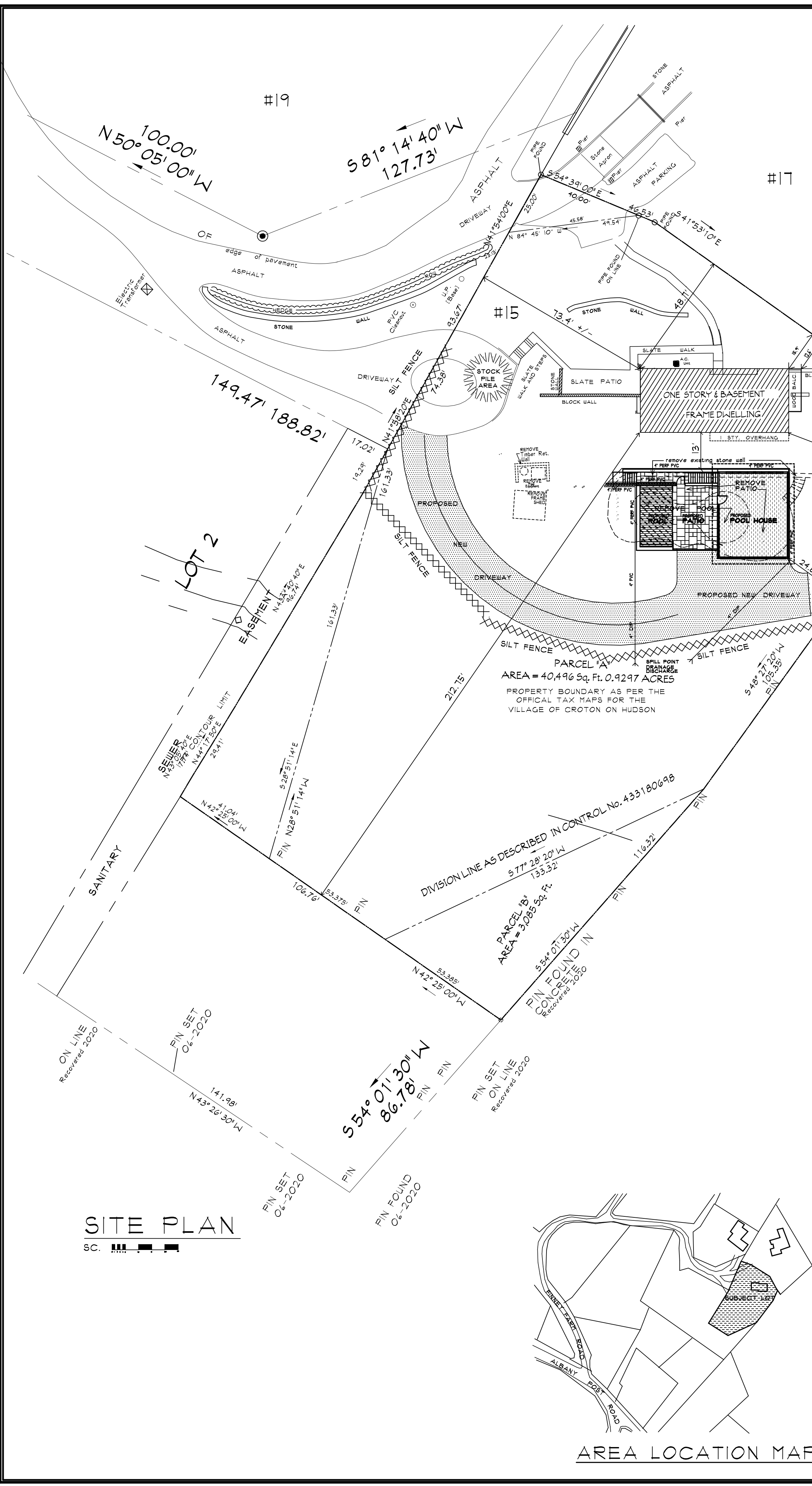
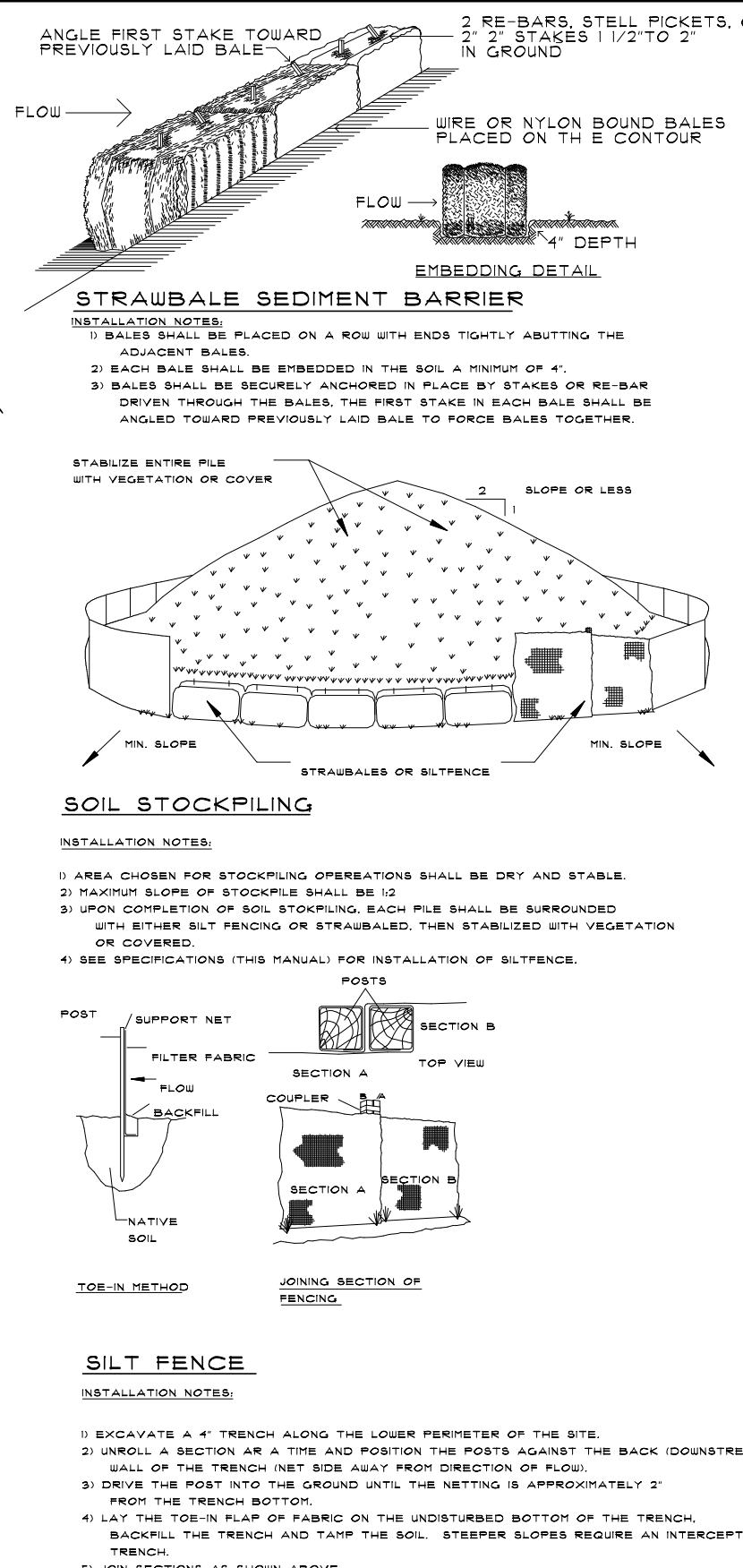
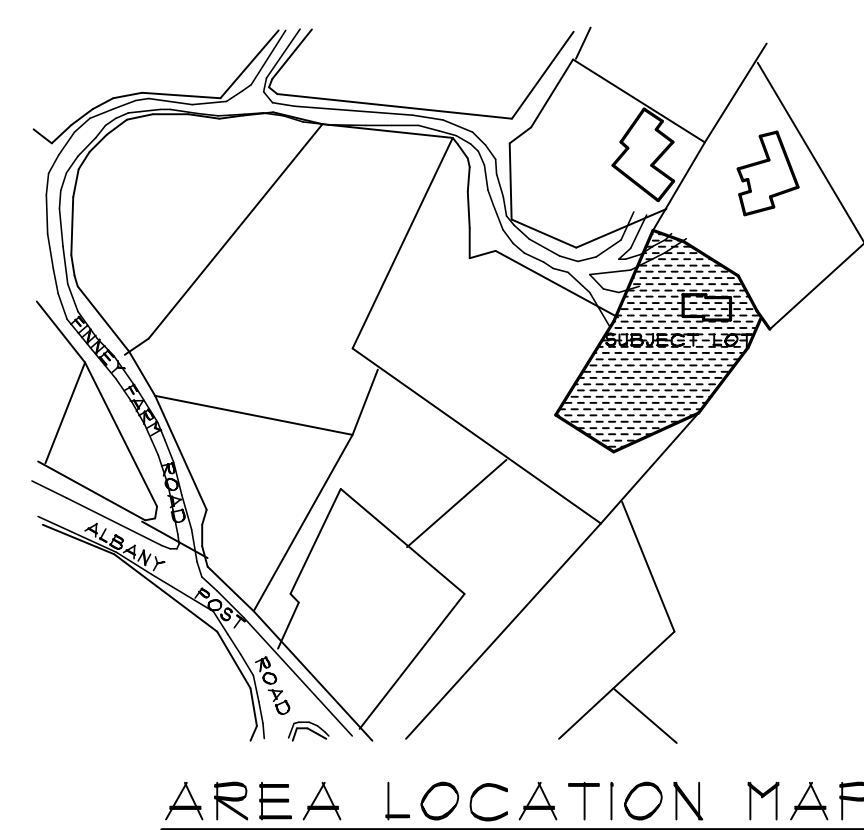




ZONING DATA:			ZONE = RA-40	
SECTION -67.19 BLOCK -2 LOT -8				
	EXISTING	REQUIRED	PROPOSED	COMPLIANCE
LOT AREA	40,494 SF	40,000 SF	NO CHANGE	complies
FRONT YARD	73.4'	50'	NO CHANGE	complies
REAR YARD	44.8'	40' min / 5 ft accessory	24.83' accessory	complies
SIDE YARD	12 & 1/2 212.75' combined 225.35'	30' MINIMUM 80' COMBINED	NO CHANGE	MIN. SIDE YARD VARIANCE 11'
F.A.R.	0.0455	0.15	0.062	complies
HEIGHT	main-19'	MAIN-30' ACC. 15'	ACC - 20'	ACCESSORY STRUCTURE HEIGHT VARIANCE 5'
BUILDING COVERAGE	5.17%	20%	1.7%	complies
MAIN BLDG 1ST FLR.	1396.10 sf			
BASEMENT	310.80 sf			
NEW ACCESSORY BLDG NEW GARAGE			1139 SF	
NEW POOL HOUSE			832 SF	
NEW POOL			272 sf	
NEW PATIO			420 SF	
NEW DRIVEWAY			2174 SF	
EXIST. POOL	562 SF			
EXIST. POOL PATIO	1639 SF			
EXIST. POOL EQUIP.	72 SF			
EXIST. SHED	64 SF			
EXIST. WALKS	190 SF			



- ### GENERAL NOTES
1. MINIMUM FROST DEPTH OF ALL FOOTINGS = 3'6"
 2. MINIMUM SOIL BEARING CAPACITY = 2 TONS/S.F.
 3. ALL SLOPES TO SLOPE AWAY FROM BUILDING, WHERE GRADE SLOPES INTO BUILDING - A SWALE CAPABLE OF HANDLING ESTIMATED RUNOFF IS TO BE PROVIDED.
 4. WOOD PLATES ON CONCRETE SLABS OR MASONRY TO BE PRESSURE TREATED LUMBER.
 5. ALL CONCRETE TO BE MINIMUM 4,000 PSI (CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS).
 6. MINIMUM DISTANCE FROM GRADE TO WOOD IS 8".
 7. ENGINEER IS NOT RESPONSIBLE FOR ANY RETAINING WALLS NOT SHOWN ON PLAN.
 8. VERIFY ALL CONDITIONS AND DIMENSIONS ON THE JOB SITE.
 9. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS AND ARE NOMINAL.
 10. ANY VARIATIONS FROM CONDITIONS AS SHOWN ON THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. WORK SHALL NOT PROCEED UNTIL CLARIFICATION HAS BEEN RECEIVED.
 11. ALL WORK SHALL CONFORM TO ALL CODES HAVING JURISDICTION, WHERE CONFLICTS OF/OR BETWEEN CODES OCCUR, THE MORE STRINGENT CODE SHALL SUPERSEDE ALL OTHERS.
 12. USE ONLY NEW MATERIALS WITHOUT DEFECTS.
 13. EACH CONTRACTOR AND/OR SUB-CONTRACTOR SHALL COORDINATE HIS OWN WORK WITH OTHER TRADES.
 14. DISCREPANCIES AND OMISSIONS ON DRAWINGS AND SPECIFICATIONS SHALL BE REPORTED TO THE ENGINEER IN WRITING FOR CLARIFICATION.
 15. ALL CONTRACTORS AND/OR SUB-CONTRACTORS ARE TO USE THE APPROVED STANDARDS: A.I.S.C., FEDERAL, U.S., ETC., AND THE HIGHEST STANDARDS OF THEIR TRADES. ALL CONSTRUCTION SHALL BE PERFORMED TO THESE STANDARDS.
 16. SET ALL WORK STRAIGHT, PLUMB AND LEVEL OR WITH INDICATED SLOPE.
 17. ENGINEER IS NOT RESPONSIBLE FOR SUPERVISION OF CONSTRUCTION AND/OR OBSERVATION OF WORK IN PROGRESS.
 18. NO WORK TO COMMENCE UNTIL APPROVAL IS OBTAINED FROM THE BUILDING DEPARTMENT; AND ALL NECESSARY PERMITS HAVE BEEN SECURED.
 19. ANY PLUMBING AND/OR ELECTRICAL WORK, TO BE DONE UNDER SEPARATE APPLICATIONS.
 20. ENGINEER TO BE NOTIFIED OF ANY CHANGES TO PLAN AND APPROVED BY HIM.
 21. ALL LUMBER TO BE MINIMUM 1200 P.S.I. CONSTRUCTION GRADE LUMBER.
 22. ALL STRUCTURAL STEEL TO BE A-36 (STEEL YIELD STRENGTH OF 36,000 P.S.I.).
 23. TYPICAL STAIR: MAXIMUM STAIR RISER - 8"; MINIMUM TREAD - 10 1/2".
 24. ALL PLUMBING AND ELECTRICAL WORK SHALL BE FILED FOR BY LICENSED CONTRACTORS WHO SHALL PERFORM THE WORK IN CONFORMANCE WITH CODES HAVING JURISDICTION. THE CONTRACTOR SHALL OBTAIN A FINAL CERTIFICATE OF OCCUPANCY OR COMPLIANCE UPON COMPLETION OF HIS WORK.
 25. ALL LOCAL CODES AND REGULATIONS TO BE OBEYED.
 26. WHERE EXISTING WORK IS TO BE CUT, CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, WEDGING AND DRY PACKING; AND SHALL BE RESPONSIBLE FOR THE SAFETY OF THE STRUCTURE DURING THIS OPERATION.
 27. THESE DRAWINGS AND SPECIFICATIONS ARE VALID ONLY IF THEY BEAR THE IMPRESSED SEAL AND ORIGINAL SIGNATURE OF THE ARCHITECT OR ENGINEER WHOSE NAME APPEARS HEREON.
 28. ANY UNAUTHORIZED ALTERATION OF OR ADDITION TO THESE DRAWINGS IS A VIOLATION OF SECTION 1209 (2) OF THE NEW YORK STATE EDUCATION LAW. SUCH AUTHORIZATION SHALL ONLY BE IN WRITING, SIGNED AND SEALED BY THE ARCHITECT OR ENGINEER.
 29. ENGINEER TO BE GIVEN AT LEAST 24 HOURS NOTICE PRIOR TO ANY SITE VISIT(S).
 30. ALL EXTERIOR LUMBER TO BE PRESSURE-TREATED LUMBER.
 31. THE CONTRACTOR SHALL BE REQUIRED TO REPAIR AND PATCH ANY AREAS THAT ARE ALTERED OR DAMAGED DURING THE PROCESS OF ALTERATION.
 32. THE CONTRACTOR IS CAUTIONED TO MAKE CONTINUOUS OBSERVATIONS OF THE EXISTING STRUCTURE DURING THE PERFORMANCE OF HIS WORK, AND SHOULD HE BECOME AWARE OF ANY SITUATIONS THAT REQUIRE FURTHER INVESTIGATION OR STUDY (SUCH AS CRACKS IN MASONRY AND PARTITIONS, ADDITIONAL DEFLECTIONS, ETC.), HE SHALL NOTIFY THE ENGINEER.
 33. THE ENGINEER SHALL BE THE SOLE JUDGE AS TO THE ADEQUACY OF THE WORK PERFORMED AS RELATED TO APPROVAL OF WORK FOR PAYMENT BY THE OWNER. THE ENGINEER SHALL HAVE THE RIGHT TO ORDER THE REMOVAL OF DEFECTIVE WORK AND MATERIAL AND HAVE SUCH AREAS CORRECTED AT NO ADDITIONAL COST TO THE OWNER. THE GOVERNMENTAL INSPECTORS SHALL ALSO JUDGE THE WORK FOR MINIMUM COMPLIANCE WITH CODES. APPROVAL BY SUCH INSPECTORS DOES NOT PRECLUDE DECISIONS BY THE ARCHITECT. THE GENERAL CONTRACTOR SHALL MAKE ALL NECESSARY FIELD ADJUSTMENTS AS DICTATED BY JOB CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
- ALL ELECTRICAL AND LIGHTING SHALL COMPLY BY THE 2020 NYSECC
- HEATING AND COOLING EQUIPMENT IS SIZED PER ACCA MANUAL S BASED ON LOADS CALCULATED PER ACCA MANUAL J OR OTHER METHODS APPROVED BY THE CODE OFFICIAL. FILLED OUT BY THE LICENSED HVAC CONTRACTOR.
- U-factors of fenestration products are determined in accordance with the NFRC test procedure or taken from the default table.
- Air barrier and thermal barrier installed per manufacturers instructions.
- Building cavities are not used as ducts or plenums.
- Heat pump thermostat installed on heat pumps.
- Fenestration that is not site built is listed and labeled as meeting AAMA /WDMA/CSA 101/1.5.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits.
- Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.
- All installed insulation is labeled or the installed R-values provided.
- Blower door test @ 50 Pa. (<5 aach in Climate Zones 1-2, and (<3 aach in Climate Zones 3-8.
- 75% of lamps in permanent fixtures or 75% of permanent fixtures have high efficacy lamps.
- Does not apply to low-voltage lighting.

TABLE 402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT										
CLIMATE ZONE	FENESTRATION U-FACTOR ^a	SKYLIGHTS U-FACTOR ^a	GLAZED FENESTRATION SHGC ^b	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT R-VALUE	SLAB R-VALUE	CRAWL SPACE/WALL R-VALUE
4	0.32	0.55	0.40	49	20 or 13+5h	8/13	19	10 /13	10, 2 ft	10/13
5	0.30	0.55	NR	49	20 or 13+5h	13/11	30g	15/19	10, 2 ft	15/19

NR = Not Required.
For Sl: 1 foot = 304.8 mm.
a. R-values are minimums. U-factors and SHGC are maximums. Where insulation is installed in a cavity that is less than the label or design thickness of the insulation, the installed R-value of the insulation shall be not less than the R-value specified in the table.
b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
c. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation on the interior of the basement wall. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. Alternatively, compliance with "15/19" shall be R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home.
d. R-5 insulation shall be provided under the full slab area of a heated slab in addition to the required slab edge insulation R-value for slabs, as indicated in the table. The slab edge insulation for heated slabs shall not be required to extend below the slab.
e. Alternatively, insulation sufficient to fill the framing cavity and providing not less than an R-value of R-19.
f. The first value is cavity insulation, the second value is continuous insulation. Therefore, as an example, "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
g. Mass walls shall be in accordance with Section R402.2.5. The second R-value applies where more than half of the insulation is on the interior of the mass wall.

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA									
GROUND SNOW LOAD (PSF)	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGED FROM			WINTER DESIGN TEMP.	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS	
			WEATHERING	FROST LINE DEPTH	TERMITES				
30	115	C	SEVERE	3'-4'	MODERATE TO HEAVY	SLIGHT TO MODERATE	1"	YES	(A) 1/09/1980 (B) 4/11/2000 FOR FIRM MAP DATED 1/21/1988

ALL WORK SHOWN ON THESE DRAWINGS SHALL COMPLY WITH THE 2020 NYS RESIDENTIAL BUILDING CODE AND ENERGY CODE

REVISIONS

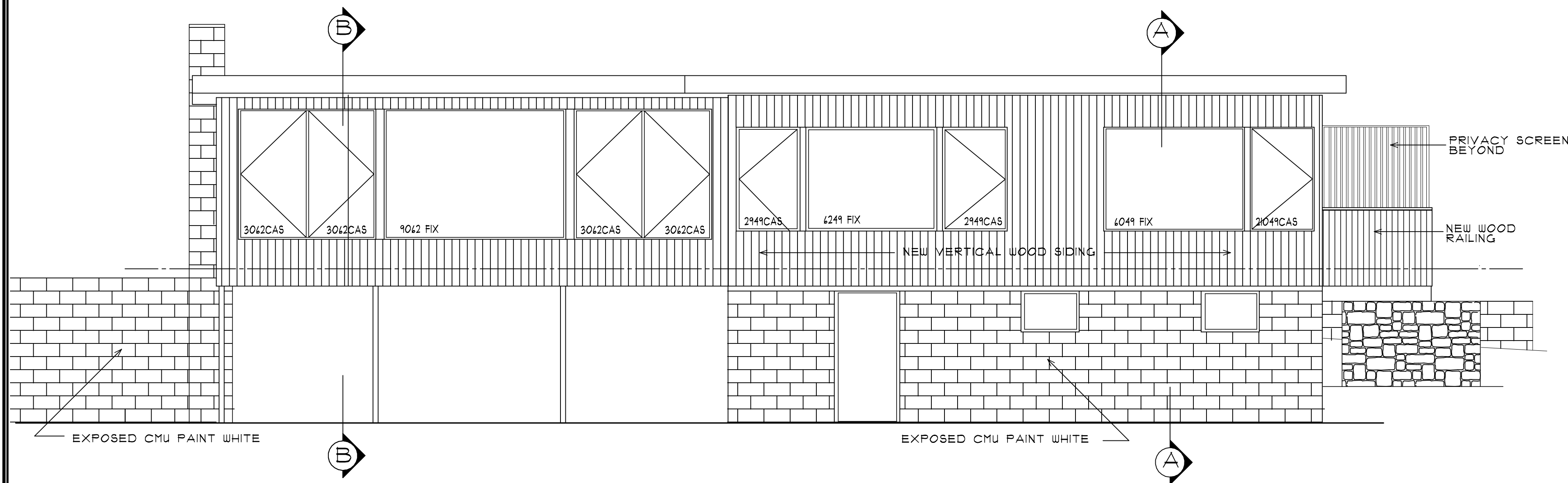
STEVEN A. COSTA, P.E.
CONSULTING ENGINEER
156 PALISADE AVENUE
YONKERS, NEW YORK 10703

ALTERATION TO EXISTING RESIDENCE AND NEW ACCESSORY GARAGE/POOL HOUSE
CROTON ON HUDSON, NEW YORK

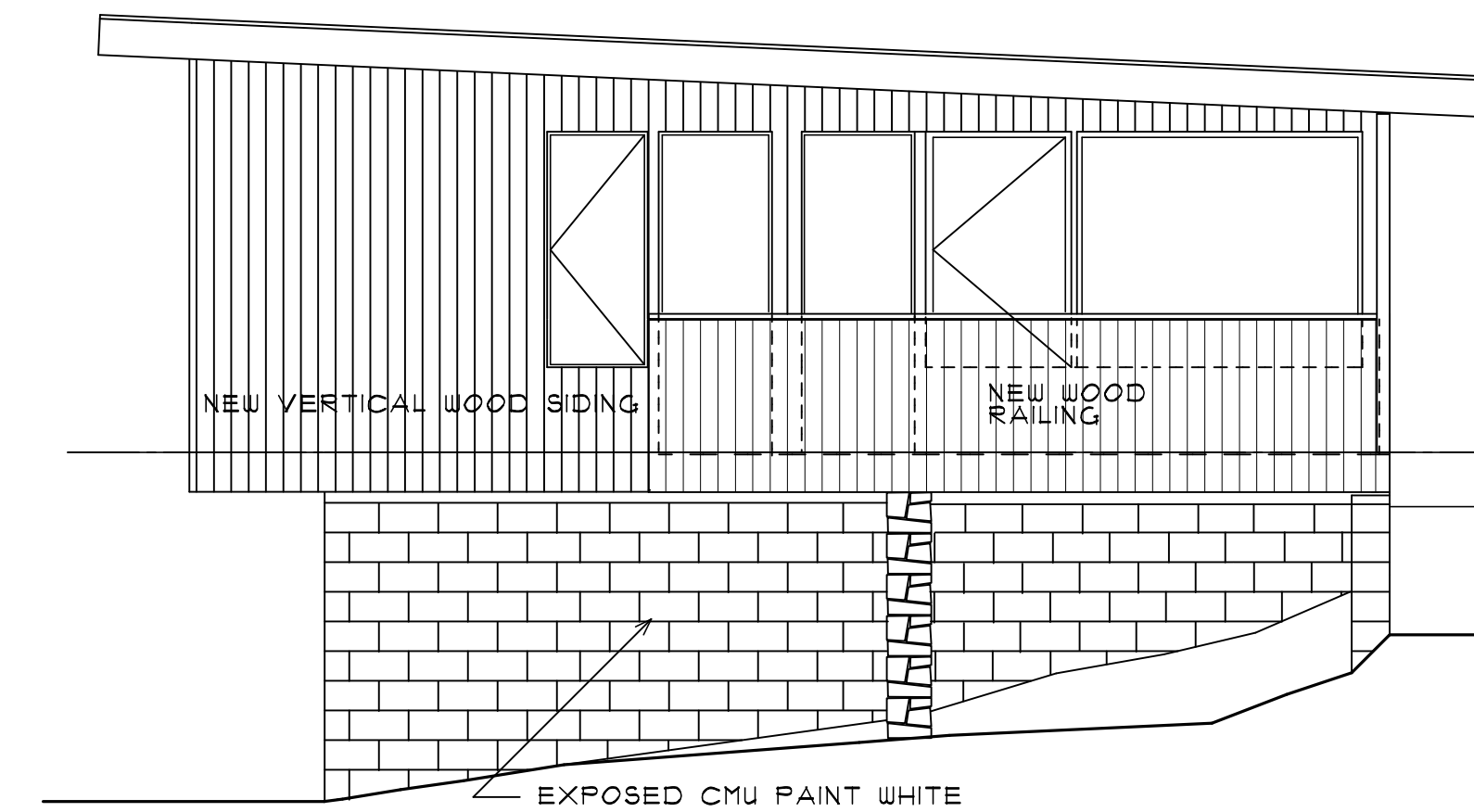
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SHEET NO.

PC.D. ASSOCIATES
DESIGN CONSULTANTS
24 HALEY ROAD EXTENSION
DANBURY, CT. 06810

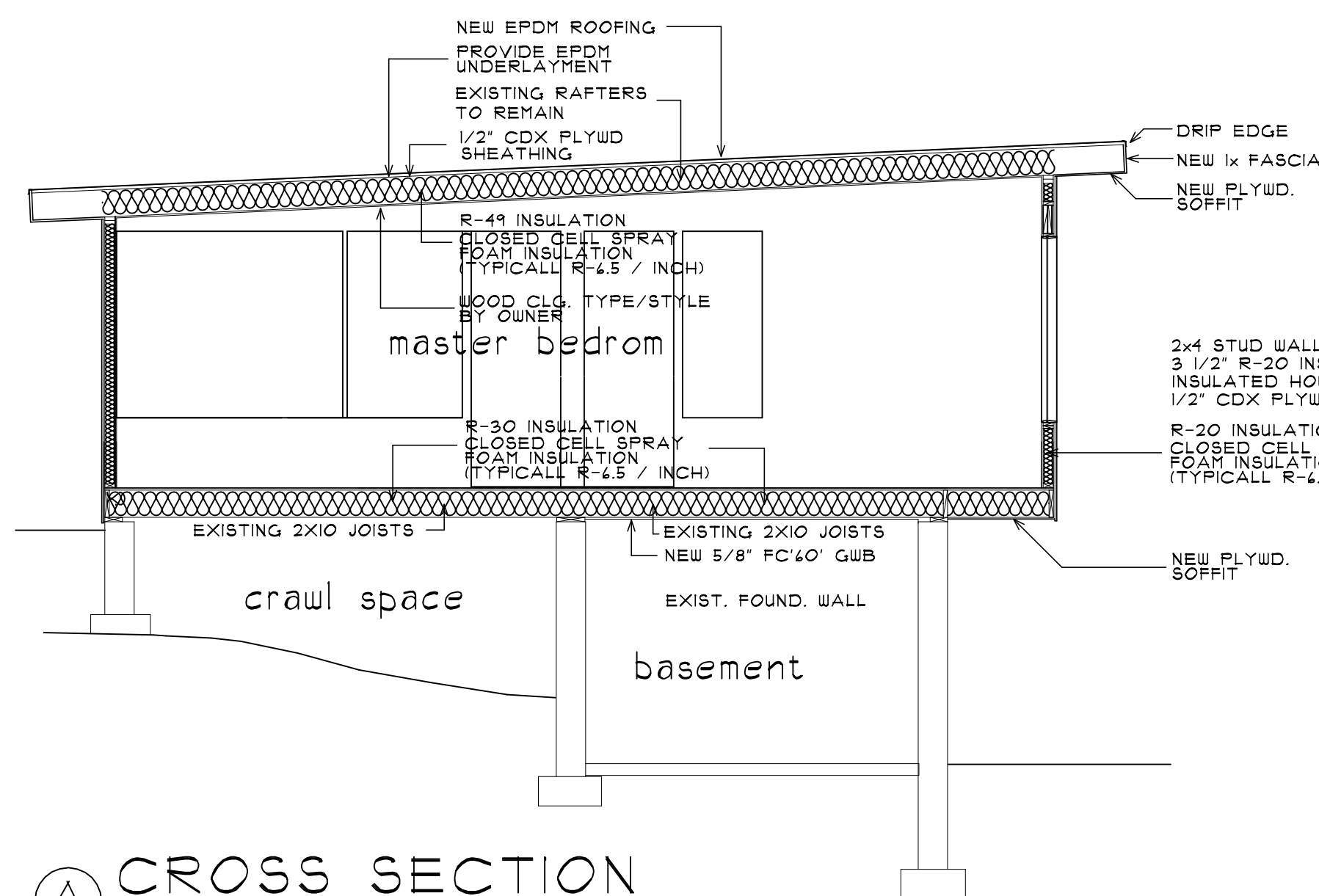
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SITE PLAN / NOTES



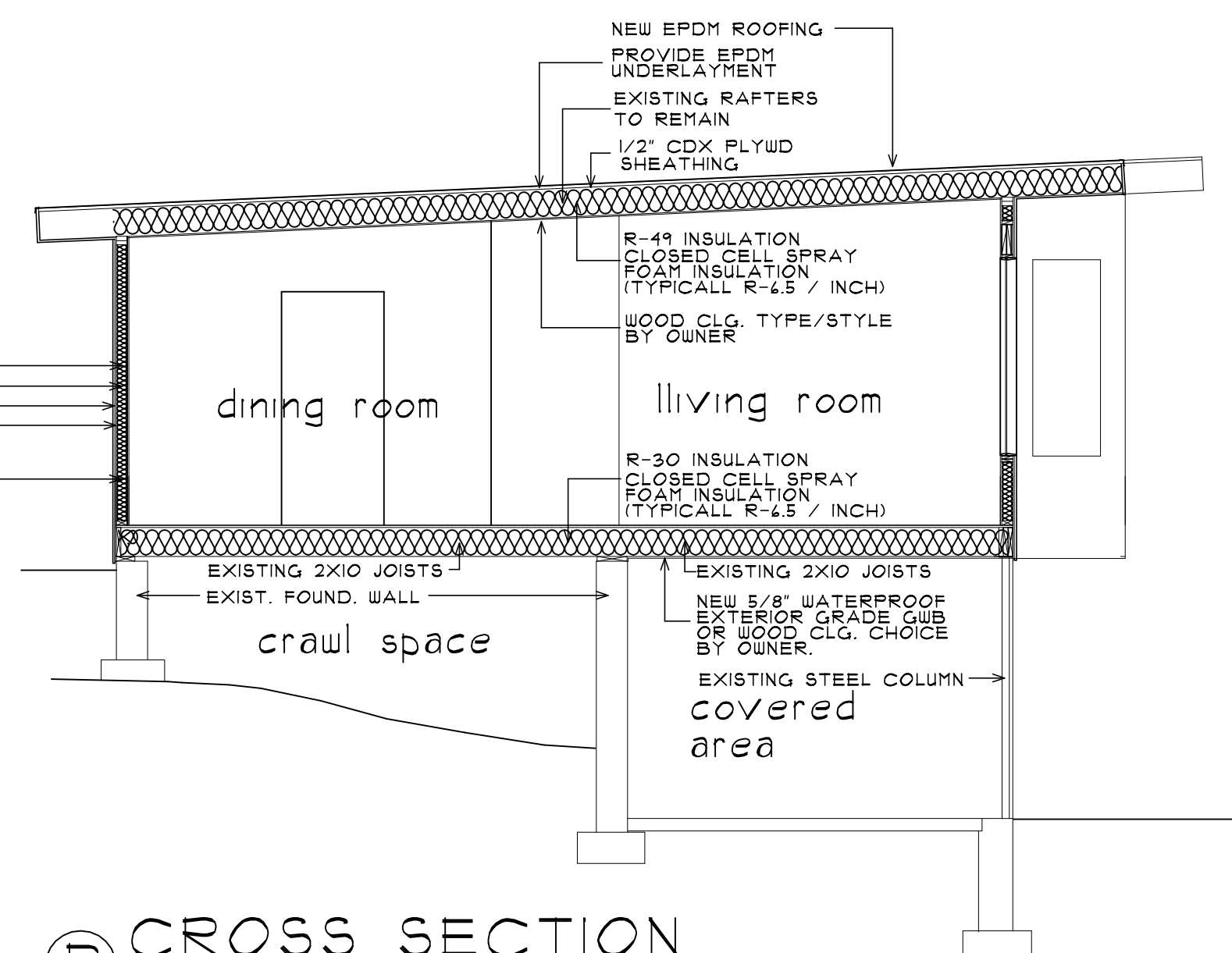
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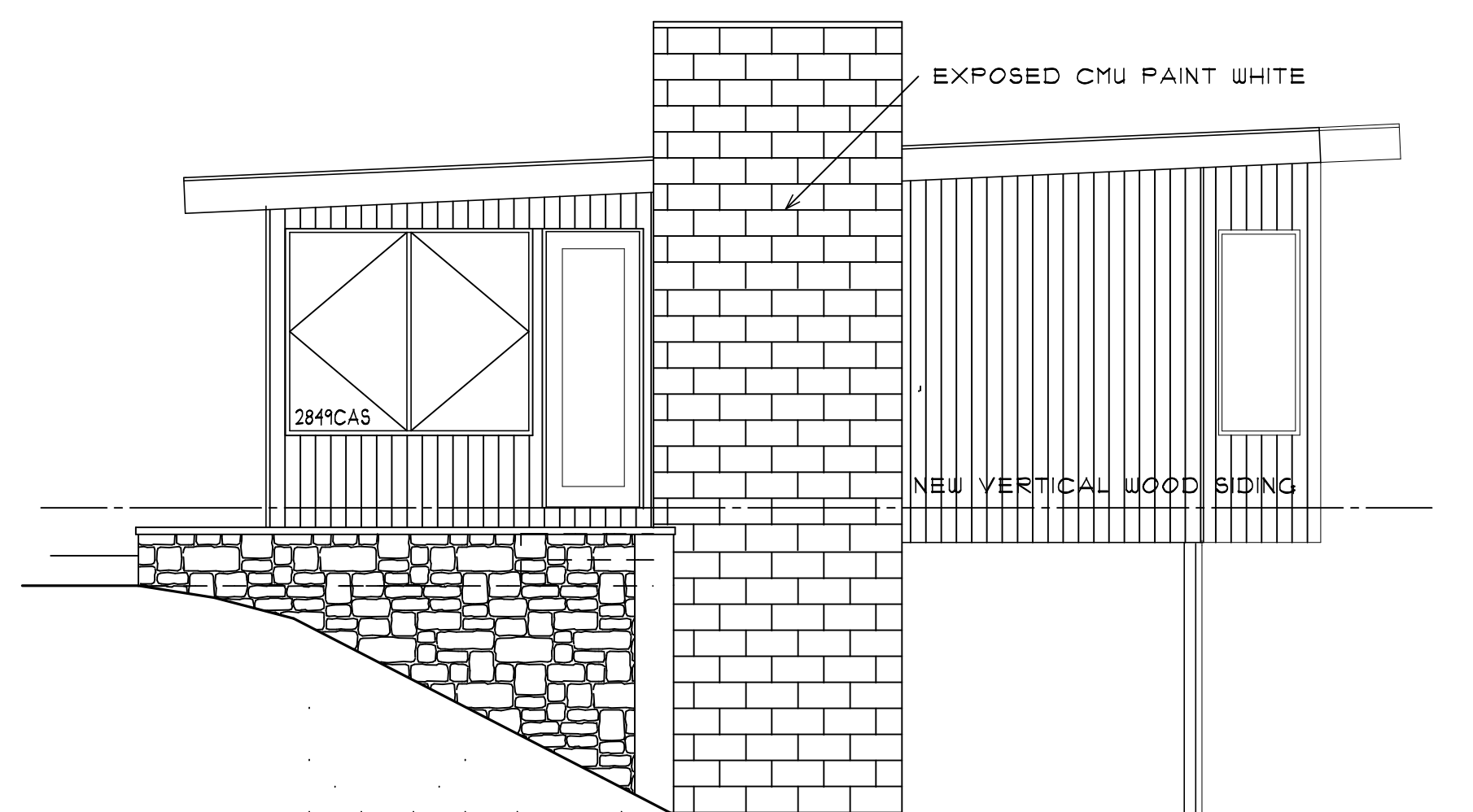
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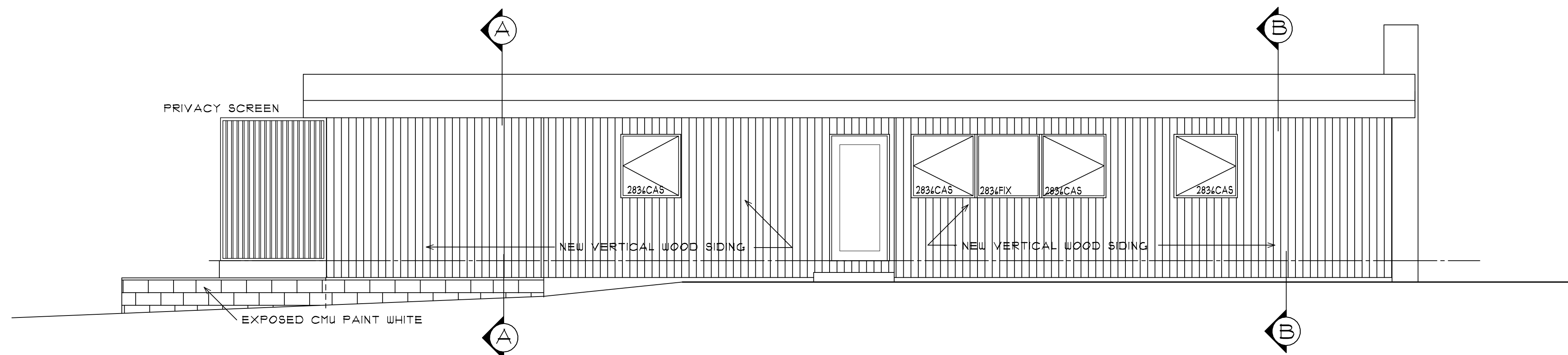
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B CROSS SECTION
SCALE: 1/4"=1'-0"



WEST ELEVATION
SCALE: 1/4"=1'-0"



SOUTH ELEVATION
SCALE: 1/4"=1'-0"

REVISIONS



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JOB TITLE
ALTERATION TO EXISTING RESIDENCE AND NEW
DETACHED GARAGE/ POOL HOUSE
15 FINNEY FARM ROAD
CROTON ON HUDSON, NEW YORK

DRAWING TITLE
PLANS/DETAILS/NOTES

DATE
10/10/21

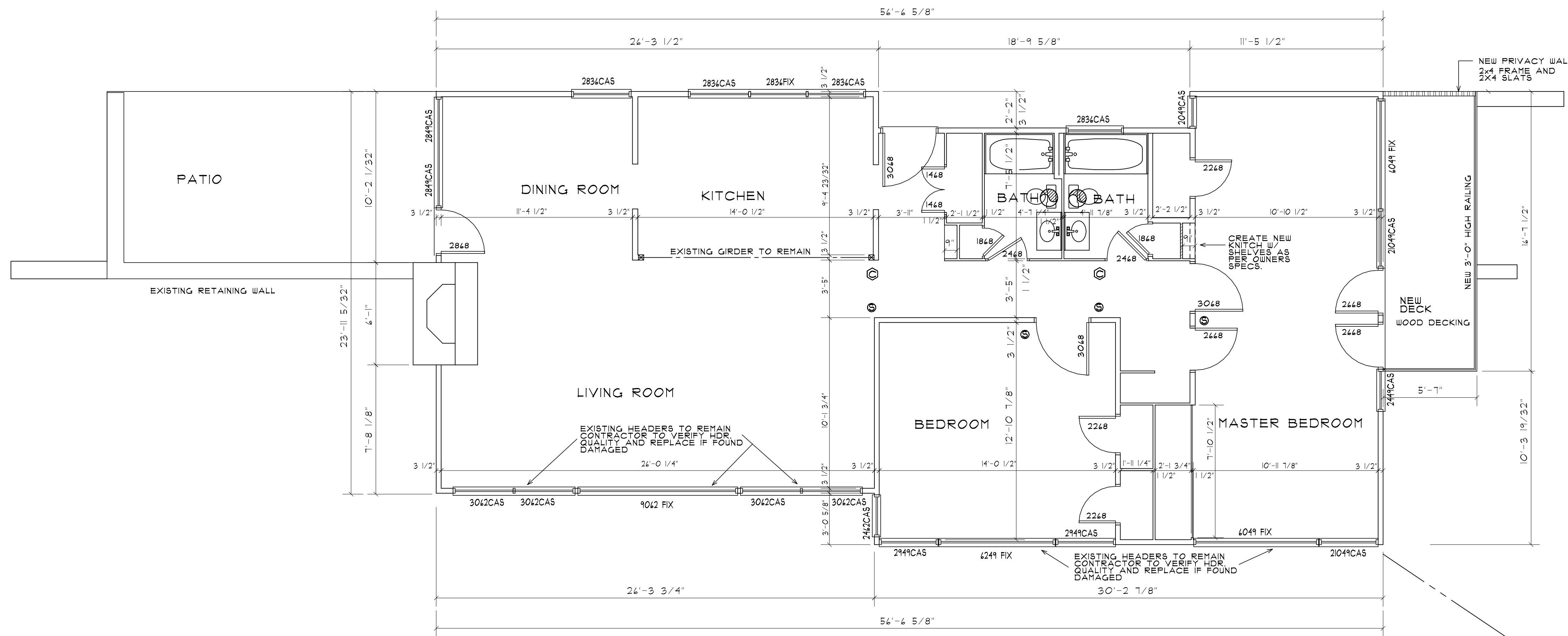
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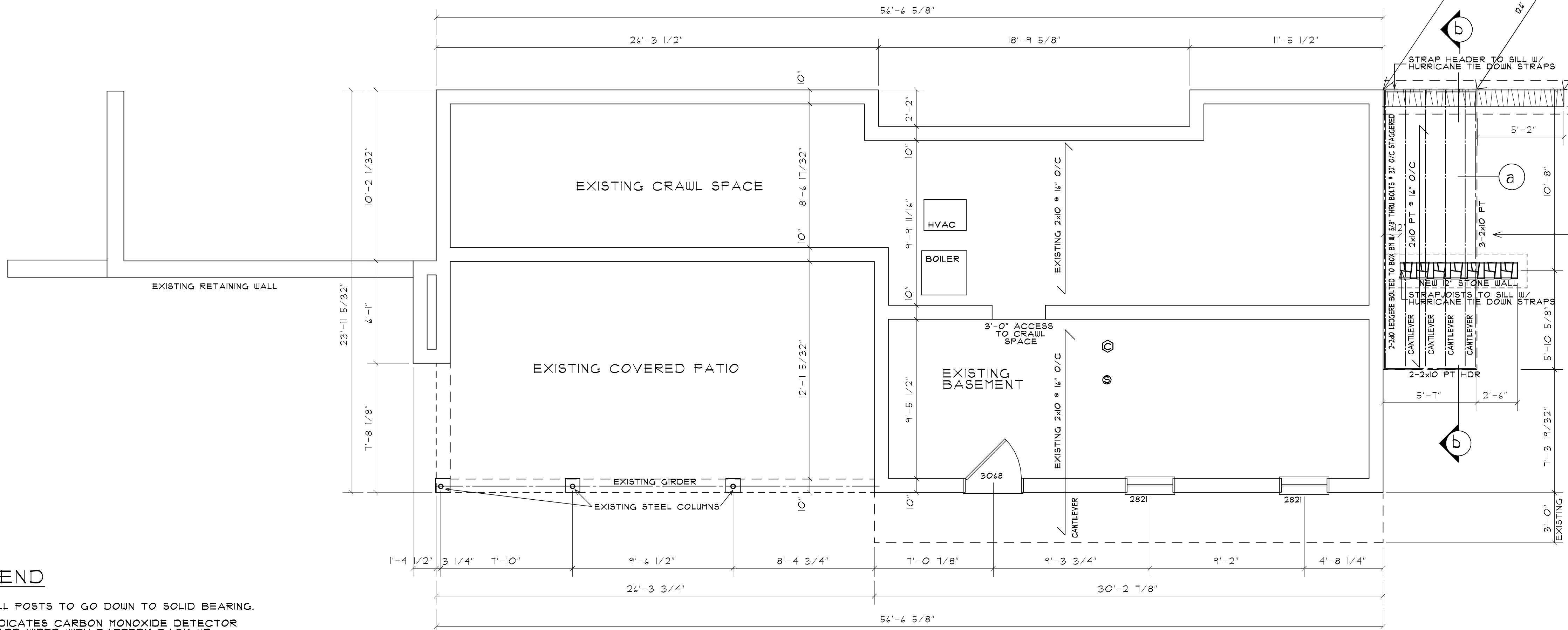
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FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

- SCOPE OF WORK:
1. ALL WALLS TO BE STRIPPED TO BARE STUDS
 2. NEW GIB AND INSULATION INSTALLED WALLS
 3. NEW ENERGY EFFICIENT WINDOWS BY WEATHERSHIELD TO REPLACE EXISTING.
 4. ALL DOORS TO BE REPLACED WITH NEW.
 5. NEW KITCHEN AND BATHROOM FIXTURES INSTALLED.
 6. NEW TILE IN BATHROOMS AND NEW WOOD FLOOR THROUGH OUT.
 7. NEW ELECTRICAL INSTALLED THROUGH OUT.
 8. NEW PLUMBING LINES TO REPLACE EXISTING, SAME LOCATIONS.

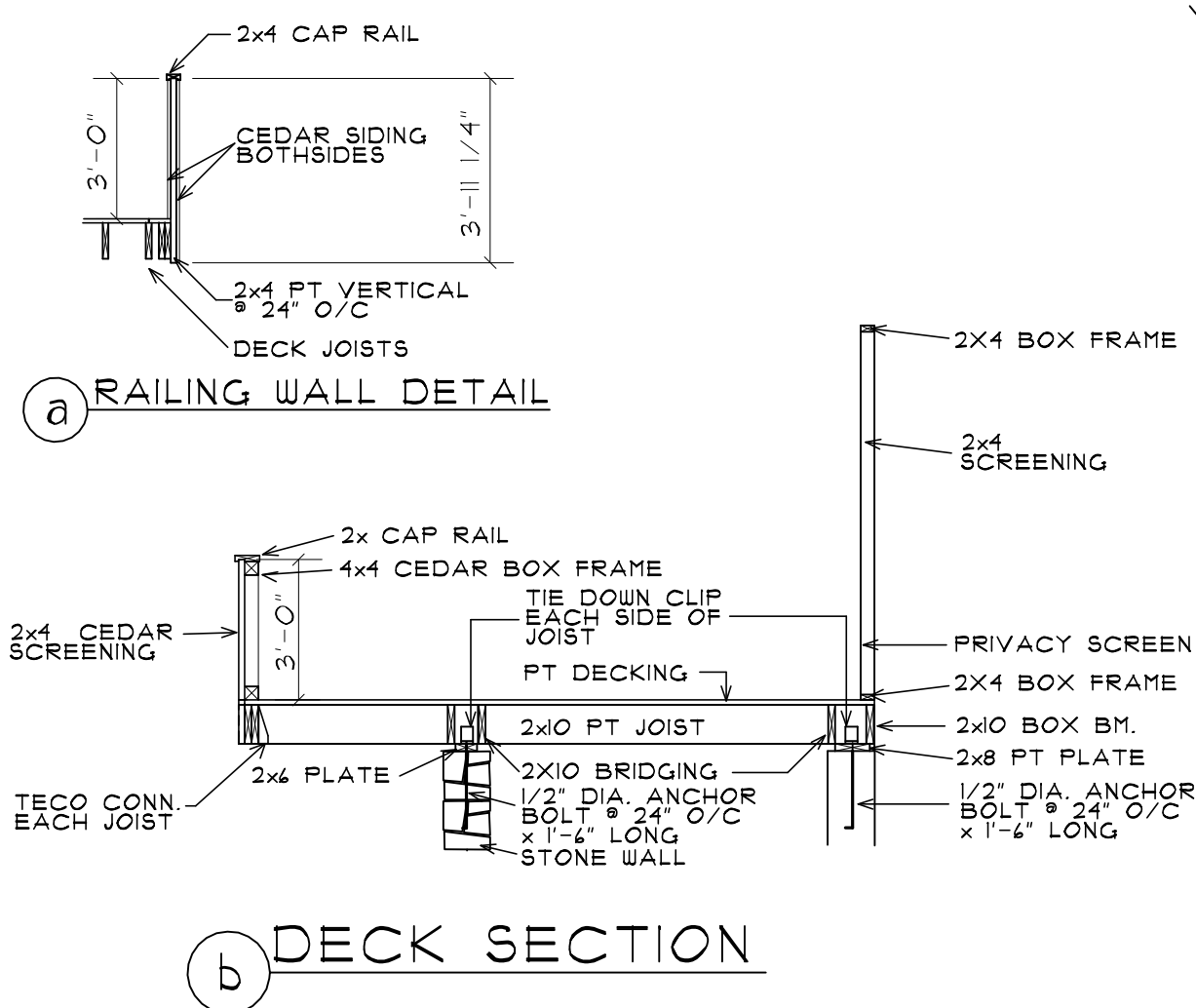


BASEMENT FLOOR PLAN

SCALE: 1/4"=1'-0"

- LEGEND
- NOTE:
- 1. ALL POSTS TO GO DOWN TO SOLID BEARING.
 - ⊗ INDICATES CARBON MONOXIDE DETECTOR HARD WIRED WITH BATTERY BACK-UP
 - ⊙ INDICATES SMOKE AND HEAT DETECTOR HARD WIRED WITH BATTERY BACK-UP
 - ⊕ INDICATES EXHAUST FAN - 90 CFM - DUCTED TO EXTERIOR

LIGHT & VENTILATION CHART					
room	AREA	REQ. GLASS	REQ. OPNG	ACTUAL GLASS	ACTUAL OPNG
MASTER BEDROOM	281 SF	23.02 SF	11.54 SF	118.70 SF	49.31 SF
BEDROOM	181 SF	14.48 SF	7.24 SF	68.38 SF	30.54 SF
LIVING ROOM	348.98 SF	27.92 SF	13.96 SF	131.21 SF	34.51 SF
DINING ROOM	10.43 SF	8.83 SF	4.42 SF	154.13 SF	34.49 SF
KITCHEN	131.44 SF	10.51 SF	5.24 SF	30.50 SF	19.83 SF



REVISIONS

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 24 HAILLY ROAD EXTENSION
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 YONKERS, NEW YORK 10703

JOB TITLE
 ALTERATION TO EXISTING RESIDENCE AND NEW
 ATTACHED 10' X 16' POOL HOUSE
 DETAIL ON HUDSON, NEW YORK

DRAWING TITLE
 PLANS/DETAILS/NOTES

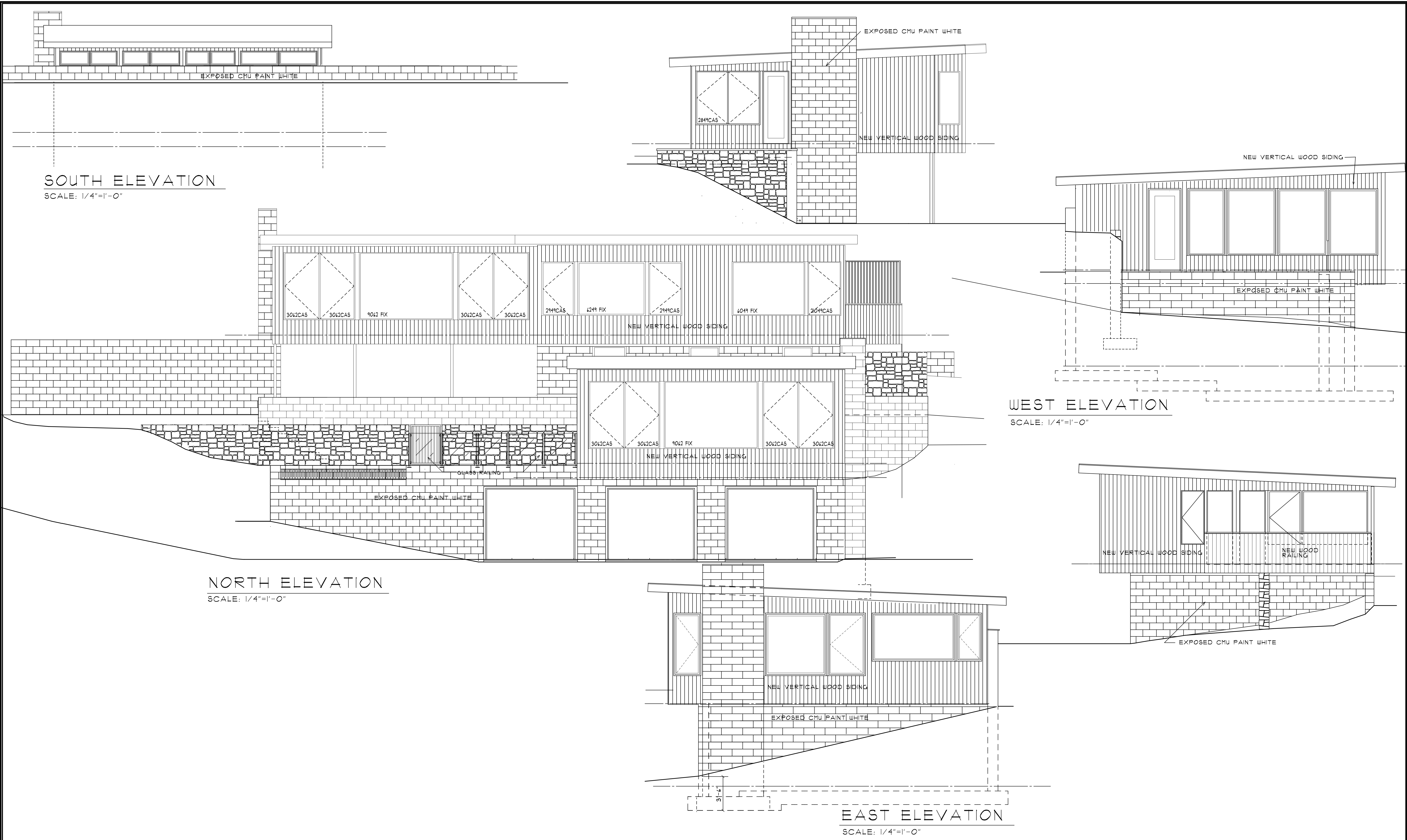
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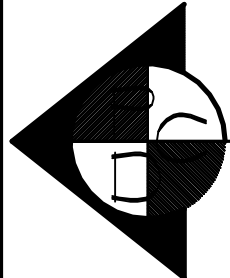
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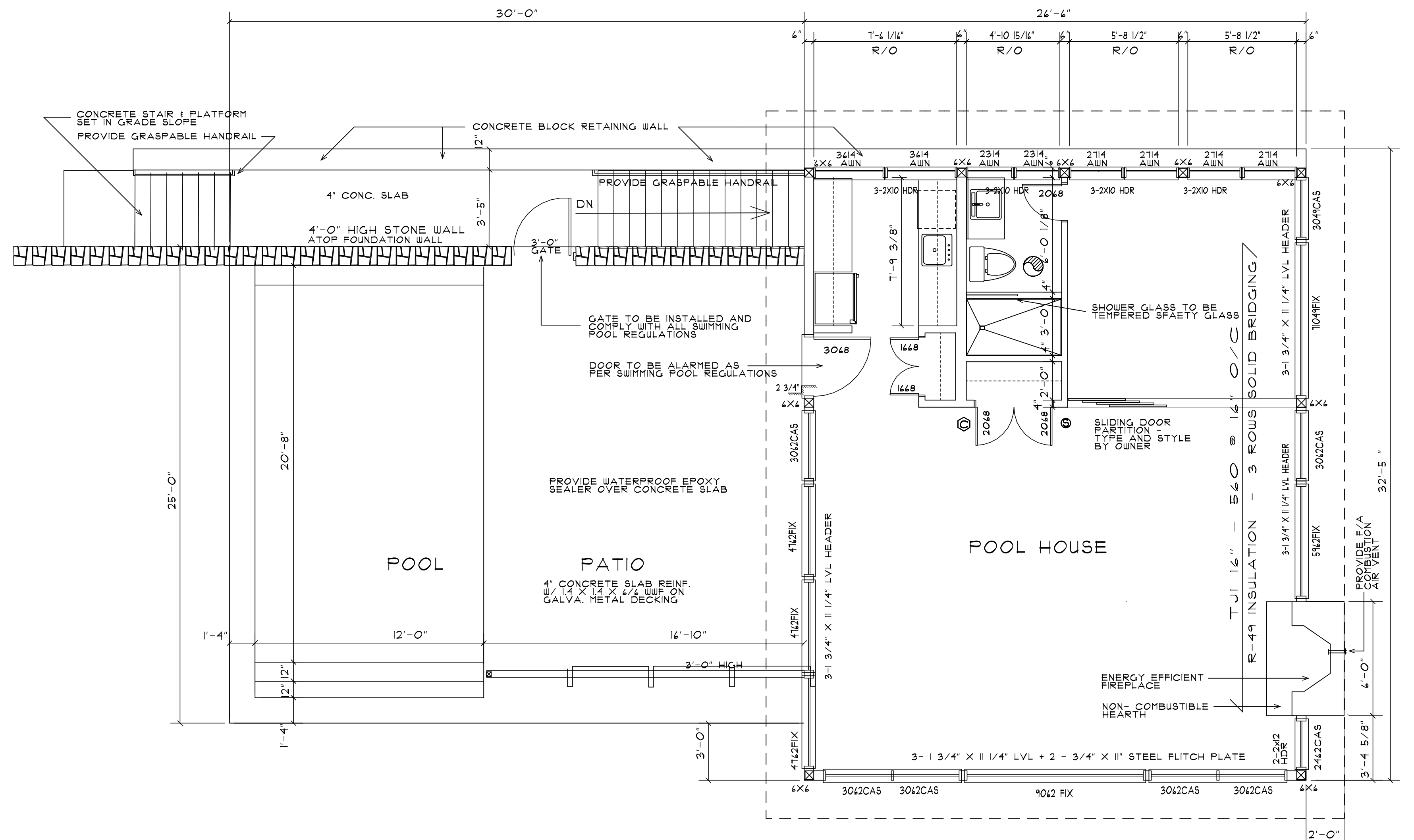
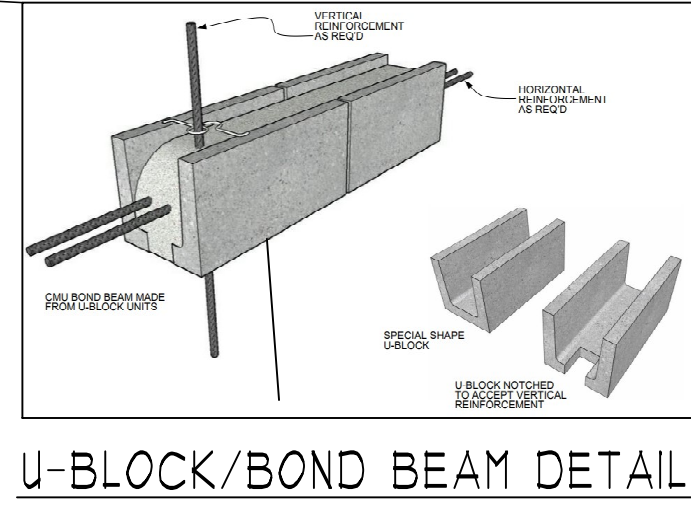
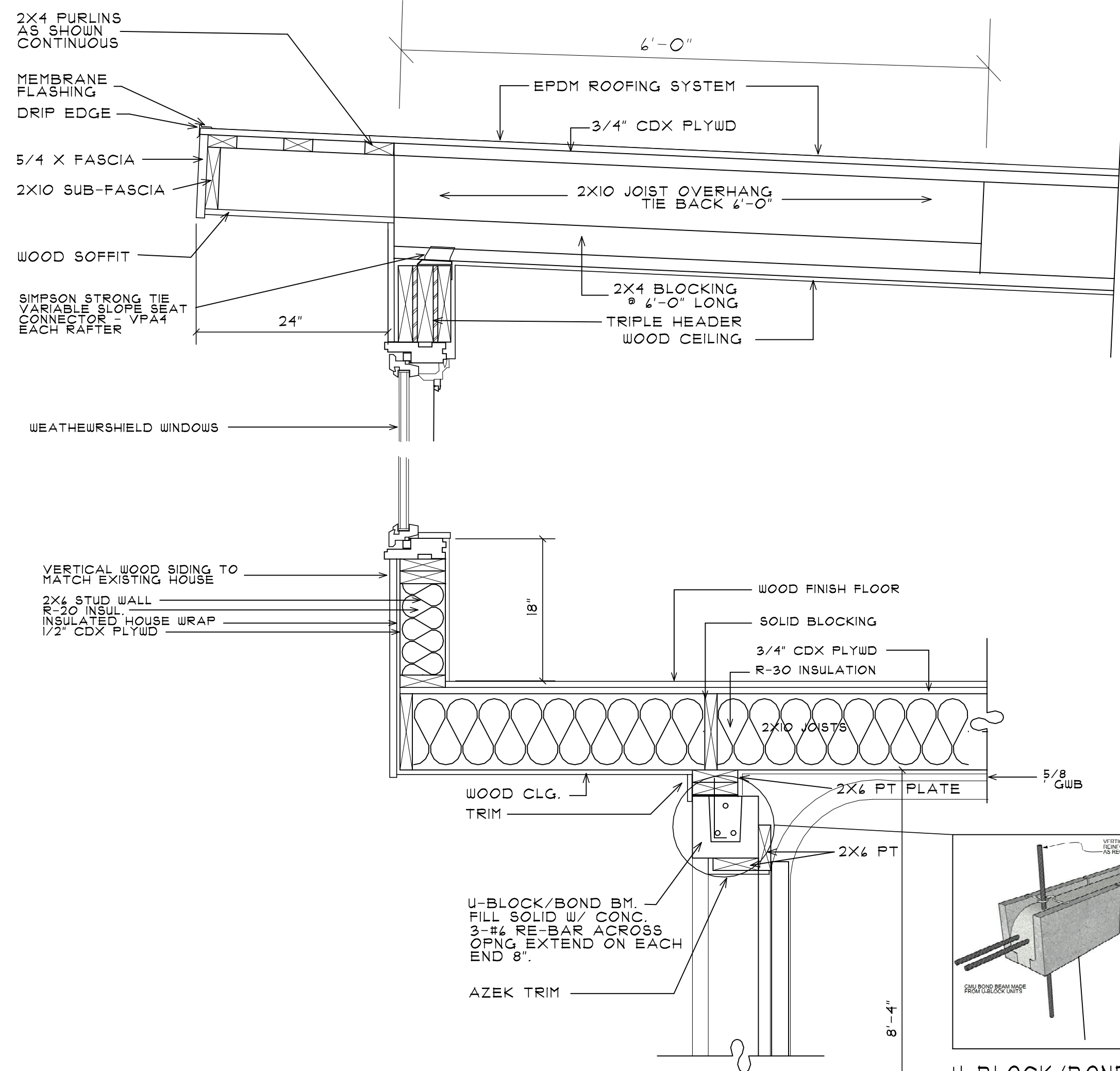
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SCALE
 AS NOTED

SHEET NO.



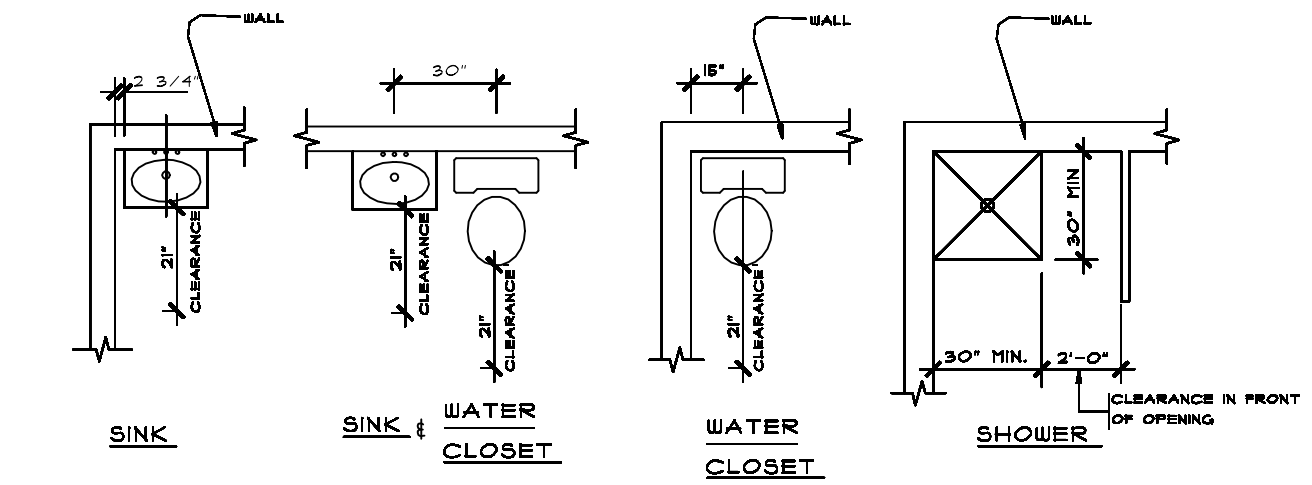
REVISIONS		ALL WORK SHOWN ON THESE DRAWINGS SHALL COMPLY WITH THE 2020 NEW YORK STATE RESIDENTIAL CODE AND THE NEW YORK STATE 2020 ENERGY CODE	P.C.D. ASSOCIATES DESIGN CONSULTANTS 24 HAWLEY ROAD EXTENSION DANBURY, CT. 06811	S A C STEVEN A. COSTA, P.E. CONSULTING ENGINEER 156 PALISADE AVENUE YONKERS, NEW YORK 10703		JOB TITLE SENA RESIDENCE ALTERATION 15 FINNEY FARM ROAD CROTON ON HUDSON, NEW YORK	DATE 6/28/22	SHEET NO. G5 A
							DRAWN BY PC	
							CHECKED BY SAC	
							SCALE AS NOTED	
	DRAWING TITLE DETACHED GARAGE PLANS							



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

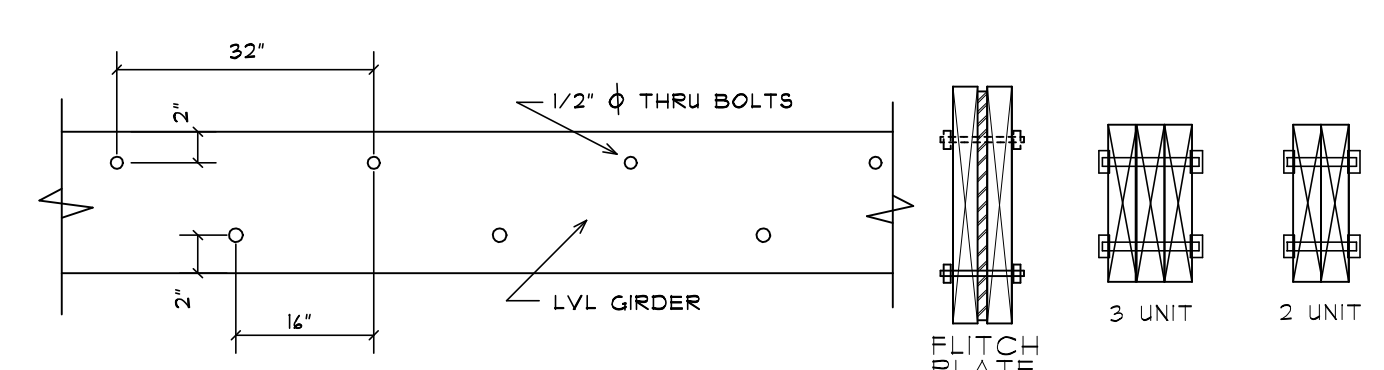
- NOTE: 1. ALL POSTS TO GO DOWN TO SOLID BEARING.
- INDICATES CARBON MONOXIDE DETECTOR
ALL UNITS MUST BE INTERCONNECTED
 - INDICATES SMOKE AND HEAT DETECTOR
HARD WIRED WITH BATTERY BACK-UP
ALL UNITS MUST BE INTERCONNECTED
 - INDICATES EXHAUST FAN - 90 CFM -
DUCTED TO EXTERIOR



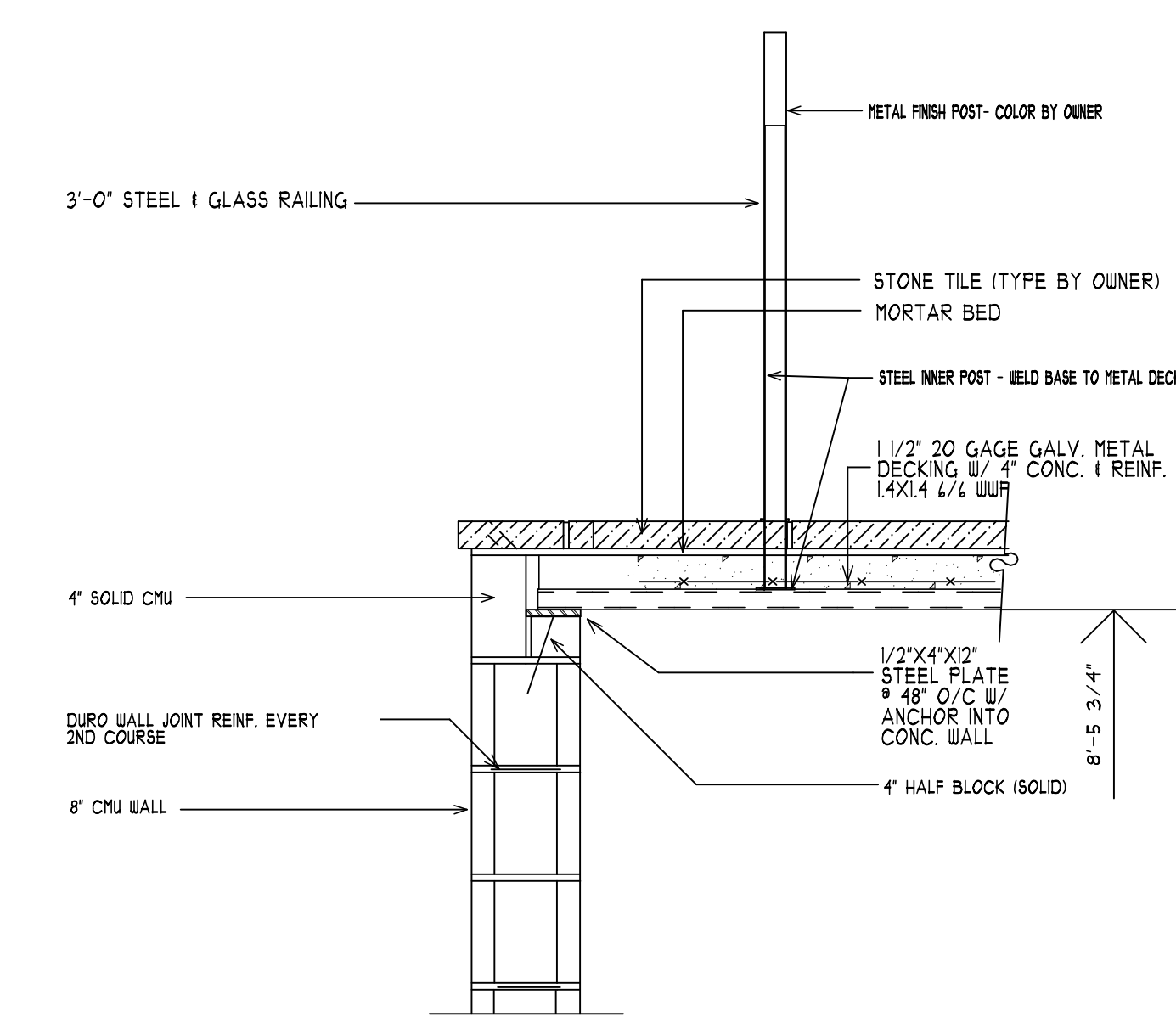
AS PER IRC 307.1
MINIMUM FIXTURE CLEARANCES

WALL SECTION 'A-A'

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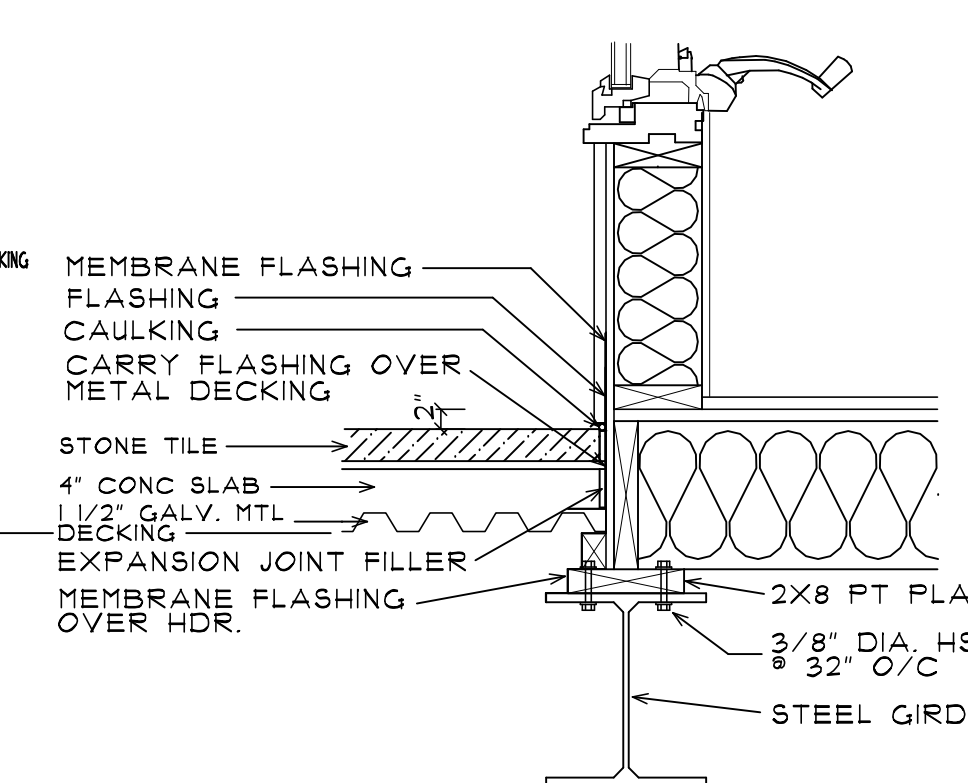


TYPICAL LVL GIRDER W/ FLITCH PLATE & WITHOUT FLITCH PLATE DETAIL



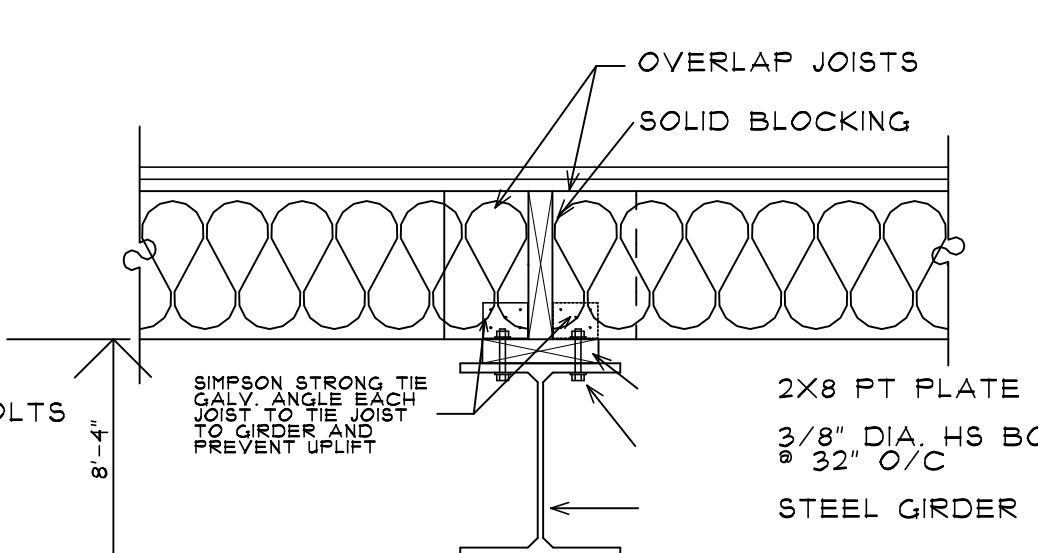
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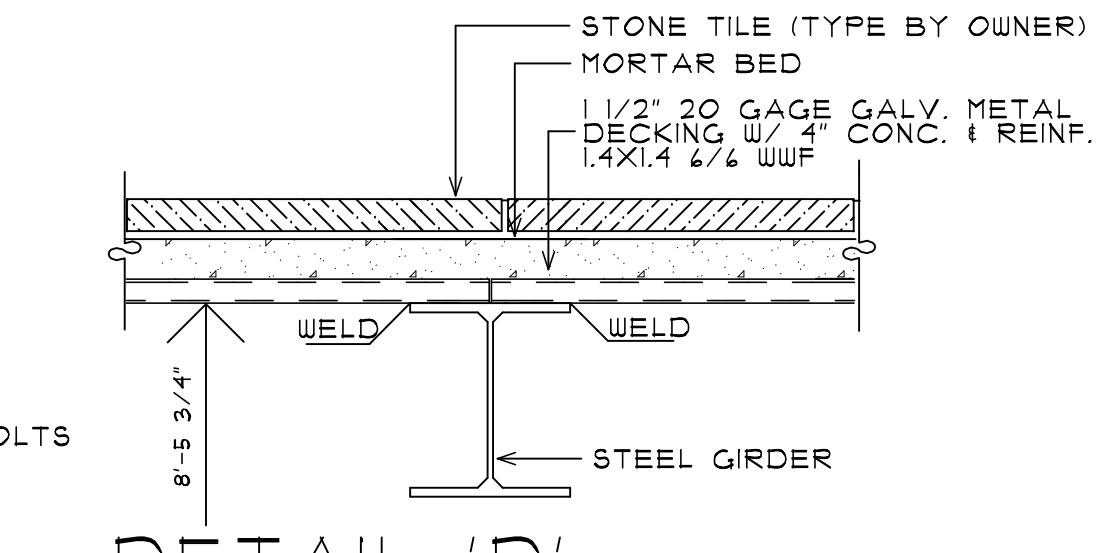
DETAIL 'B'

SCALE: 1"=1'-0"



DETAIL 'C'

SCALE: 1"=1'-0"



DETAIL 'D'

SCALE: 1"=1'-0"

REVISIONS	ALL WORK SHOWN ON THESE DRAWINGS SHALL COMPLY WITH THE 2020 NEW YORK STATE RESIDENTIAL CODE AND THE NEW YORK STATE 2020 ENERGY CODE	P.C.D. ASSOCIATES DESIGN CONSULTANTS 24 HAWLEY ROAD EXTENSION DANBURY, CT. 06811		STEVEN A. COSTA, P.E. CONSULTING ENGINEER 154 PALISADE AVENUE YONKERS, NEW YORK 107103	JOB TITLE ALTERATION TO EXISTING RESIDENCE AND NEW DETACHED GARAGE / POOL HOUSE 15 FINNEY FARM ROAD CROTON ON HUDSON, NEW YORK DRAWING TITLE DETACHED GARAGE POOL HOUSE PLAN / DETAILS	DATE 6/28/22 DRAWN BY PC CHECKED BY SAC SCALE AS NOTED	SHEET NO. G3
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