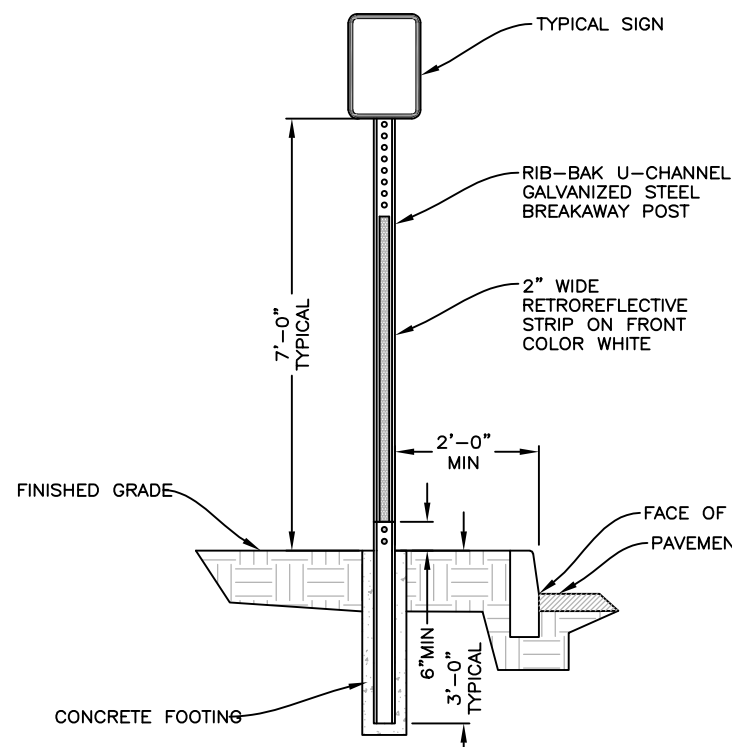
- NOTES:
1. ALL DIMENSIONS TO CENTER OF PAVEMENT STRIPING.
 2. ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 2.0%.
 3. THE ACCESSIBLE SYMBOL, DEPICTED ABOVE DOES NOT COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND IS SHOWN FOR COMPLIANCE WITH STATE AND LOCAL REGULATIONS ONLY.

ACCESSIBLE PARKING SPACE
N.T.S.

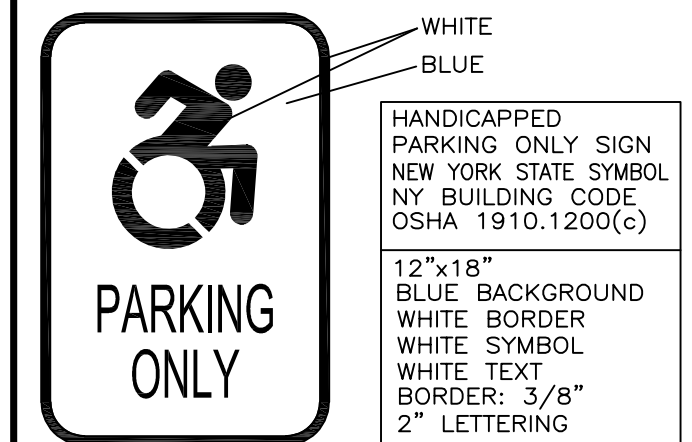


- NOTES:
1. PARKING LOT STRIPING AND CHEVRONS SHALL BE 4" WIDE WHITE REFLECTIVE PAINT.
 2. PARKING LOT STRIPING AND CHEVRONS IN DESIGNATED HANDICAP AISLE SHALL BE 4" WIDE BLUE REFLECTIVE PAINT.

PAVEMENT MARKING DETAIL
N.T.S.



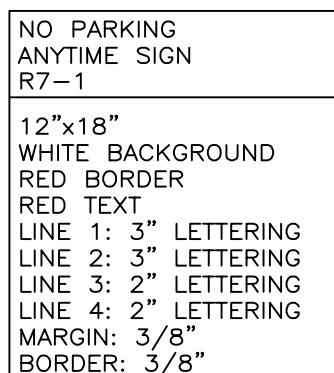
SIGN POST DETAIL
N.T.S.



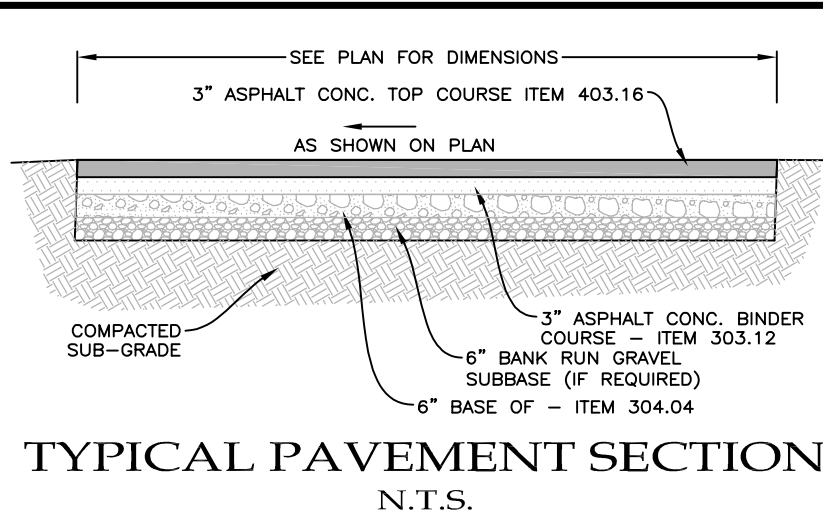
ACCESSIBLE PARKING ONLY SIGN DETAIL
N.T.S.



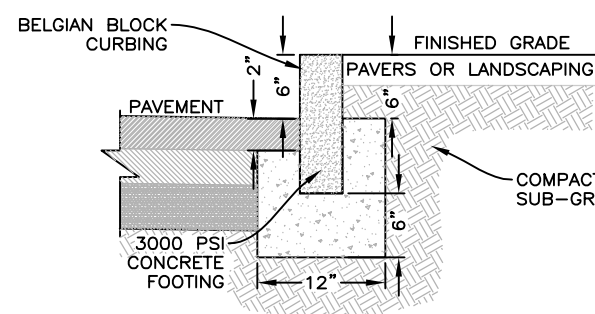
NO PARKING ANY TIME SIGN DETAIL
N.T.S.



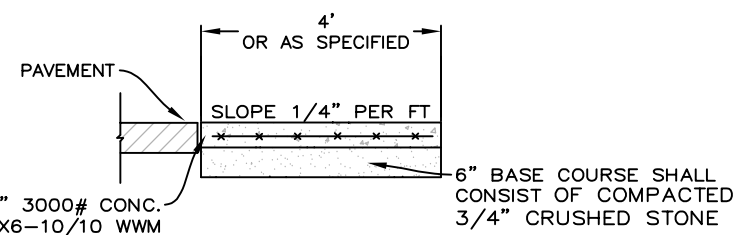
N.T.S.



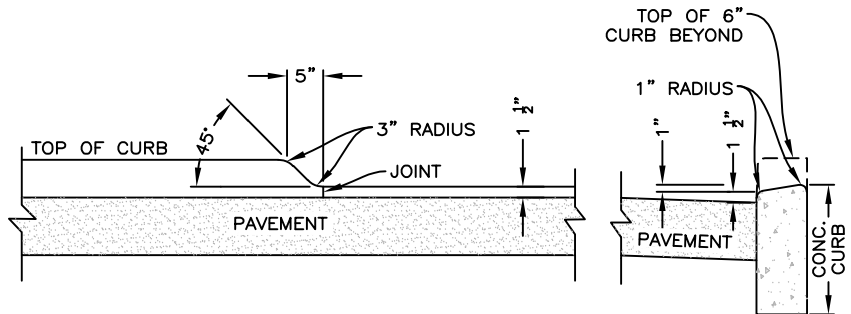
TYPICAL PAVEMENT SECTION
N.T.S.



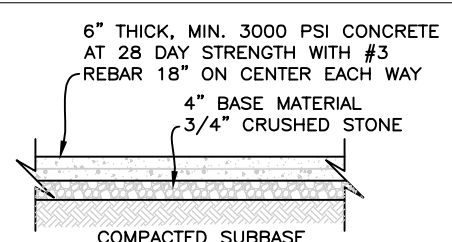
BELGIAN BLOCK CURB
N.T.S.



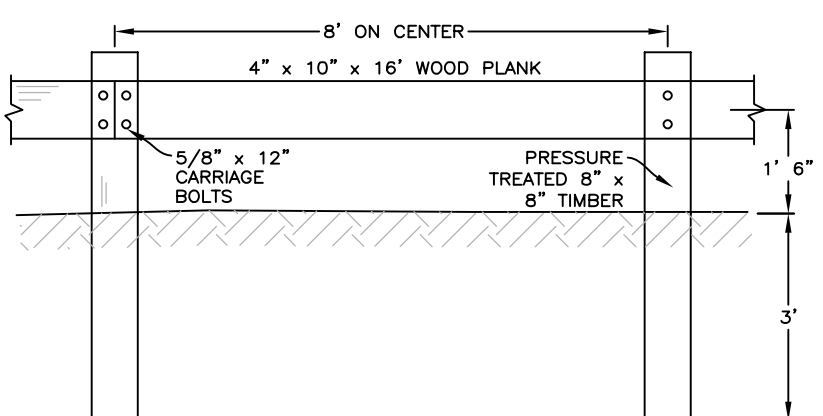
CONCRETE SIDEWALK
N.T.S.



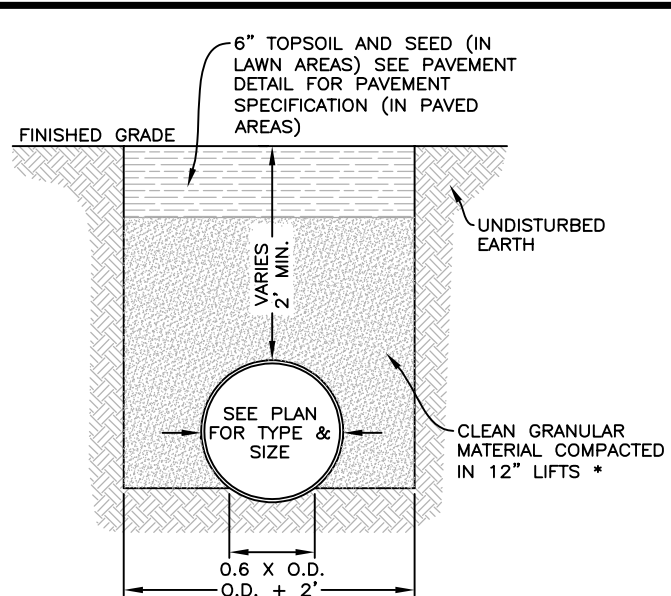
DROP CURB
N.T.S.



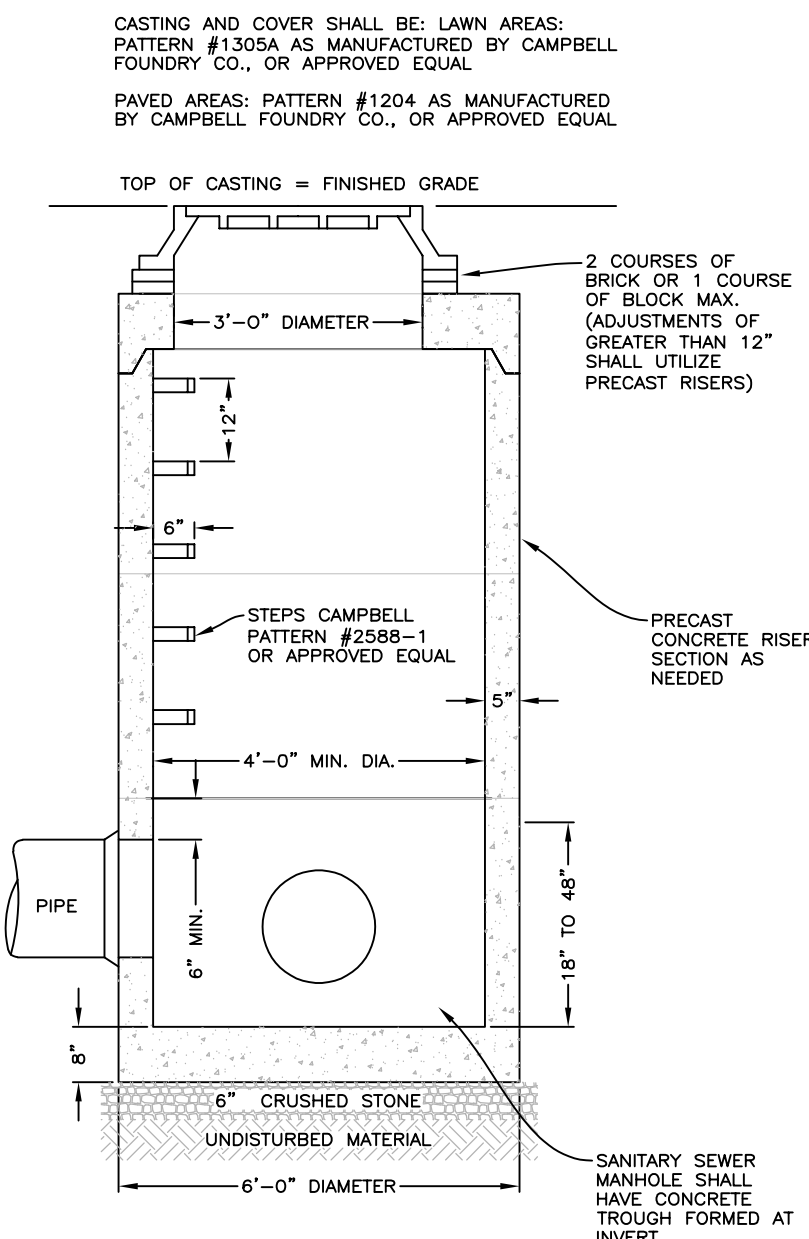
GARBAGE AREA PAD
N.T.S.



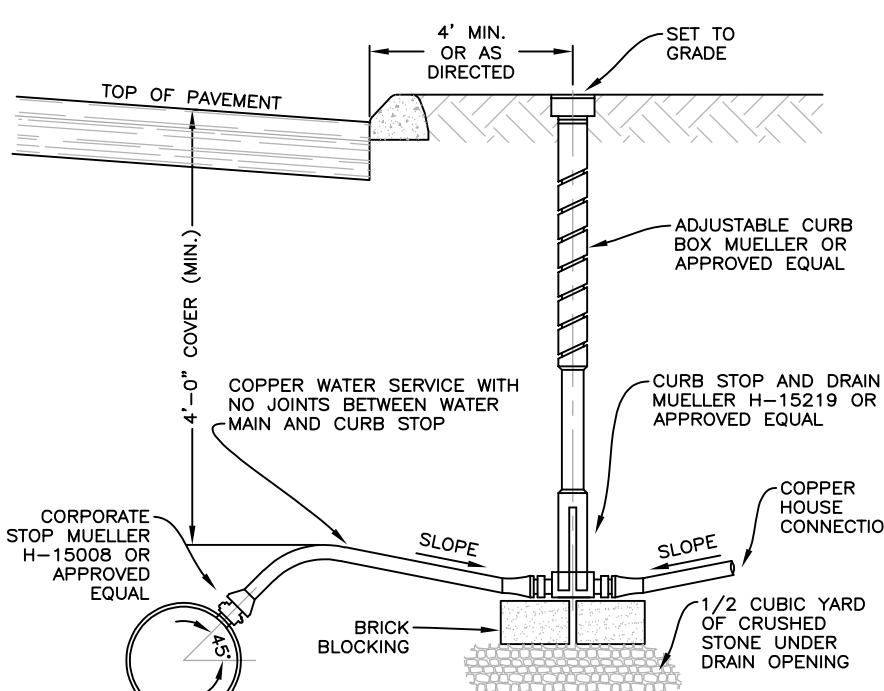
GUIDE RAIL
N.T.S.



DRAIN PIPE TRENCH DETAIL
N.T.S.



SANITARY AND DRAIN MANHOLE
N.T.S.



WATER SERVICE CONNECTION DETAIL
N.T.S.

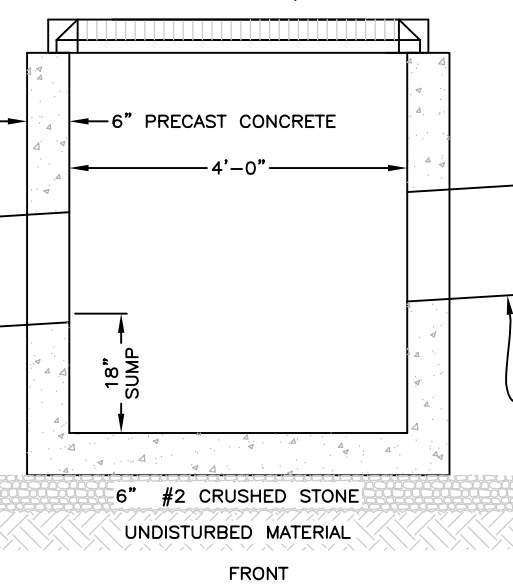
- WATER SERVICE NOTES:
1. THE WATER LINE TAP SIZE SHALL BE DETERMINED AT THE TIME A WATER TAP PERMIT IS OBTAINED FROM THE ARMONK WATER DEPARTMENT.
 2. ALL WATER TAPS (INCLUDING CURB BOXES) AND UTILITY SLEEVES MUST BE INSTALLED PRIOR TO PAVING.

FRAME AND GRATE SHALL BE: LAWN AREAS: PATTERN #3223 AS MANUFACTURED BY CAMPBELL FOUNDRY CO., OR APPROVED EQUAL.

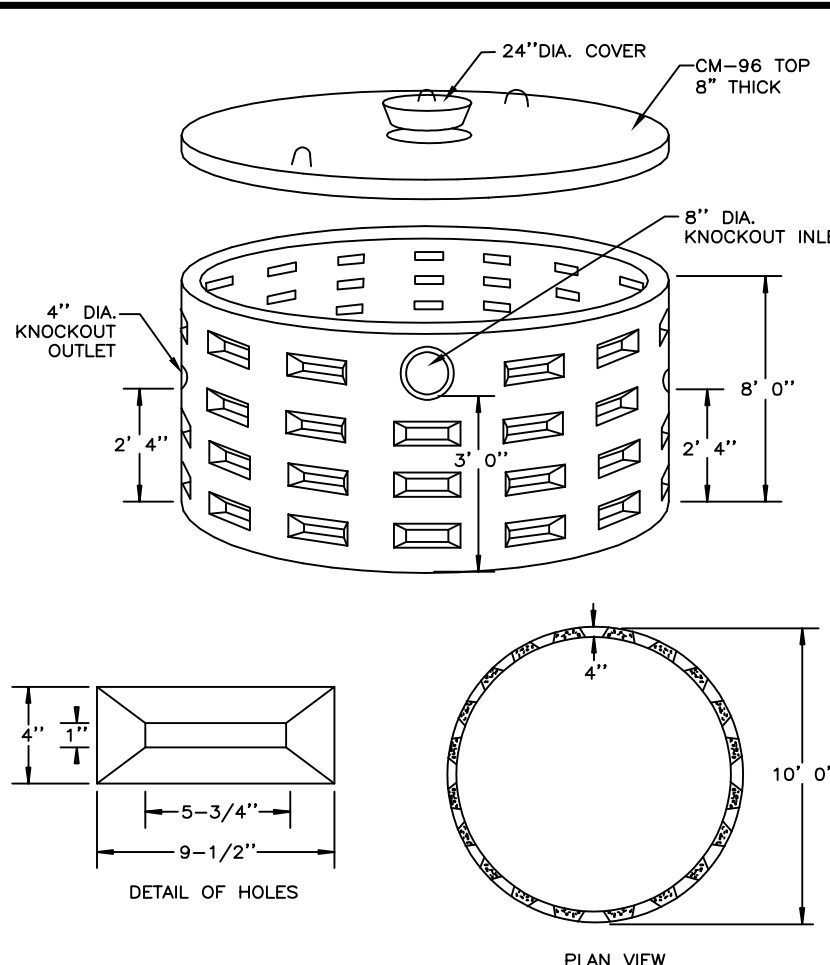
PAVED AREAS: PATTERN #3408 AS MANUFACTURED BY CAMPBELL FOUNDRY CO., OR APPROVED EQUAL.

NOTE: USE STEPS FOR DEPTH GREATER THAN 4" (CAMPBELL NO. 2580 OR EQUAL).

NOTE: ALL FRAME AND GRATES SHALL BE SET IN ORDER TO CORRESPOND WITH THE FINAL TOP COURSE ELEVATION.

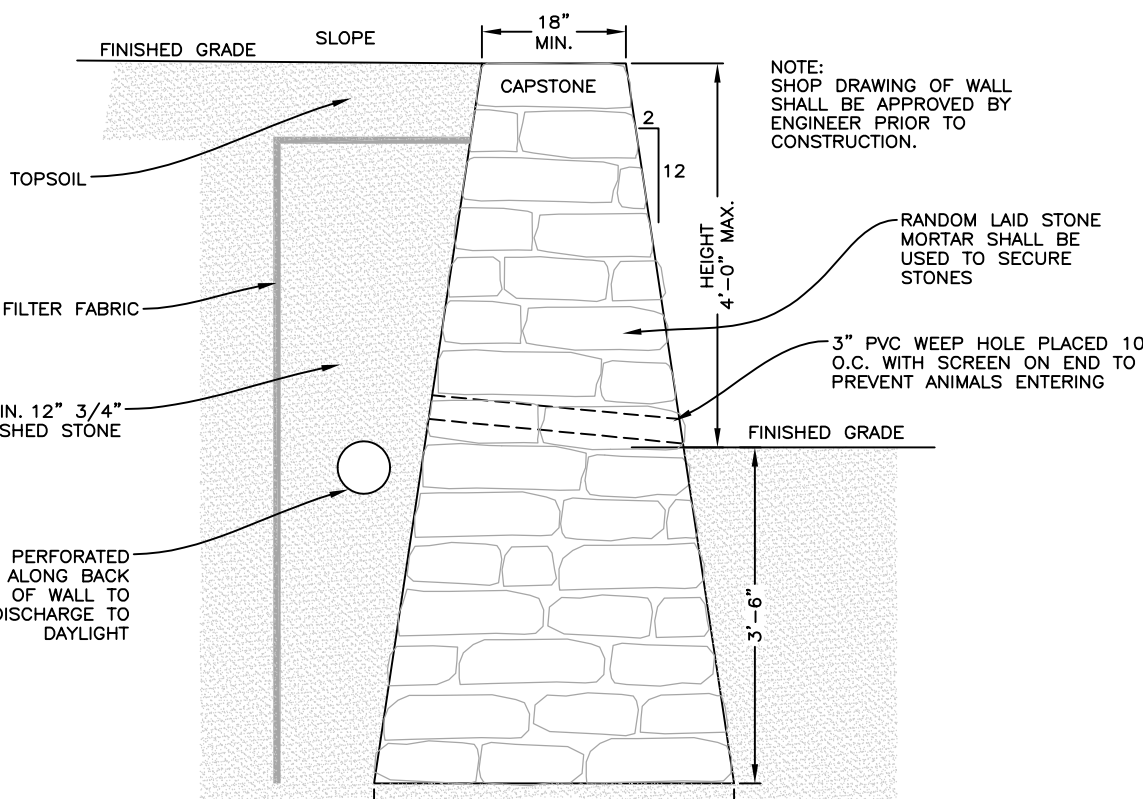


DRAIN INLET
N.T.S.

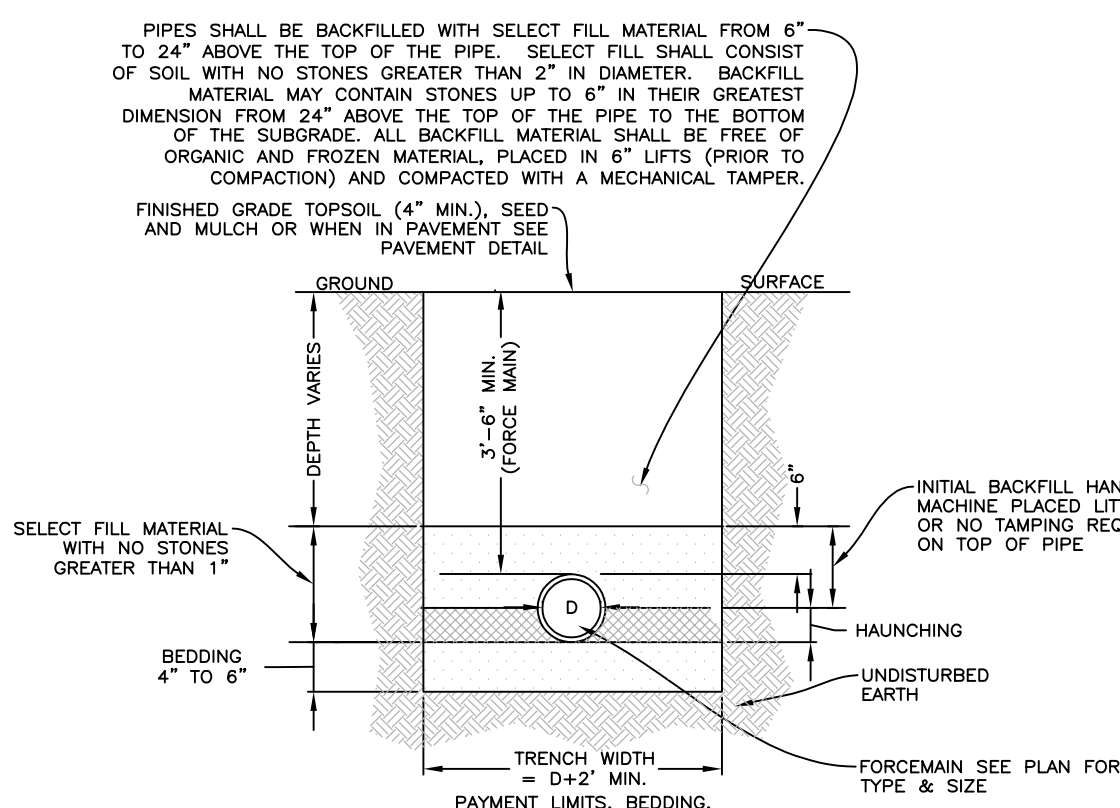


PRECAST DRYWELL
N.T.S.

HEIGHT	BASE
2'-0"	2'-0"
4'-0"	4'-0"

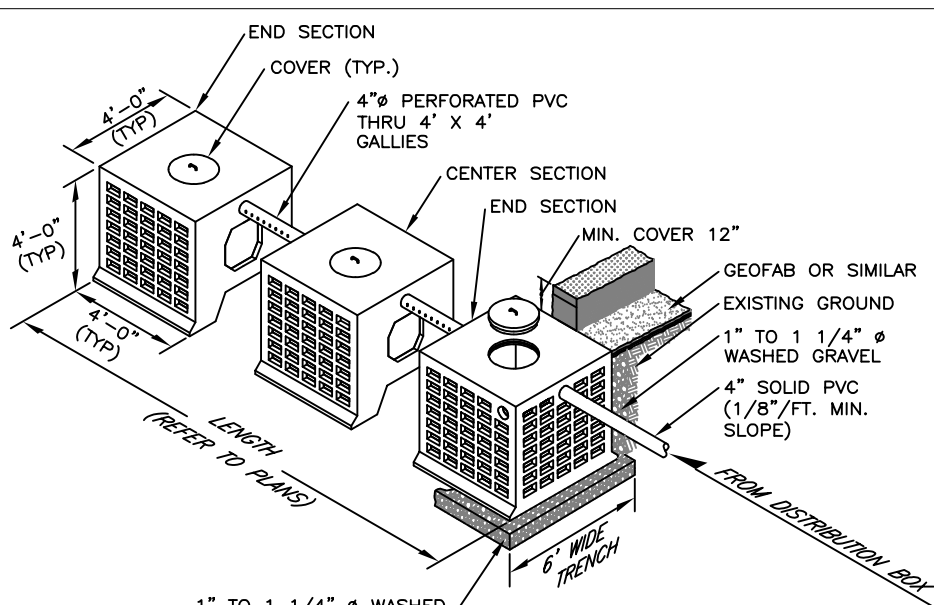


TYPICAL RETAINING WALL
N.T.S.



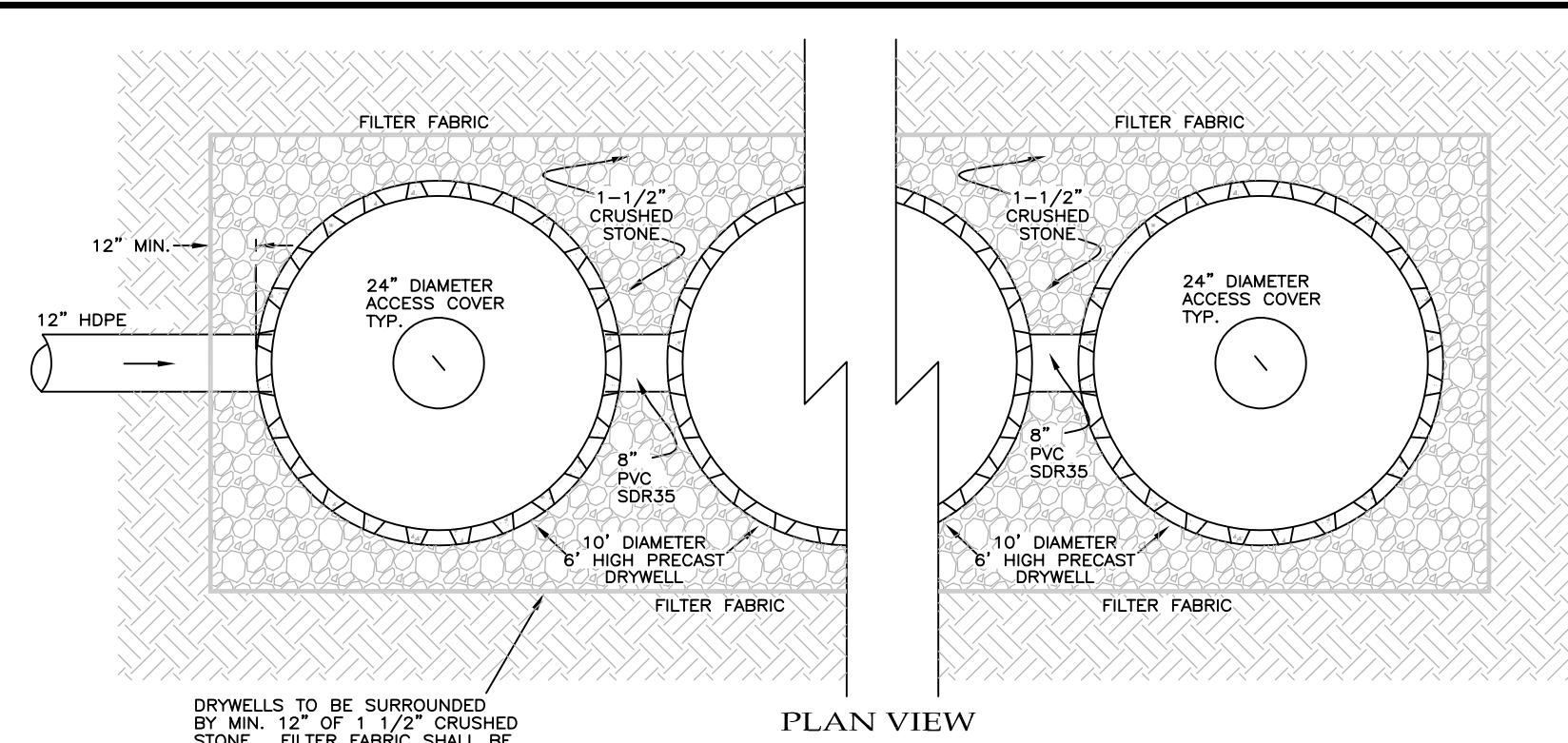
FORCEMAIN TRENCH DETAIL
N.T.S.

- NOTES:
1. ROCK IS TO PROJECT INTO WITHIN THE EDGES OF THE TRENCH. IN ROCK EXCAVATION PIPE SHALL BE A MIN. OF 6" OVER AND AWAY FROM ROCK.
 2. BACKFILL SHALL BE PLACED SO AS TO NOT DISTURB THE PIPE ALIGNMENT.

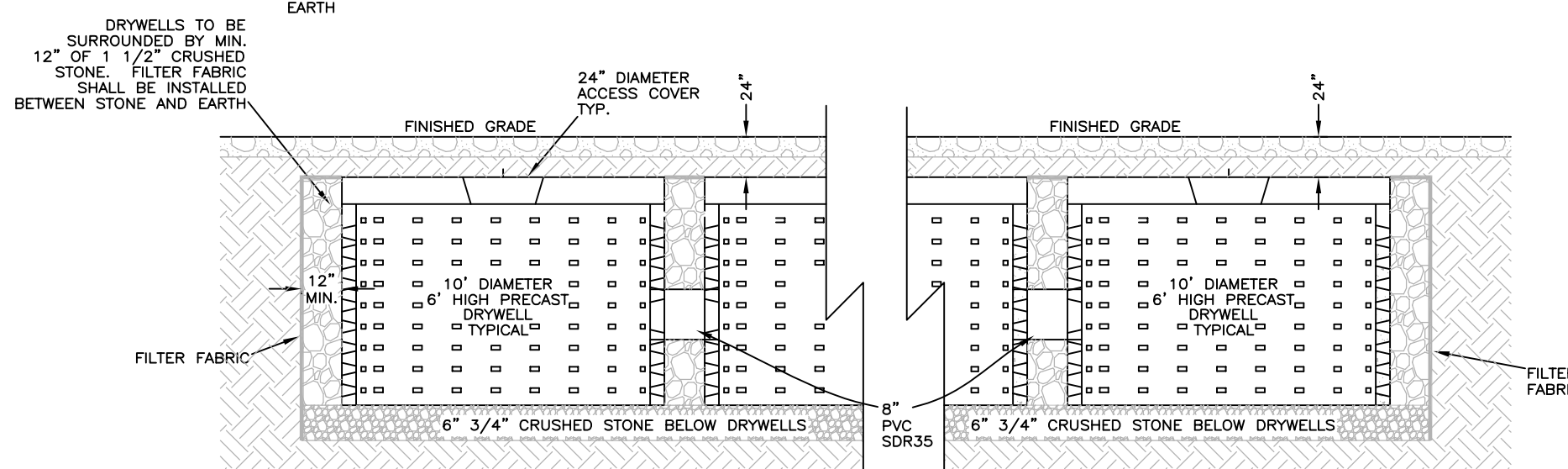


4'x4' GALLIES DETAIL
N.T.S.

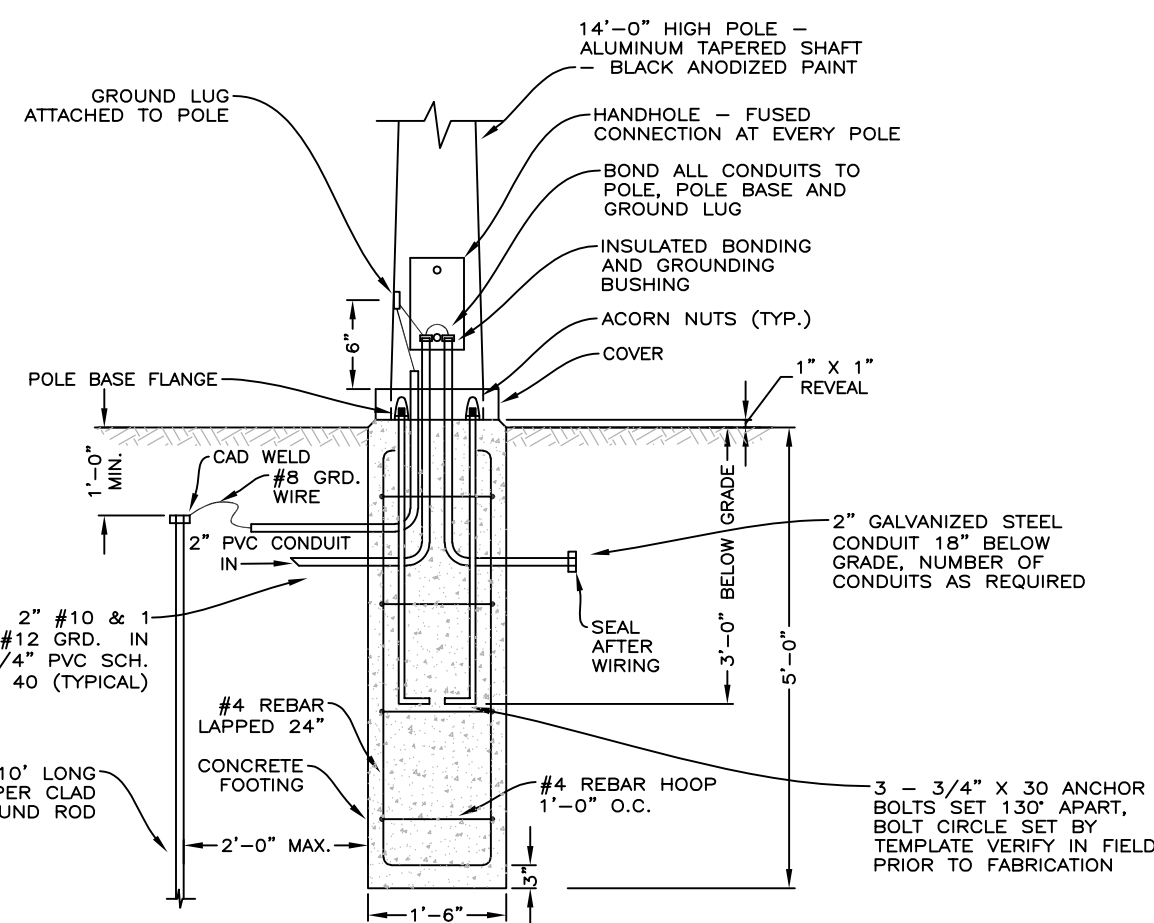
NOTE: 4' x 4' GALLIES SHALL BE IN ACCORDANCE WITH HS-20.44 LOADING DESIGN CRITERIA.



PLAN VIEW



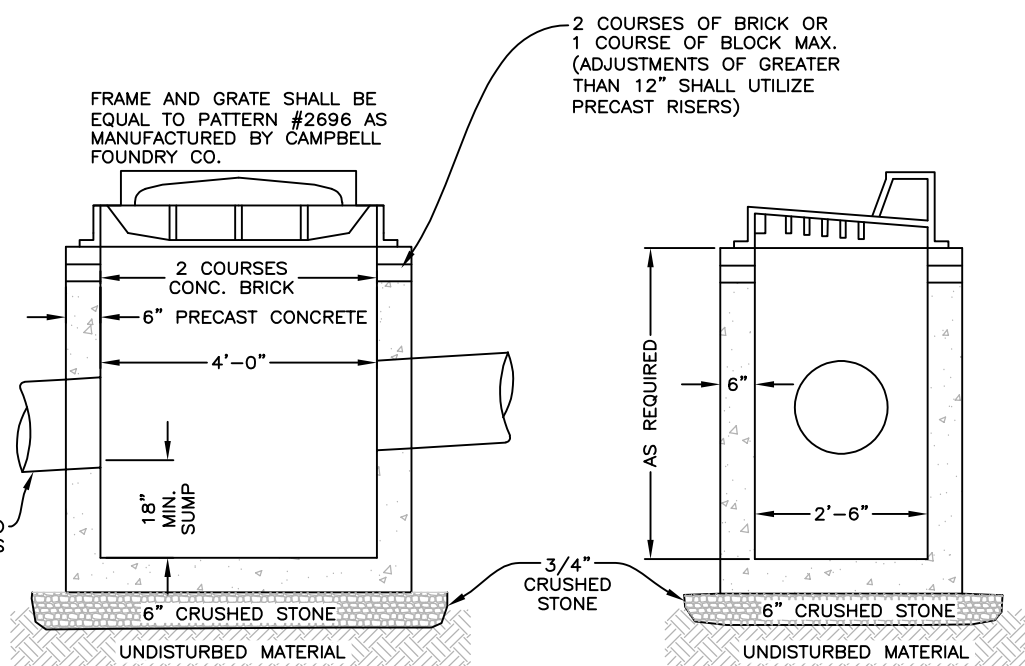
SECTION VIEW
DRYWELL
INSTALLATION DETAILS
N.T.S.



LIGHT POLE FOUNDATION BASE
N.T.S.

NOTE: IF FOUNDATION IS LESS THAN 4 FT BEHIND A CURB SHALL BE A MINIMUM OF 2 FT ABOVE THE GROUND.

NOTE: LIGHT POLE COLOR TO BE BLACK.



CATCH BASIN
N.T.S.

- NOTES:
1. USE STEPS FOR DEPTH GREATER THAN 4" (CAMPBELL NO. 2580 OR EQUAL).
 2. ALL FRAME AND GRATES SHALL BE SET IN ORDER TO CORRESPOND WITH THE FINAL TOP COURSE ELEVATION.



IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



ALFONZETTI ENGINEERING, P.C.
14 SMITH AVE, MT. KISCO, N.Y. 10549
914-666-9800 INFO@ALFONZETTIENG.COM

SITE DATA OWNER/APPLICANT: MATRA GROUP LLC SITE ADDRESS: 1380 ALBANY POST ROAD, CROTON ON HUDSON, NY TAX MAP #: 67.10-2-14 LOT AREA: 1.618 AC ZONING: O-1 (LIMITED OFFICE) DRAWING:		REVISIONS: REVIS: JUNE 27, 2022 REVIS: NOVEMBER 1, 2021	SHEET: 04 OF 04
SITE DETAILS JANUARY 21, 2021 1380 ALBANY POST ROAD PROPOSED DEVELOPMENT CROTON ON HUDSON, WESTCHESTER COUNTY, NEW YORK			