

SITE DEVELOPMENT PLAN

118 SCENIC DRIVE WEST

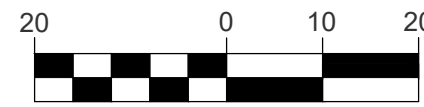
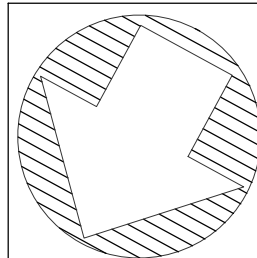
VILLAGE OF CROTON ON HUDSON
WESTCHESTER COUNTY, NEW YORK



VICINITY MAP

SCALE: 1" = 300'

Dig Safely.
New York
(800) 962-7962
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SCALE: 1" = 20 FT.

OWNER

ANDREW MURPHY AND JEANNE MAGRAM
10 NEWTON CT.
CROTON-ON-HUDSON, NY 10520

• UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 145, SECTION 7209 (2), IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.
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REVISIONS

#	REASON	DATE
3	TREES AND LANDSCAPING	10/27/23
2	REVISED EASEMENTS	1/27/23
1	VILLAGE ENGINEERING COMMENTS	1/24/23

MUNICIPAL TAX IDENTIFICATION:

SECTION: 67.10

BLOCK: 2

LOT: 5.2

SUBLOT: --

DRAWN BY: AD

CHECKED: PB

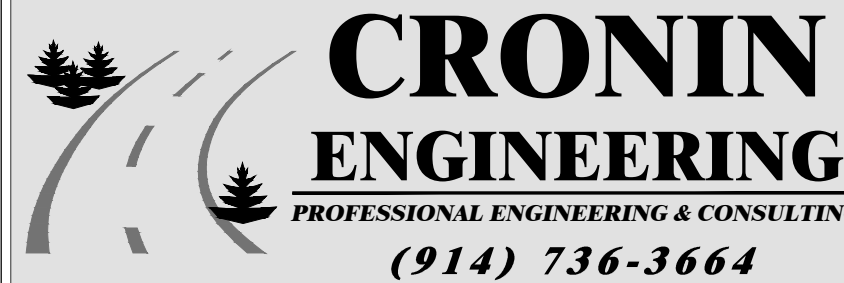
PROJECT: 118 SCENIC DR

DATE: JANUARY 12, 2023

JOB #: 150911



PATRICK M. BELL, P.E.
LICENSE #087679



39 Arlo Lane
Cortlandt Manor, New York 10567

EXISTING CONDITIONS PLAN

SITE DEVELOPMENT PLAN
FOR
MURPHY / MAGRAM

LOCATION:
118 SCENIC DRIVE WEST
VILLAGE OF CROTON-ON-HUDSON, NEW YORK

SHEET 1 OF 4

SP-1.0

SITE SPECIFIC NOTES

1. THE GROSS SITE AREA EQUALS 25,055 SQUARE FEET OR 0.5752 ACRES.
2. ACCORDING TO THE TAX ASSESSOR, THE SUBJECT SITE CONSISTS OF THE FOLLOWING TAX PARCEL IDENTIFICATION NUMBERS: SECTION 67.10, BLOCK 2, LOT 5.2.
3. SURVEY AND TOPOGRAPHIC DATA SHOWN HEREON IS TAKEN FROM A SURVEY PREPARED BY WARD CARPENTER ENGINEERS INC. ENTITLED "SURVEY OF PROPERTY PREPARED FOR ANDREW MURPHY & JEANNE S. MAGRAM IN THE VILLAGE OF CROTON-ON-HUDSON, WESTCHESTER COUNTY, NEW YORK" DATED AUGUST 26, 2022.
4. THE SUBJECT SITE IS LOCATED IN THE RA-25 (ONE-FAMILY RESIDENTIAL) ZONING DISTRICT.
5. THE SUBJECT SITE IS LOCATED IN THE CROTON HARMON SCHOOL DISTRICT.
6. THE SUBJECT SITE IS LOCATED IN THE PEEKSKILL & HAVERSTRAW BAY WATERSHED.

SPECIAL NOTE

THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THE MEANS AND METHODS NEEDED TO PERFORM THE CONSTRUCTION/EXCAVATION, ET AL, OPERATIONS SHOWN HEREON. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE A SAFE WORKING ENVIRONMENT AND PROVIDE THE MEANS AND METHODS TO PERFORM THE NECESSARY TASKS. NOTHING ON THESE PLANS SHALL OBLIGATE THE DESIGN ENGINEER AS TO THE MEANS AND METHODS TO PERFORM THE TASKS ASSOCIATED WITH THE APPROVED DESIGN PLANS. THOSE OBLIGATIONS AT ALL TIMES REMAIN WITH THE CONTRACTOR(S).

ENGINEER'S NOTES TO OWNER/CONTRACTOR

1. A PRE-CONSTRUCTION SITE INSPECTION WITH CRONIN ENGINEERING, P.E., P.C. IS REQUIRED W/ THE OWNER AND CONTRACTOR PRESENT TO CONFIRM THE CONSTRUCTION PROCEDURE.
2. THERE SHALL BE NO MODIFICATION TO ANY ASPECT OF THIS PLAN WITHOUT FIRST CONTACTING CRONIN ENGINEERING, P.E., P.C. FOR APPROVAL.
3. PRIOR TO ANY EXCAVATION, THE OWNER AND/OR CONTRACTOR SHALL CALL THE UNDERGROUND LINE LOCATION SERVICE (CODE 53) AT (800) 462-7962. FOR MORE INFORMATION, VISIT WWW.DIGSAFELYNEWYORK.COM.
4. EROSION & SEDIMENT CONTROL MEASURES AS SHOWN IN THIS PLAN SET SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK. IF UNFORESEEN FIELD CONDITIONS ARE ENCOUNTERED WHICH PROHIBIT THE INSTALLATION OF CERTAIN EROSION & SEDIMENT CONTROL MEASURES AS SHOWN, IT SHALL BE THE OWNER AND/OR CONTRACTOR'S RESPONSIBILITY TO CONTACT CRONIN ENGINEERING, P.E., P.C. IMMEDIATELY TO DISCUSS ALTERNATIVE METHODS. IT SHALL BE THE OWNER AND/OR CONTRACTOR'S RESPONSIBILITY TO ENSURE THE INTEGRITY OF ALL EROSION & SEDIMENT CONTROL MEASURES AT ALL TIMES THROUGHOUT THE DURATION OF THE PROJECT.
5. CRONIN ENGINEERING, P.E., P.C. MAKES NO REPRESENTATIONS OR CERTIFICATIONS AS TO THE INTEGRITY, LOCATION OR EXISTENCE OF SUBSURFACE STRUCTURES OR SOIL CONDITIONS WITH RESPECT TO STABILITY AND SUITABILITY FOR THE INTENDED PURPOSE. IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO VERIFY ALL SUBSURFACE CONDITIONS AND INSURE THAT ALL IMPROVEMENTS ARE PLACED ON MATERIAL WITH A SUITABLE BEARING CAPACITY.
6. CRONIN ENGINEERING, P.E., P.C. MAKES NO REPRESENTATION OR CERTIFICATIONS AS TO THE QUANTITY OF MATERIAL NEEDED OR TO BE REMOVED FOR THE SUCCESSFUL CONSTRUCTION OF THE PROJECT. IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO VERIFY THE QUANTITY OF MATERIAL NEEDED OR TO BE REMOVED TO SUCCESSFULLY CONSTRUCT THE PROJECT.
7. IN THE EVENT THAT FIELD CONDITIONS ARE DIFFERENT THAN WHAT IS PRESENTED IN THIS PLAN SET, IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO NOTIFY CRONIN ENGINEERING, P.E., P.C. PRIOR TO CONTINUING WITH ANY FURTHER SITE WORK.
8. IF UNFORESEEN SUBSURFACE CONDITIONS ARE ENCOUNTERED (I.E. ROCK, GROUNDWATER, ETC.), THE OWNER AND/OR CONTRACTOR SHALL STOP WORK AND NOTIFY CRONIN ENGINEERING, P.E., P.C. ALL NECESSARY MODIFICATIONS OR CHANGES SHALL BE DISCUSSED WITH AND APPROVED BY CRONIN ENGINEERING, P.E., P.C. PRIOR TO CONTINUING WITH ANY FURTHER SITE WORK. FURTHERMORE, THE OWNER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.
9. IT IS THE OWNER AND/OR CONTRACTOR'S SOLE RESPONSIBILITY TO FOLLOW OSHA, NYS AND ANY OTHER APPLICABLE CODES OR REQUIREMENTS THROUGHOUT THE DURATION OF THE PROJECT. THIS INCLUDES BUT IS NOT LIMITED TO PROVIDING ADEQUATE BRACING AND GUARANTEEING THE STABILITY OF EXCAVATIONS AND OTHER VICINITY STRUCTURES.
10. CRONIN ENGINEERING, P.E., P.C. MAKES NO REPRESENTATION AS TO THE QUALITY (I.E. CONTAMINATION), IF ANY, OF THE SOILS ON THIS SITE. THE OWNER AND/OR CONTRACTOR ARE RESPONSIBLE TO CONDUCT ANY AND ALL TESTING AS MAY BE REQUIRED TO ENSURE THE SITE HAS NO CONTAMINATED SOILS.
11. CRONIN ENGINEERING, P.E., P.C. MAKES NO REPRESENTATION AS TO THE SOIL BEARING CAPACITY OF THE SOILS ON SITE. THE OWNER AND/OR ARCHITECT ARE RESPONSIBLE TO CONDUCT ANY AND ALL TESTING AS MAY BE REQUIRED TO ENSURE THE CONDITION OF THE FOUNDATION MEETS THE REQUIREMENTS OF THE NEW YORK STATE BUILDING CODE AND THE BUILDING CODE OF THE VILLAGE OF CROTON-ON-HUDSON. FOUNDATION DESIGN IS NOT PROVIDED BY THIS OFFICE AND IS THE RESPONSIBILITY OF THE OWNER/ARCHITECT/BUILDER.
12. THE OWNER/BUILDER/ARCHITECT ARE RESPONSIBLE TO ENSURE THAT THE BUILDING FOUNDATION MEETS ALL VILLAGE CODES AND THE NEW YORK STATE RESIDENTIAL BUILDING CODE. IF UNSUITABLE MATERIAL IS ENCOUNTERED, THE OWNER SHALL MAKE PROVISIONS (I.E. DEEPER FOOTING, SPREAD FOOTING, GRADE BEAMS, PILES, ETC.) AS NECESSARY TO ENSURE A CODE COMPLIANT FOUNDATION TO THE SATISFACTION OF THE VILLAGE OF CROTON-ON-HUDSON BUILDING DEPARTMENT.

ENGINEER'S NOTES

1. THERE SHALL BE NO MODIFICATION TO ANY ASPECT OF THIS PLAN WITHOUT CONTACTING THE DESIGN ENGINEER.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL CODES, RULES & REGULATIONS.
3. THIS PLAN WAS PREPARED FOR THE PURPOSE OF OBTAINING A BUILDING PERMIT TO CONSTRUCT THE RESIDENCE, DRIVEWAY, RETAINING WALLS, DECKS, AND WALKWAYS. NO REPRESENTATION TO THE SUB-SURFACE SOIL CONDITIONS ON THIS LOT ARE MADE OR IMPLIED BY THIS PLAN. IMPROVEMENTS SHOWN ARE FOR SCHEMATIC PURPOSES.
4. IT IS THE OWNER'S RESPONSIBILITY TO INSURE THAT ALL IMPROVEMENTS ARE PLACED ON MATERIAL WITH A SUITABLE BEARING CAPACITY.
5. CONTRACTOR TO VERIFY DEPTH & LOCATION OF ALL UTILITIES INCLUDING WATER, SEWER, DRAINAGE, GAS, TELEPHONE, ELECTRIC & CABLE PRIOR TO START OF WORK.
6. PROPOSED RESIDENCE, PORCH, AND DECK DESIGNED BY OTHERS.

SLOPE LEGEND

EXISTING SLOPES 15% TO 25%		EXISTING SLOPES 25% TO 35%	
EXISTING SLOPES 15% TO 25%		EXISTING SLOPES > 35%	

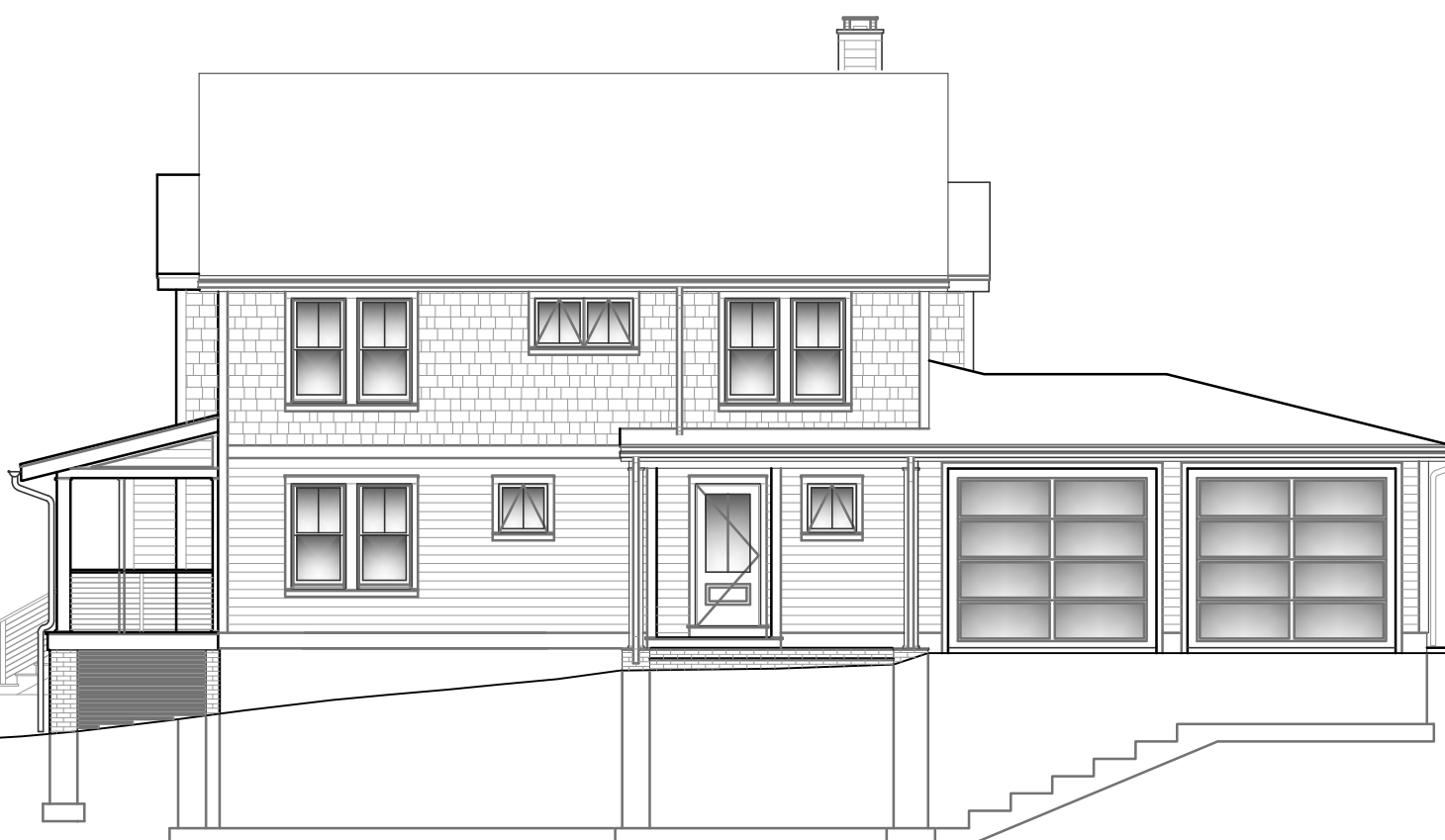
LIST OF DRAWINGS

SHEET TITLE	SHEET NUMBER	TITLE	ISSUE DATE	LAST REVISED
EX-1.0	1 OF 4	EXISTING CONDITIONS PLAN	1/12/2023	10/27/2023
SP-2.0	2 OF 4	LAYOUT, GRADING AND UTILITY PLAN	1/12/2023	10/27/2023
SP-2.1	3 OF 4	EROSION & SEDIMENT CONTROL PLAN / CONSTRUCTION DETAILS	1/12/2023	10/27/2023
CD-3.0	4 OF 4	CONSTRUCTION DETAILS	1/12/2023	10/27/2023



PROPOSED NORTH ELEVATION (FRONT)

NTS



PROPOSED WEST ELEVATION (GARAGE)

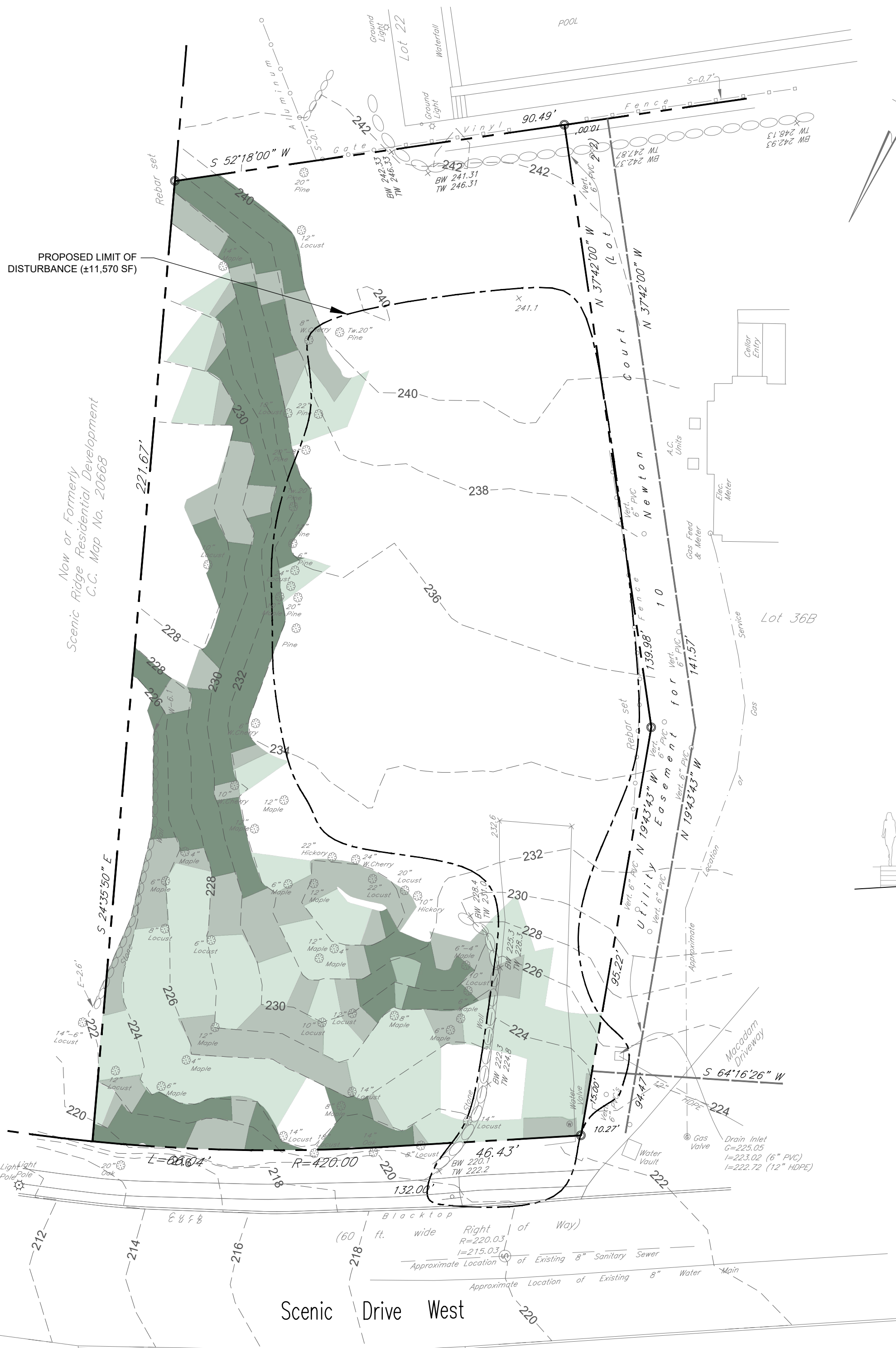
NTS

REFERENCE NOTE:
1. REFERENCE IS MADE TO THE ARCHITECTURAL PLANS BY
HIGHLANDS ARCHITECTURE PLLC DATED JANUARY 12, 2023

EXISTING TREE INVENTORY

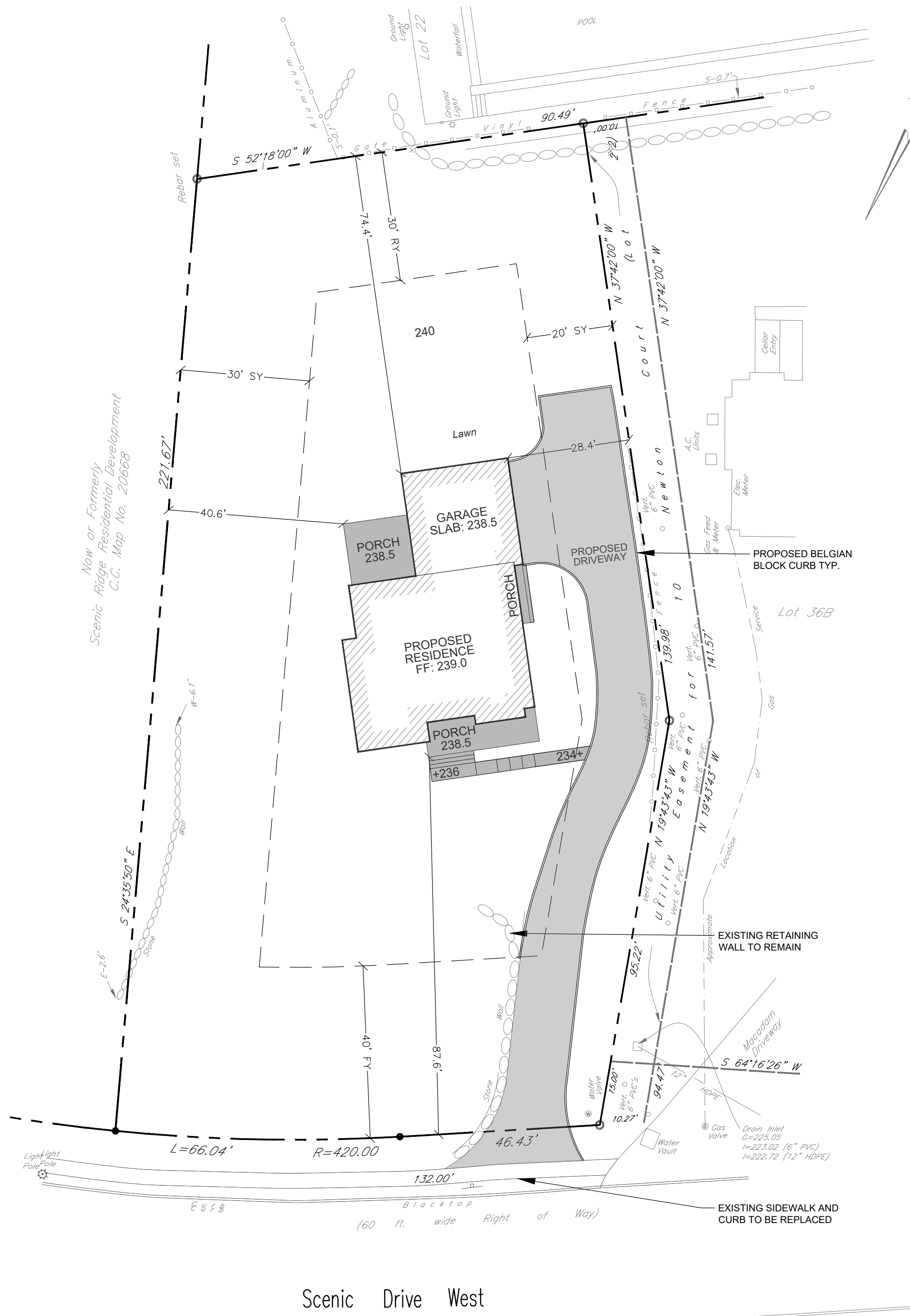
# OF TREES	SIZE	SPECIES	# OF TREES	SIZE	SPECIES	# OF TREES	SIZE	SPECIES
3	4"	MAPLE	1	24"	LOCUST	1	22"	HICKORY
6	6"	MAPLE	1	6"	PINE	1	6"	PINE
2	8"	MAPLE	1	12"	PINE	49	TOTAL # OF TREES	
5	12"	MAPLE	3	20"	PINE			
1	14"	MAPLE	2	20"	TWIN PINE			
1	6"	LOCUST	1	22"	PINE			
2	8"	LOCUST	1	24"	PINE			
4	10"	LOCUST	1	6"	W. CHERRY			
3	12"	LOCUST	1	8"	W. CHERRY			
3	14"	LOCUST	1	10"	W. CHERRY			
1	20"	LOCUST	1	24"	W. CHERRY			
1	22"	LOCUST	1	10"	HICKORY			

LANDSCAPING NOTE:
SEE SHEET 3 OF 4 FOR LANDSCAPING PLAN

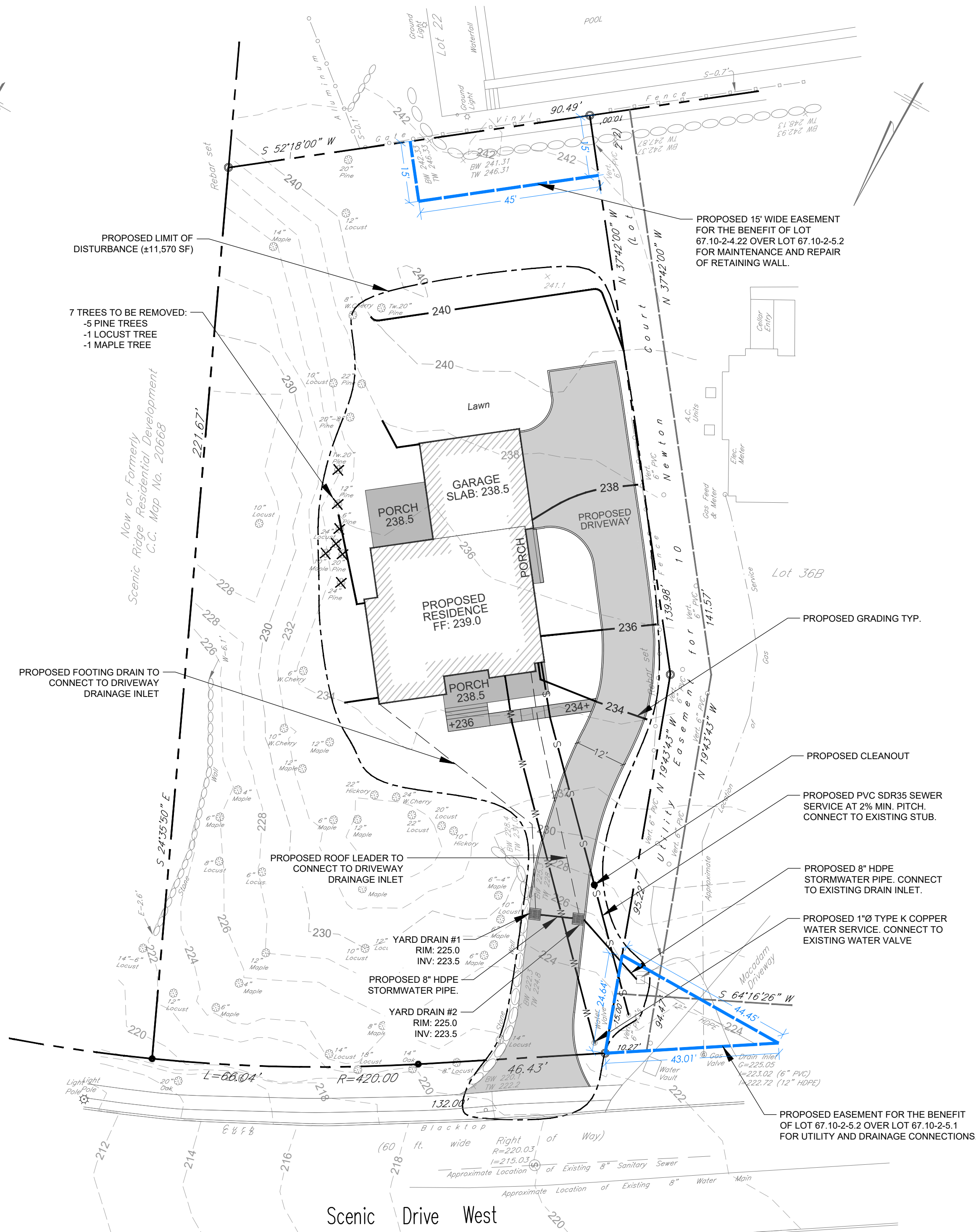


EXISTING CONDITIONS PLAN

SCALE: 1"=20'



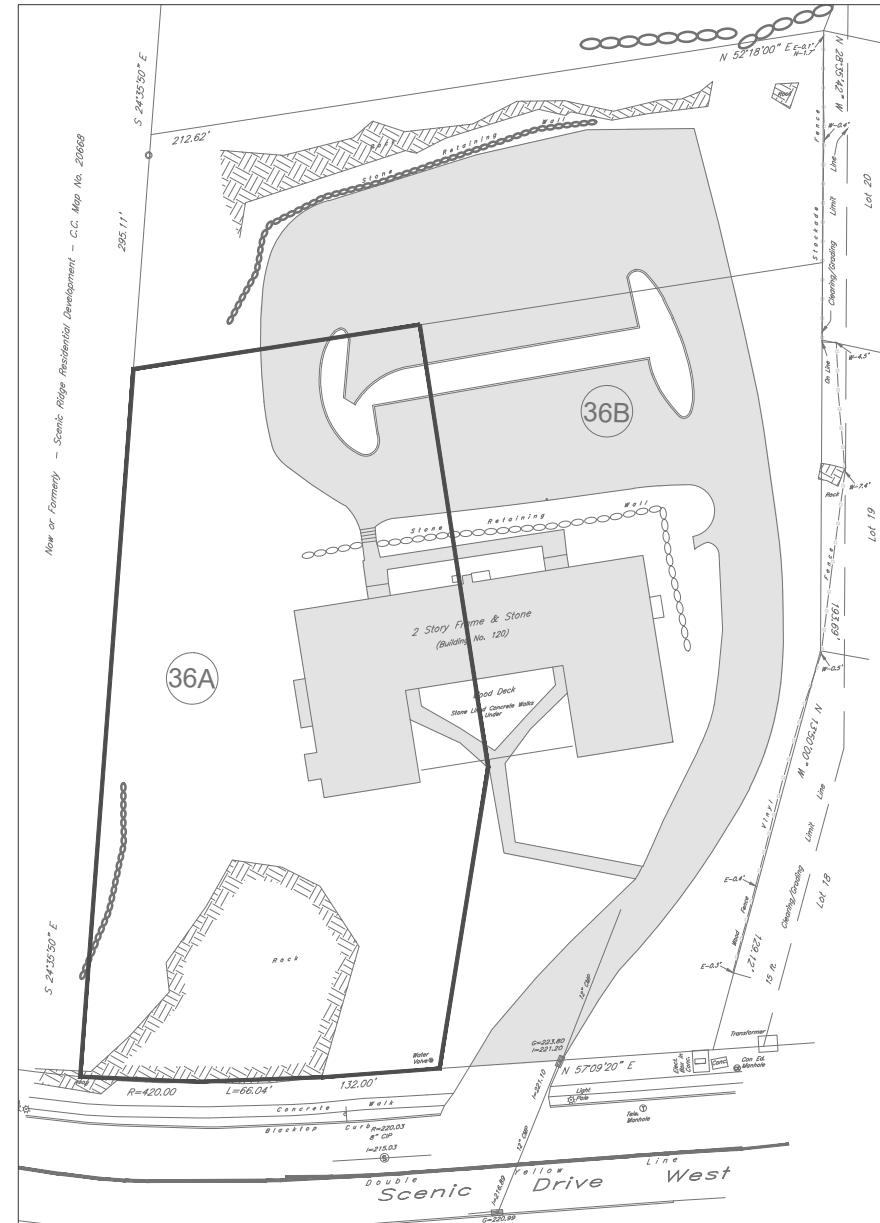
SITE LAYOUT PLAN
SCALE: 1"=20'



GRADING AND UTILITY PLAN
SCALE: 1"=20'

IMPERVIOUS AREA COMPARISON 118 SCENIC DRIVE WEST, CROTON ON HUDSON NY 10520		
	PREVIOUS CONDITIONS (SF)	PROPOSED LAYOUT PLAN (SF)
DRIVEWAY	1,754	2,338
HOUSE FOOTPRINT	2,537	2,088
PORCH / DECK	551	430
WALKWAY / STAIRS	210	125
BUILDING COVERAGE (%)	12.3%	10.0%
TOTAL IMPERVIOUS COVERAGE	5,052 SF	4,981 SF
TOTAL IMPERVIOUS COVERAGE (%)	20.2%	19.8%

NOTE: FOR THE IMPERVIOUS AREA COMPARISON, THE PROPOSED LAYOUT WAS COMPARED TO THE PREVIOUS IMPERVIOUS AREA CONDITION (SHOWN BELOW) BEFORE THIS LOT WAS SUBDIVIDED



PREVIOUS SITE CONDITION PRIOR TO SUBDIVISION
SCALE: 1"=60'

DRAINAGE NOTE

1. DUE TO THE OVERALL IMPERVIOUS AREA BEING REDUCED FROM THE ORIGINAL CONDITION, THERE ARE NO STORMWATER MANAGEMENT PRACTICES REQUIRED, HOWEVER, TWO YARD DRAINS ARE PROPOSED TO COLLECT DRIVEWAY DRAINAGE, ROOF DRAINAGE, AND FOOTING DRAINS AND CONVEY THE STORMWATER TO THE EXISTING CATCH BASIN.

PIPE / UTILITY CHART

PIPE LOCATION	TYPE
ROOF LEADERS	4"Ø SOLID PVC SDR35
FOOTING DRAINS	4"Ø PERFORATED HDPE
WATER SERVICE	1"Ø TYPE "K" COPPER
UTILITIES	BY UTILITY COMPANY, TO BE UNDERGROUND
RAW SEWER LINE TO STUB	4"Ø SOLID PVC SDR35 AT 2% MIN SLOPE

SLOPE CALCULATIONS

	SITE AREA (SQ. FT.)	DIST. AREA (SQ. FT.)	WEIGHING FACTOR	ADJ. AREA (SQ. FT.)
15% TO 25% SLOPES	3,618	1,014	1.0	1,014
25% TO 35% SLOPES	2,548	250	1.5	375
>35% SLOPES	3,243	370	3.0	1,110
TOTAL STEEP SLOPES	9,409	1,634		2,499

ZONING DATA CHART - RA-25 (ONE FAMILY RESIDENCE) ZONING DISTRICT

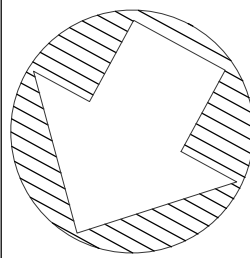
	REQUIRED	EXISTING	PROPOSED
LOT AREA	25,000 SF	25,055 SF	NO CHANGE
LOT WIDTH	125 LF	112.5 LF*	NO CHANGE
LOT DEPTH	150 LF	232.5 LF	NO CHANGE
FRONT YARD	40 LF	N/A	87.6 LF
ONE SIDE YARD	20 LF	N/A	28.5 LF
BOTH SIDE YARDS	50 LF	N/A	69.0 LF
REAR YARD	30 LF	N/A	74.5 LF
HABITABLE (FLOOR AREA/DWELLING UNIT)	1,200 SF MIN	N/A	2,363 SF
MAIN FLOOR	880 SF MIN	N/A	1,447 SF
OFF-STREET PARKING SPACES	2	N/A	2
BUILDING HEIGHT (STORIES) (FEET)	2 1/2 MAX	N/A	2
BUILDING COVERAGE (PERCENT)	35 MAX	N/A	28.8 LF
FLOOR AREA RATIO	25% MAX	N/A	10.0 %
	0.20	N/A	0.09

* A LOT WIDTH VARIANCE OF 15 FEET WAS ISSUED BY THE ZONING BOARD OF APPEALS ON 12/14/16 TO ALLOW A LOT WIDTH OF 110 FEET. THE ACTUAL LOT WIDTH IS ± 112.5 FEET



VICINITY MAP
SCALE: 1" = 300'

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SCALE: 1" = 20 FT.

OWNER

ANDREW MURPHY AND JEANNE MAGRAM
10 NEWTON CT.
CROTON-ON-HUDSON, NY 10520

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REVISIONS

#	REASON	DATE
3	TREES AND LANDSCAPING	10/27/23
2	REVISED EASEMENTS	1/27/23
1	VILLAGE ENGINEERING COMMENTS	1/24/23
MUNICIPAL TAX IDENTIFICATION:		
SECTION:	67.10	
BLOCK:	2	
LOT:	5.2	
SUBLOT:	--	
DRAWN BY:	AD	
CHECKED:	PB	
PROJECT:	118 SCENIC DR	
DATE:	JANUARY 12, 2023	
JOB #:	150911	



PATRICK M. BELL, P.E.
LICENSE #087679



LAYOUT, GRADING AND UTILITY PLAN

SITE DEVELOPMENT PLAN FOR MURPHY / MAGRAM

LOCATION:
118 SCENIC DRIVE WEST
VILLAGE OF CROTON-ON-HUDSON, NEW YORK

SHEET 2 OF 4

SP-2.0



EROSION AND SEDIMENTS CONTROL PLAN
SCALE: 1"=20'

VILLAGE OF CROTON-ON-HUDSON NOTES

- ALL IMPROVEMENTS MUST BE COMPLETED AS SHOWN ON THE APPROVED PLANS. ANY DEVIATION FROM THE APPROVED PLANS MUST BE APPROVED IN ACCORDANCE WITH CHAPTER 239 OF THE VILLAGE CODE.
- AT ALL TIMES THE OWNER/OPERATOR SHALL MAINTAIN ON-SITE A COPY OF THE PLANNING BOARD'S APPROVING RESOLUTION AND APPROVED PLANS.
- THE VILLAGE OF CROTON-ON-HUDSON EMPLOYS THE SERVICES OF OUTSIDE PLANNING, ENGINEERING, WETLAND, AND OTHER CONSULTANTS AS NEEDED. IN THE REVIEW AND INSPECTION OF PLANNING BOARD APPLICATIONS, THE OWNER/OPERATOR IS REQUIRED AND HEREBY AGREES TO REIMBURSE THE VILLAGE FOR THE FEES OF SAID CONSULTANTS. AN ESCROW ACCOUNT WILL BE ESTABLISHED AND MAINTAINED FOR THE PAYMENT OF SUCH INSPECTION FEES. THE ACCOUNT WILL BE ESTABLISHED PRIOR TO COMMENCEMENT OF WORK AND SHALL BE MAINTAINED AND SUPPLEMENTED THROUGHOUT THE DURATION OF CONSTRUCTION TO A DATE NO LESS THAN 60 DAYS AFTER ISSUANCE OF AN UNRESTRICTED CERTIFICATE OF OCCUPANCY. SHOULD THE ACCOUNT BALANCE BE EXHAUSTED, ALL WORK SHALL CEASE UNTIL THE ACCOUNT BALANCE IS SUPPLEMENTED TO ALLOW FOR FUTURE INSPECTIONS.
- IF COVERAGE UNDER THE GENERAL PERMIT IS REQUIRED, AT ALL TIMES THE OWNER/OPERATOR SHALL MAINTAIN ON-SITE A COPY OF THE GENERAL PERMIT, NOTICE OF INTENT (NOI), NOY ACKNOWLEDGEMENT LETTER, APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP), MSA SWPPP ACCEPTANCE FORM, AND WEEKLY INSPECTION REPORTS PREPARED BY A QUALIFIED INSPECTOR.
- IF AT ANY TIME DURING CONSTRUCTION THE CODE ENFORCEMENT OFFICER, PLANNING BOARD, OR ITS AGENTS DETERMINE THAT CONSTRUCTION IS NOT TAKING PLACE IN CONFORMANCE WITH THE APPROVED PLANS, A STOP WORK ORDER SHALL BE ISSUED BY THE CODE ENFORCEMENT OFFICER AND ALL WORK SHALL CEASE EXCEPT SUCH WORK APPROVED BY THE CODE ENFORCEMENT OFFICER AND/OR VILLAGE ENGINEER TO CORRECT EROSION AND SEDIMENT CONTROLS.
- UNLESS OTHERWISE AUTHORIZED BY THE VILLAGE ENGINEER, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL COMPLY WITH CHAPTER 196, STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL, OF THE VILLAGE CODE AND THE LATEST EDITION OF THE 'NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL'.
- UNLESS OTHERWISE AUTHORIZED BY THE TOWN ENGINEER, ALL STORMWATER MANAGEMENT PRACTICES SHALL BE DESIGNED TO COMPLY WITH CHAPTER 196, STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL, OF THE VILLAGE CODE AND THE LATEST EDITION OF THE 'NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL'.
- PRIOR TO THE COMMENCEMENT OF WORK, ALL TREES TO BE REMOVED SHALL BE IDENTIFIED IN THE FIELD BY USE OF A BRIGHT COLORED SURVEYOR'S RIBBON. IF ANY TREES DESIGNATED ON THE TREE PLAN FOR PRESERVATION ARE REMOVED WITHOUT PLANNING BOARD APPROVAL, A STOP WORK ORDER MAY BE ISSUED BY THE BUILDING INSPECTOR AND ALL WORK SHALL CEASE UNTIL A TREE REPLACEMENT PLAN, PREPARED IN CONFORMANCE WITH CHAPTER 208 OF THE VILLAGE CODE, HAS BEEN APPROVED BY THE PLANNING BOARD AND IMPLEMENTED TO THE PLANNING BOARD'S SATISFACTION.
- PRIOR TO COMMENCEMENT OF WORK, THE LIMIT OF DISTURBANCE LINE, AS SHOWN ON THE APPROVED PLANS SHALL BE STAKED BY A LICENSED LAND SURVEYOR AND DELINEATED IN THE FIELD BY USE OF AN ORANGE CONSTRUCTION FENCE OR APPROVED EQUAL. THE CONSTRUCTION FENCE SHALL REMAIN INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
- PRIOR TO COMMENCEMENT OF WORK, THE OWNER SHALL CALL THE UNDERGROUND LINE LOCATION SERVICE. THE OWNER IS RESPONSIBLE TO LOCATE AND PROTECT ALL ABOVE AND BELOW GROUND UTILITIES THROUGHOUT ALL PHASES OF CONSTRUCTION.
- ELECTRICAL POWER, TELEPHONE, CABLE TELEVISION, AND OTHER SUCH UTILITIES SHALL BE INSTALLED UNDERGROUND.
- CONSTRUCTION ACTIVITIES SHALL ONLY TAKE PLACE BETWEEN THE HOURS OF 8:00 A.M. AND 8:00P.M. ON WEEKDAYS AND 9:00 A.M AND 7:00 P.M ON WEEKENDS AND HOLIDAYS.
- ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH CHAPTER 160, NOISE, OF THE VILLAGE CODE.
- UNLESS AUTHORIZED BY THE PLANNING BOARD, BLASTING IS PROHIBITED.
- APPROVAL OF THESE PLANS DOES NOT CONSTITUTE ACCEPTANCE OF LAND AREAS DESIGNATED FOR DEDICATION TO THE VILLAGE OF CROTON-ON-HUDSON, IF ANY.
- THE CONTINUED VALIDITY OF A CERTIFICATE OF OCCUPANCY SHALL BE SUBJECT TO CONTINUED CONFORMANCE WITH THESE PLANS AND THE PLANNING BOARD'S APPROVING RESOLUTION.

SITE INSPECTION NOTES

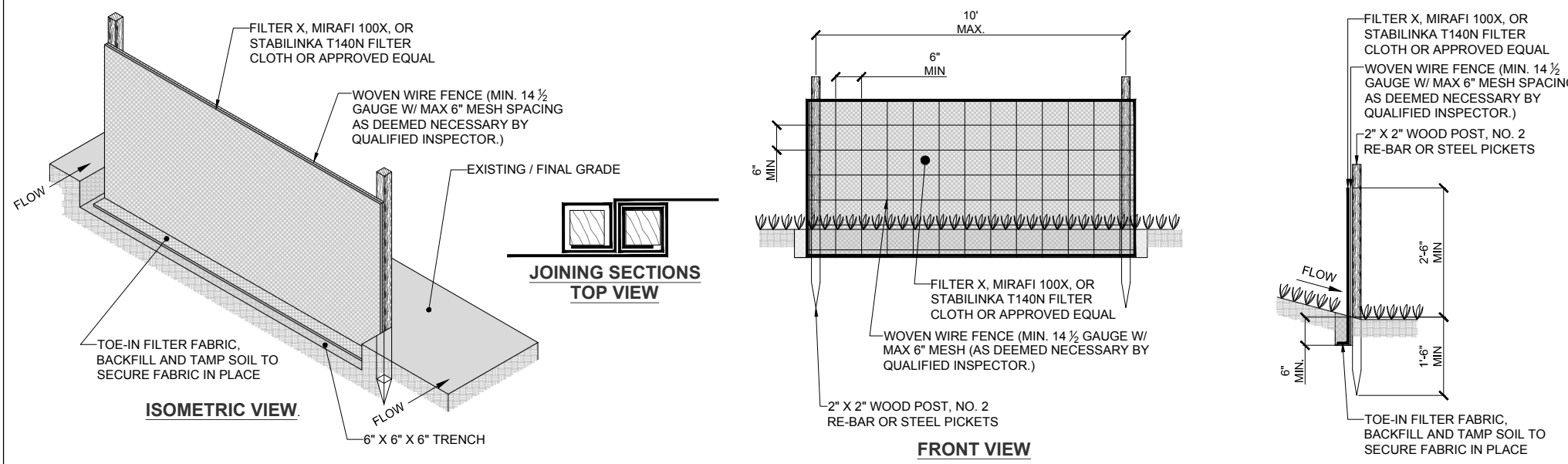
- PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE FOUNDATION LOCATION SHALL BE SURVEY LOCATED (BY USE OF OFF-SETS) BY A NYS LICENSED LAND SURVEYOR AND SHALL CORRESPOND TO THE APPROVED PLANS; CORRESPONDENCE FROM THE SURVEYOR SHALL BE PROVIDED TO THE BUILDING DEPARTMENT CERTIFYING THE SAME.
- PRIOR TO COMMENCEMENT OF WORK, A PRE-CONSTRUCTION MEETING SHALL TAKE PLACE WITH THE APPLICANT, CONTRACTOR, BUILDING INSPECTOR, VILLAGE ENGINEER, VILLAGE PLANNER, AND OTHER RELEVANT PARTIES. AT TIME OF INSPECTION, ALL EROSION AND SEDIMENT CONTROLS AND CONSTRUCTION FENCING SHALL BE INSTALLED AND ALL TREES TO BE REMOVED SHALL BE JOEED WITH A BRIGHT COLORED SURVEYOR'S RIBBON.
- ALL IMPROVEMENTS ARE SUBJECT TO INSPECTION BY THE VILLAGE AND ITS AGENTS WITHOUT NOTIFICATION DURING THE APPROVAL AND CONSTRUCTION PROCESS.
- THE VILLAGE OF CROTON-ON-HUDSON STORMWATER MANAGEMENT OFFICER MAY REQUIRE SUCH INSPECTIONS AS NECESSARY TO DETERMINE COMPLIANCE WITH CHAPTER 102, STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL, AND MAY EITHER APPROVE THE PORTION OF THE WORK COMPLETED OR NOTIFY THE OWNER/OPERATOR WHEREIN THE WORK FAILS TO MEET THE REQUIREMENTS OF CHAPTER 102 AND THE APPROVED SWPPP. TO OBTAIN INSPECTIONS, THE OWNER/OPERATOR SHALL NOTIFY THE VILLAGE OF CROTON-ON-HUDSON ENFORCEMENT OFFICIAL AT LEAST 48 HOURS BEFORE ANY OF THE FOLLOWING:
 - START OF CONSTRUCTION.
 - INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES.
 - COMPLETION OF SITE GRADING AND USE OF AN ORANGE CONSTRUCTION FENCE OR APPROVED EQUAL.
 - COMPLETION OF ROUGH GRADING.
 - COMPLETION OF FINAL GRADING.
 - CLOSE OF CONSTRUCTION SEASON.
 - COMPLETION OF FINAL LANDSCAPING.
 - SUCCESSFUL ESTABLISHMENT OF LANDSCAPING IN PUBLIC AREAS.
- IF COVERAGE UNDER THE GENERAL PERMIT IS REQUIRED, THE OWNER/OPERATOR SHALL RETAIN THE SERVICES OF A QUALIFIED INSPECTOR AND THE QUALIFIED INSPECTOR SHALL CONDUCT A SITE INSPECTION AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS. INSPECTION REPORTS SHALL BE PROVIDED TO THE PLANNING BOARD AND BUILDING DEPARTMENT ON A WEEKLY BASIS AND A COPY OF EACH REPORT SHALL BE KEPT ON-SITE.
- PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, A FINAL SITE INSPECTION SHALL BE CONDUCTED WITH THE PROPERTY OWNER/APPLICANT, CONTRACTOR, BUILDING DEPARTMENT, VILLAGE ENGINEER, VILLAGE PLANNER AND OTHER RELEVANT PARTIES. A CERTIFICATE OF OCCUPANCY SHALL NOT ISSUE UNLESS THE CODE ENFORCEMENT OFFICER HAS FIRST RECEIVED A WRITTEN REPORT FROM THE VILLAGE ENGINEER, VILLAGE PLANNER AND VILLAGE WETLAND INSPECTOR, AS APPLICABLE, STATING THAT ALL LAND DEVELOPMENT ACTIVITIES MEET THEIR SATISFACTION AND THAT THE SITE HAS BEEN DESIGNED IN ACCORDANCE WITH THE APPROVED PLANS.

VILLAGE OF CROTON-ON-HUDSON AS-BUILT SURVEY NOTES

- PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE FOUNDATION LOCATION (IF NECESSARY) SHALL BE SURVEY LOCATED (BY USE OF OFF-SETS) BY A NYS LICENSED LAND SURVEYOR AND SHALL CORRESPOND TO THE APPROVED PLANS; CORRESPONDENCE FROM THE SURVEYOR SHALL BE PROVIDED TO THE BUILDING DEPARTMENT CERTIFYING THE SAME.
- PRIOR TO FINALIZING CONSTRUCTION, AN AS-BUILT SURVEY OF THE FULL PROPERTY SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT. THE SURVEY SHALL BE PREPARED BY A NYS LICENSED LAND SURVEYOR, SHALL INCLUDE ELEVATIONS AND SETBACK DIMENSIONS TO DEMONSTRATE COMPLIANCE WITH THESE APPROVED PLANS, AND SHALL BE PREPARED TO THE SATISFACTION OF THE TOWN ENGINEER AND BUILDING INSPECTOR.
- THE OWNER/OPERATOR SHALL SUBMIT AN AS-BUILT SURVEY OF ANY IMPROVEMENTS LOCATED ON-SITE AFTER FINAL CONSTRUCTION IS COMPLETED. THIS SURVEY MUST SHOW THE FINAL DESIGN SPECIFICATION FOR ALL SITE IMPROVEMENTS AND MUST BE CERTIFIED BY A NYS PROFESSIONAL ENGINEER.

EROSION AND SEDIMENT CONTROL NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT TRAPS SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY, PRIOR TO EXPECTED RAIN EVENTS, AND AFTER EACH HEAVY RAIN TO INSURE PROPER OPERATION AS DESIGNED. AN INSPECTION SCHEDULE SHALL BE SET FORTH PRIOR TO THE START OF CONSTRUCTION.
- THE LOCATIONS AND THE INSTALLATION TIMES OF THE SEDIMENT CAPTURING STANDARDS SHALL BE AS ORDERED BY THE ENGINEER, AND IN ACCORDANCE WITH ACCEPTED STANDARDS.
- ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE. TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 21 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
- ALL DISTURBED AREAS WITHIN 500 FEET OF AN INHABITED DWELLING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL.
- THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
- SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
- SOIL SEEDING AND FERTILIZER AMENDMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL".
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (EMPRIE STATE CHAPTER OF THE SOIL AND WATER CONSERVATION SOCIETY) OR ITS EQUIVALENT SATISFACTORY TO THE APPROVING AUTHORITY.



INSTALLATION NOTES:

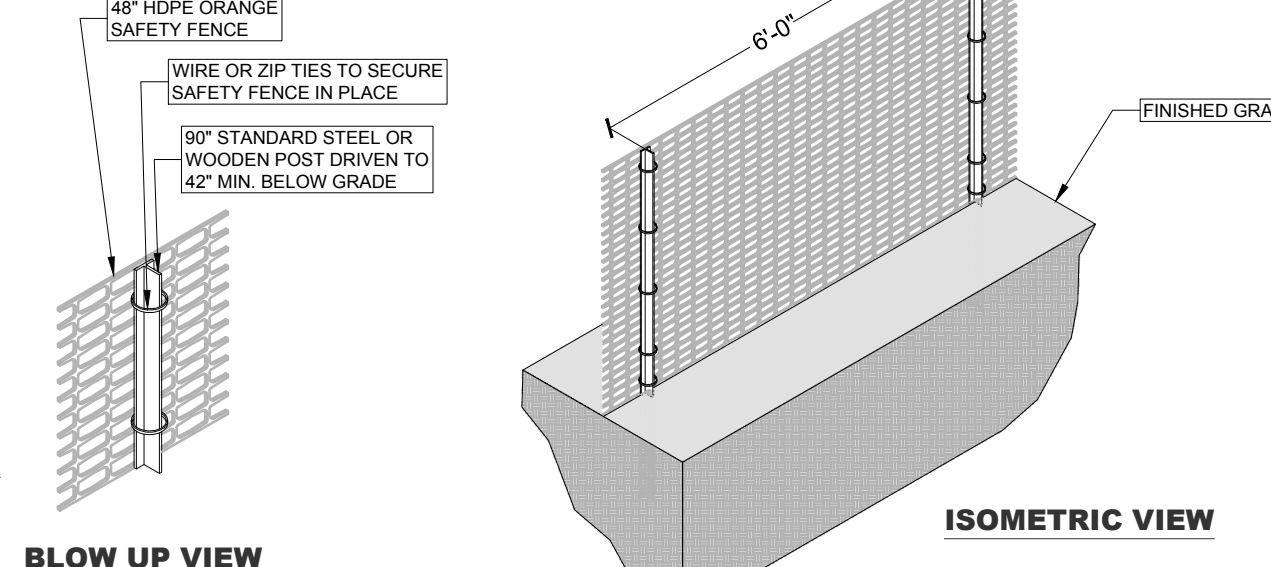
- EXCAVATE A 4 INCH X 4 INCH TRENCH ALONG THE LOWER SIDE OF A SLOPE AS SPECIFIED ON SITE PLAN.
- UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNHILL) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF STORM WATER FLOW).
- DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.
- LAY THE TOE-IN FLAP OF FABRIC FLAT IN THE BOTTOM OF THE TRENCH AND BACKFILL THE TRENCH AND TAMP THE SOIL OVER THE FLAP TO SECURELY HOLD THE FABRIC IN PLACE. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.
- JOIN SECTIONS AS SHOWN ABOVE.
- PREFABRICATED UNITS SHALL BE OF TYPE GEOFAB ENVIRONMENT, OR APPROVED EQUIVALENT.

SILT FENCE INSTALLATION

N.T.S.

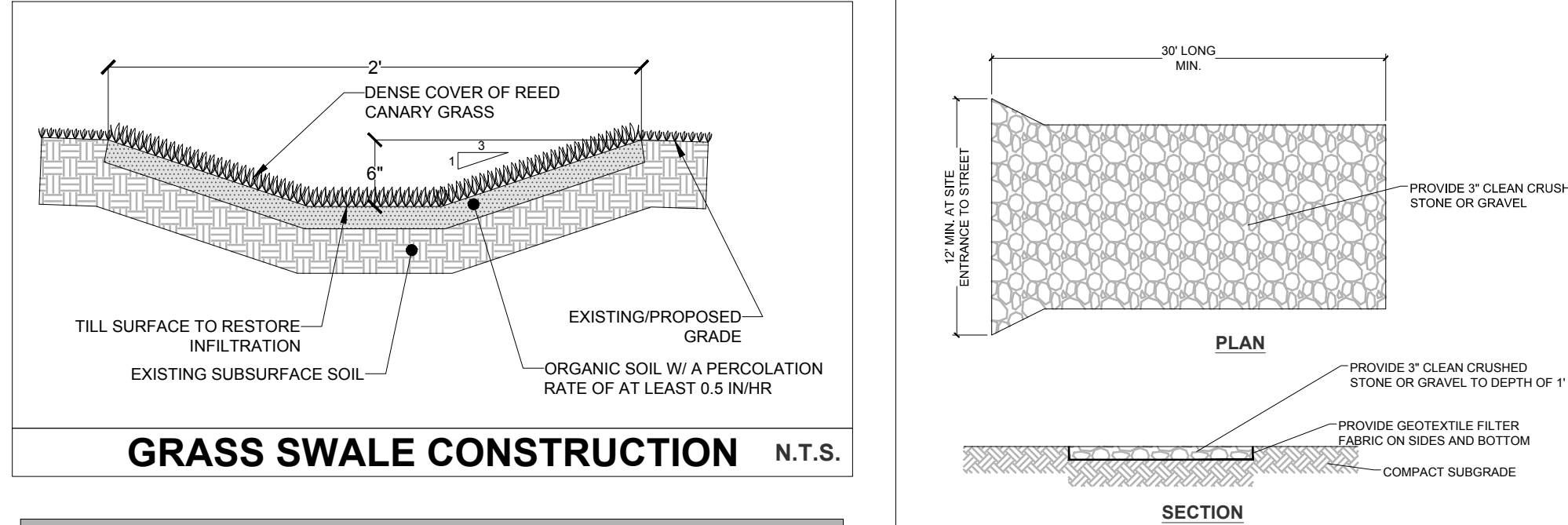
INSTALLATION NOTES

- SPACE SUPPORT FENCE POSTS AT 6'-0" INTERVALS.
- DRIVE SUPPORT POSTS 42" INTO GROUND.
- FIRMLY FASTEN FENCE MATERIAL IN PLACE BY WIRING OR ZIP TYING TO FENCE POST WHILE MAINTAINING TENSION ACROSS FULL HEIGHT OF FENCE. WIRING OR ZIP TYING SHALL BE DONE IN A MANNER THAT WILL PREVENT SAGGING OF FENCE MATERIAL.
- PROVIDE PERIODIC INSPECTION AND MAINTENANCE OF FENCE INCLUDING REPAIRS AS NECESSARY AND REQUIRED.
- PLASTIC FENCE MATERIAL SHALL BE MORNING BARRIER FENCE, COLOR-INTERNATIONAL ORANGE, AS MANUFACTURED BY ADPI ENTERPRISES, LLC OR APPROVED EQUAL.



CONSTRUCTION SAFETY FENCE INSTALLATION

NTS



GRASS SWALE CONSTRUCTION

N.T.S.

TREE PLANTING CHART							
QUANTITY	ABBR.	BOTANICAL NAME	COMMON NAME	SIZE	CALIPER (IN.)	HEIGHT (FT.)	VOLUME (GAL.)
2	RB	BETULA NIGRA	RIVER BIRCH	2.5	---	---	---
1	WO	QUERCUS ALBA	WHITE OAK	2.5	---	---	---
3	BS	PICEA PUNGENS	COLORADO BLUE SPRUCE	---	6'-8'	---	---
6	EWP	PINUS STROBUS	EASTERN WHITE PINE	---	8'	---	---
2	WS	PICEA GLAUCA	WHITE SPRUCE	---	6'	---	---
TOTAL TREES: 14							

SHRUB PLANTING CHART							
QUANTITY	ABBR.	BOTANICAL NAME	COMMON NAME	SIZE	CALIPER (IN.)	HEIGHT (FT.)	VOLUME (GAL.)
3	WB	ILEX VERTICILLATA	WINTERBERRY	---	---	---	3
2	AW	VIBURNUM DENTATUM	ARROW-WOOD	---	---	---	3
3	SH	HYDRANGEA ARBORESCENS	SMOOTH HYDRANGEA	---	---	---	3
4	HBB	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	---	---	---	3
TOTAL SHRUBS: 12							

INSTALLATION NOTES:

- STONE SIZE SHALL BE 3" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT ONLY.
- LENGTH SHALL BE AS SHOWN BUT NOT LESS THAN 30'
- THE THICKNESS SHALL BE NO LESS THAN 12" AT THE CONSTRUCTION ENTRANCE.
- THE WIDTH SHALL BE 12' AT A MINIMUM BUT NOT LESS THAN THE FULL WIDTH OF THE TRAVELED WAY.
- FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO THE PLACING OF ANY STONE. FILTER FABRIC WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE CONSTRUCTION.
- IF SURFACE WATER IS FLOWING TOWARD THE CONSTRUCTION ENTRANCE, IT SHALL BE PIPED UNDERNEATH THE STABILIZED ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 6:1 SIDE SLOPES SHALL BE PERMITTED.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT FROM CONSTRUCTION INTO THE PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO CAPTURE SEDIMENT. ANY SEDIMENT TRACKED, DROPPED OR WASHED INTO PUBLIC RIGHT OF WAY SHALL BE REMOVED IMMEDIATELY.
- WHEELS OF CONSTRUCTION VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING ONTO THE PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE IN AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROPRIATE SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED FOR THE DURATION OF CONSTRUCTION OR UNTIL FINAL GRADE IS ACHIEVED.

N.T.S.

STABILIZED CONSTRUCTION ENTRANCE



RIVER BIRCH

WHITE OAK

COLORADO BLUE SPRUCE

EASTERN WHITE PINE

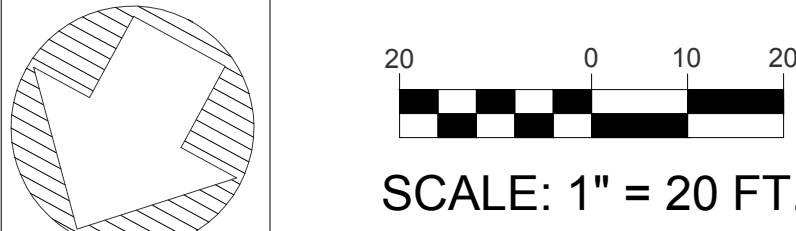
WHITE SPRUCE



VICINITY MAP

SCALE: 1" = 300'

Dig Safely.
New York
(800) 962-7962
www.digsafelynewyork.com



SCALE: 1" = 20 FT.

OWNER

ANDREW MURPHY AND JEANNE MAGRAM
10 NEWTON CT.
CROTON-ON-HUDSON, NY 10520

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REVISIONS

#	REASON	DATE
3	TREES AND LANDSCAPING	10/27/23
2	REVISED EASEMENTS	1/27/23
1	VILLAGE ENGINEERING COMMENTS	1/24/23

MUNICIPAL TAX IDENTIFICATION:

SECTION: 67.10

BLOCK: 2

LOT: 5

SUBLOT: --

DRAWN BY: AD

CHECKED: PB

PROJECT: 118 SCENIC DR

DATE: JANUARY 12, 2023

JOB #: 150911



PATRICK M. BELL, P.E.
LICENSE #087679



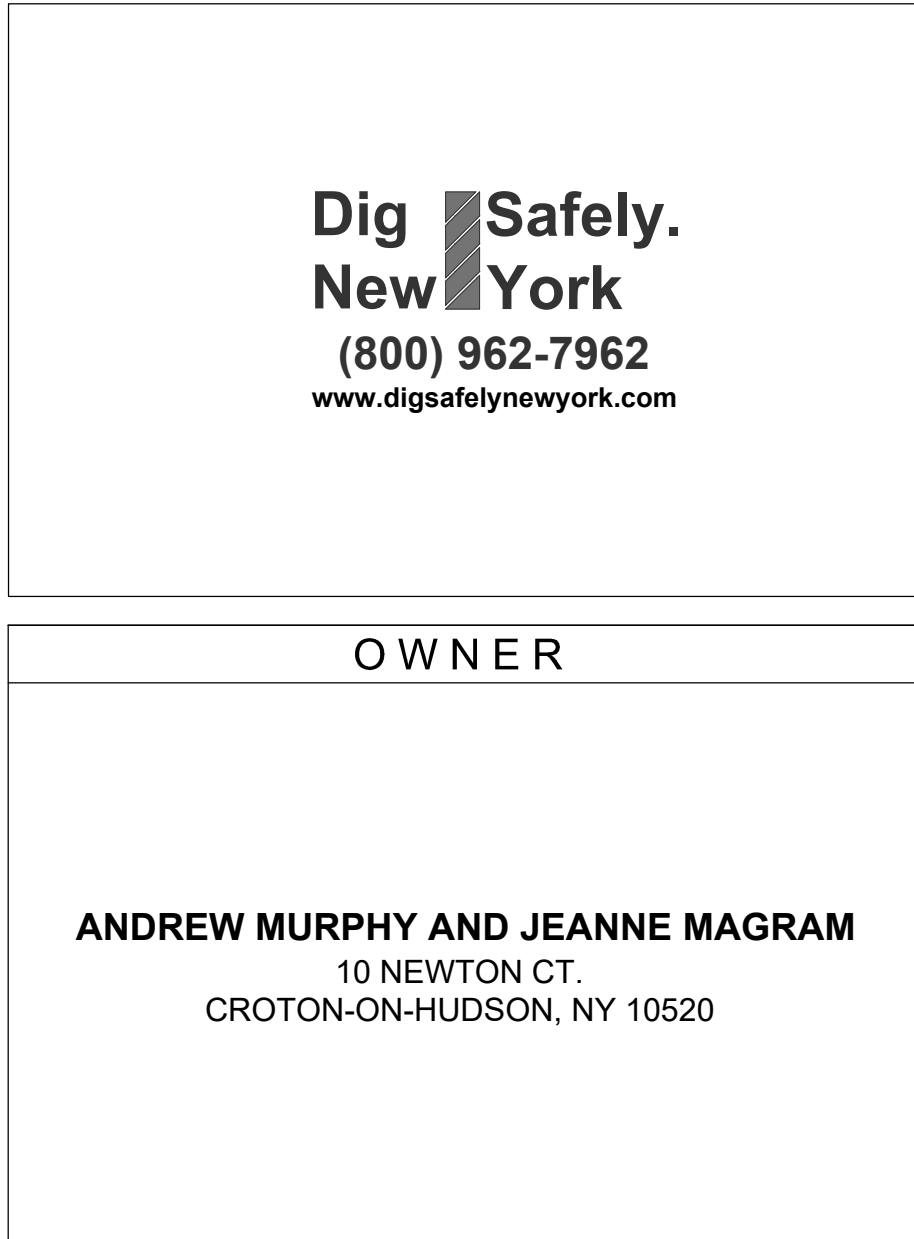
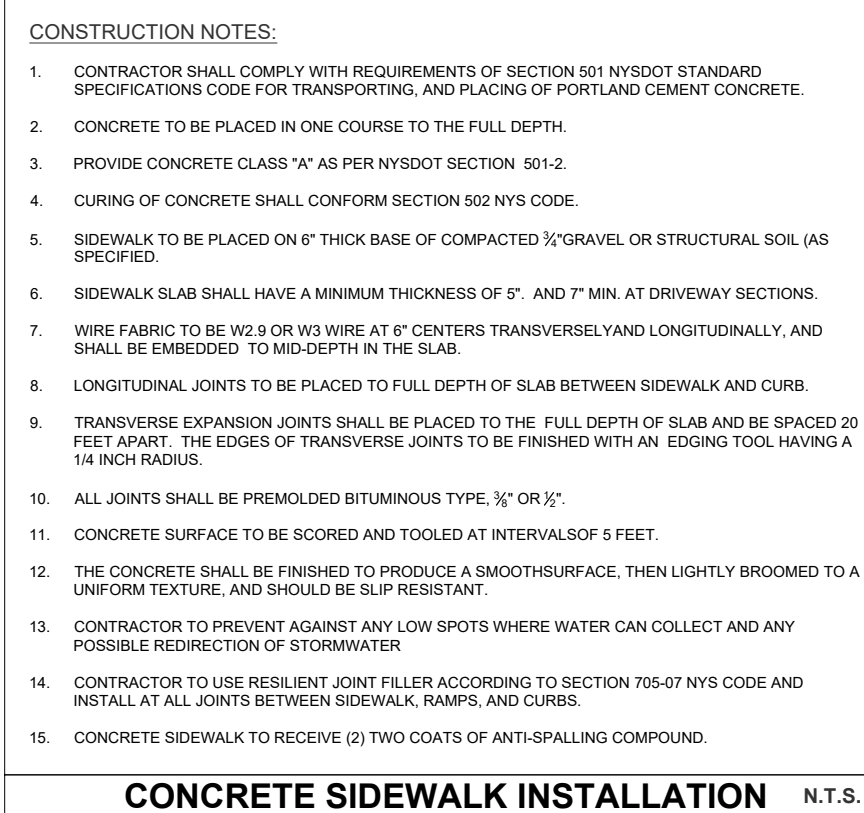
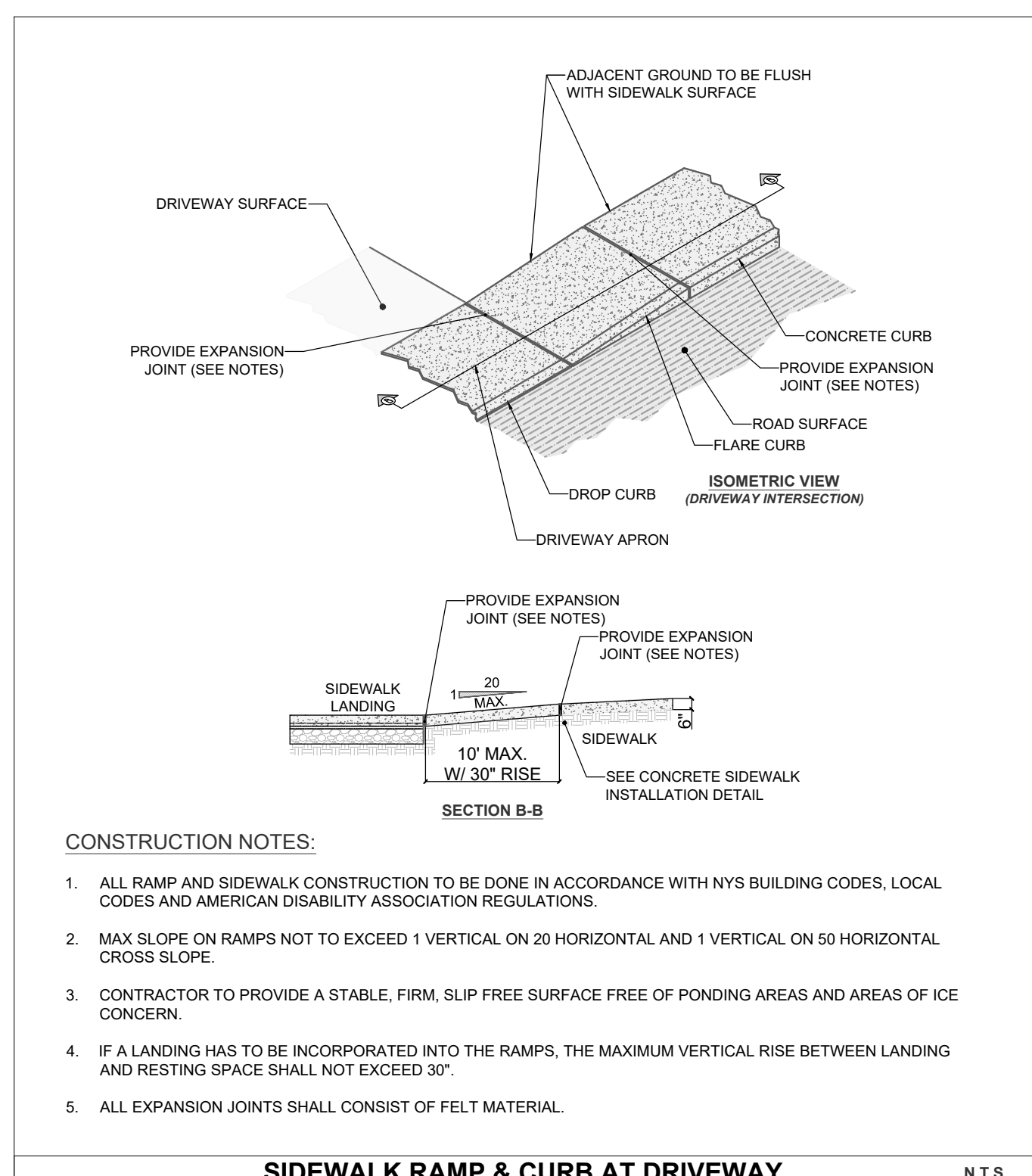
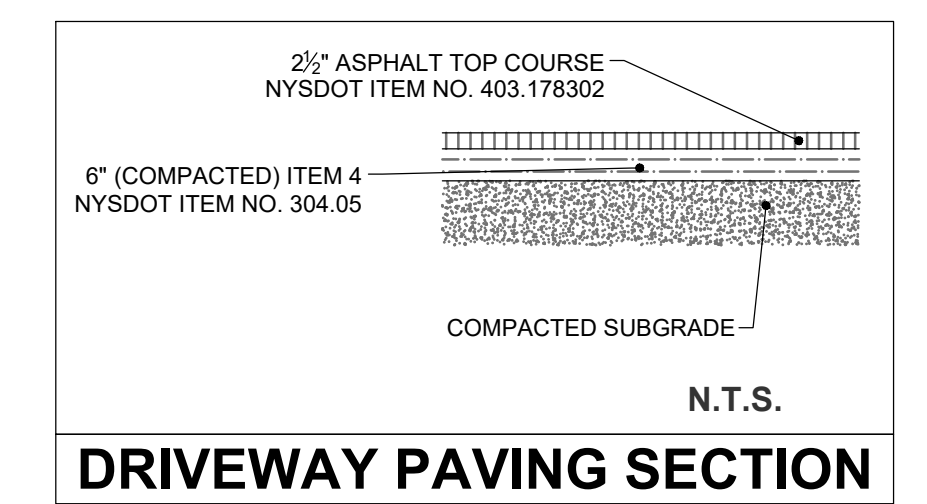
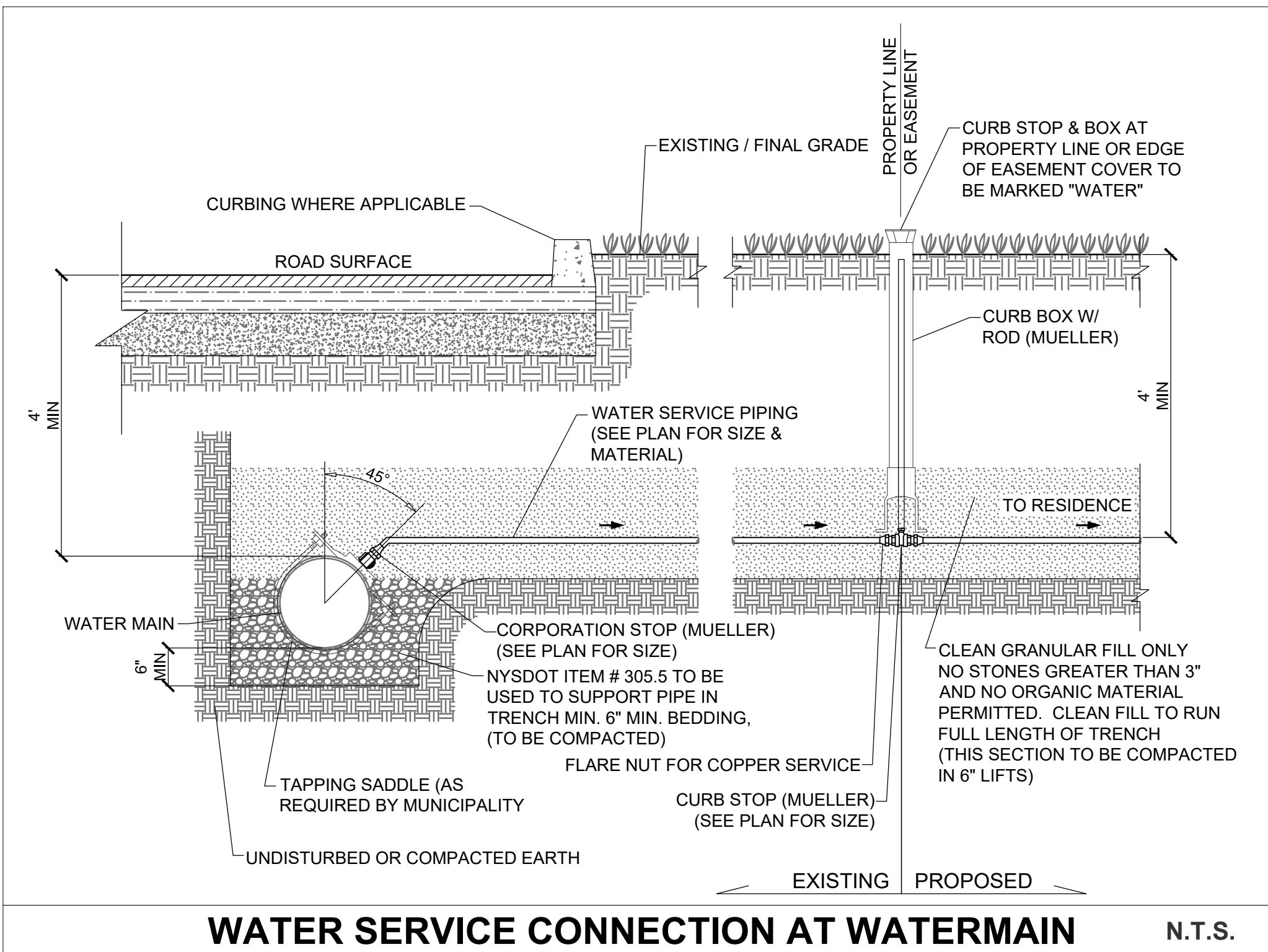
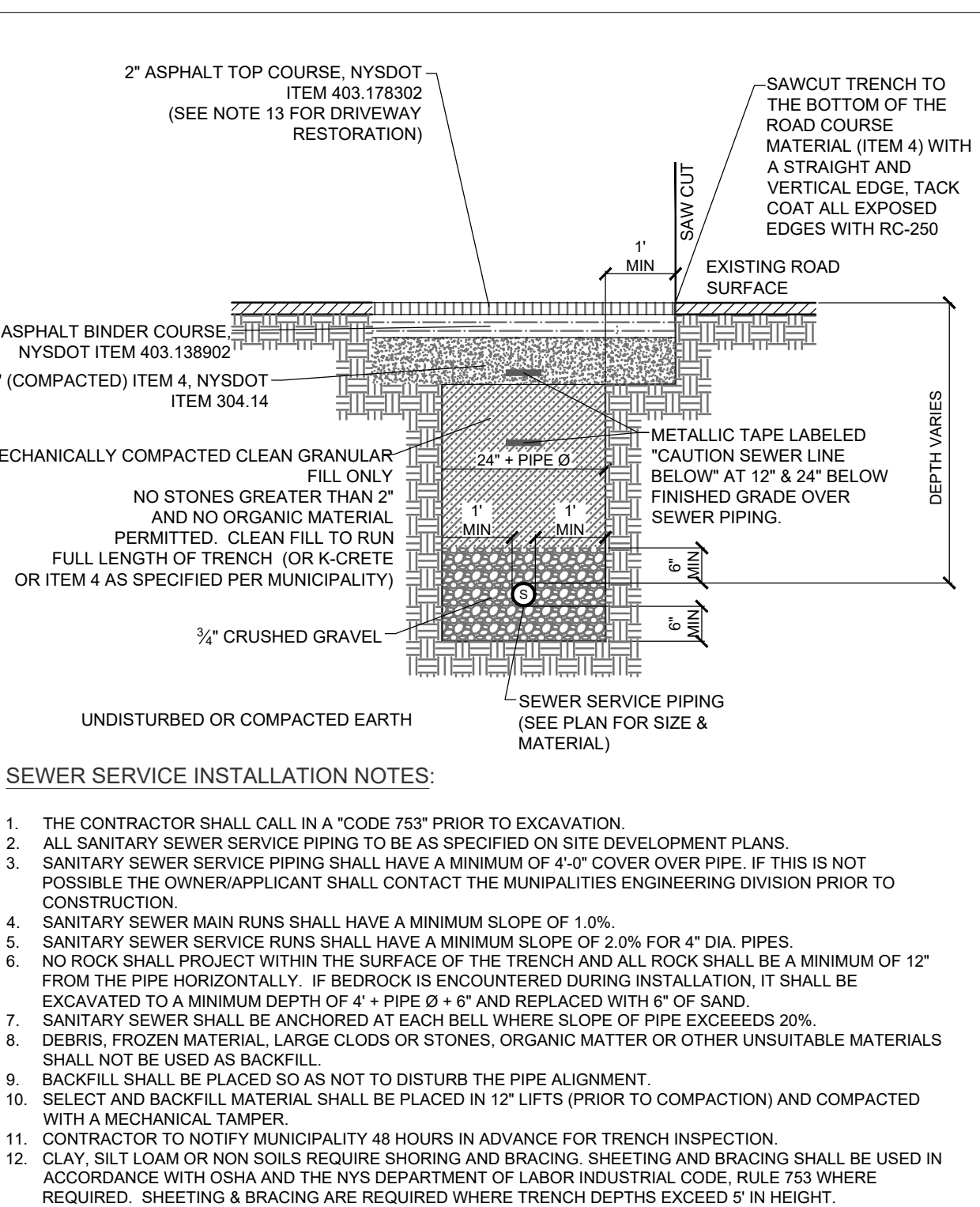
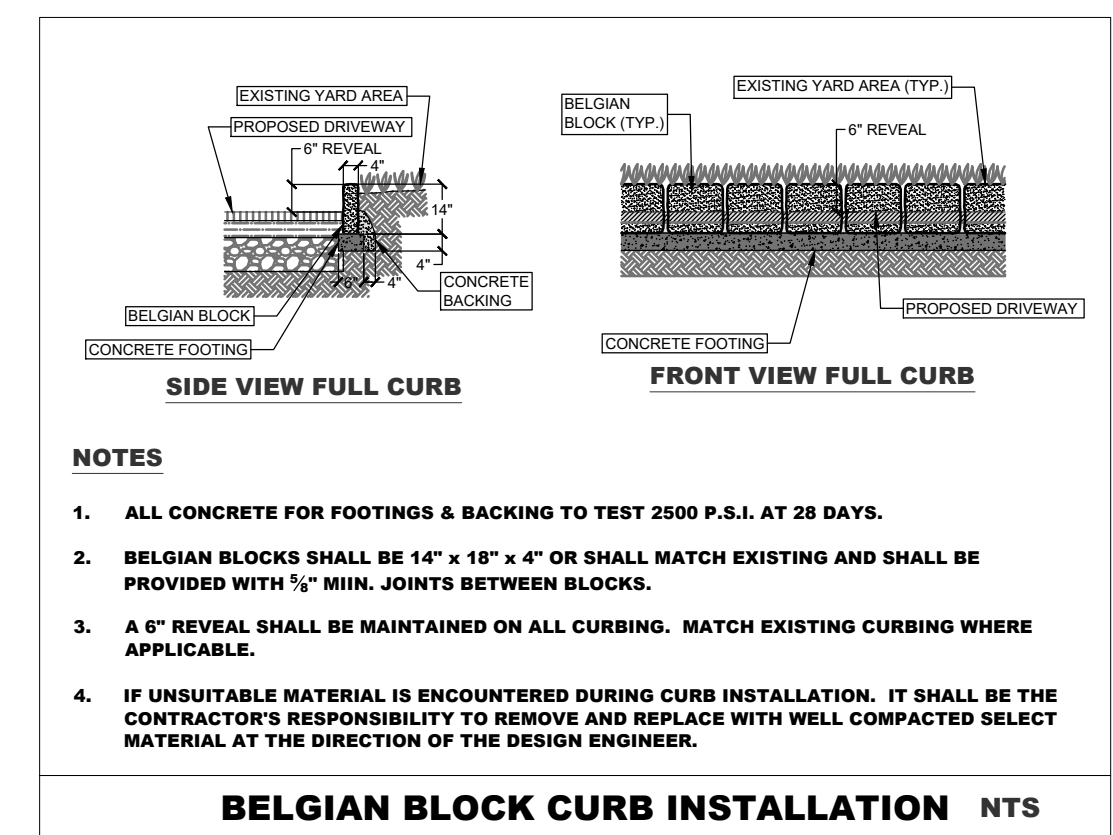
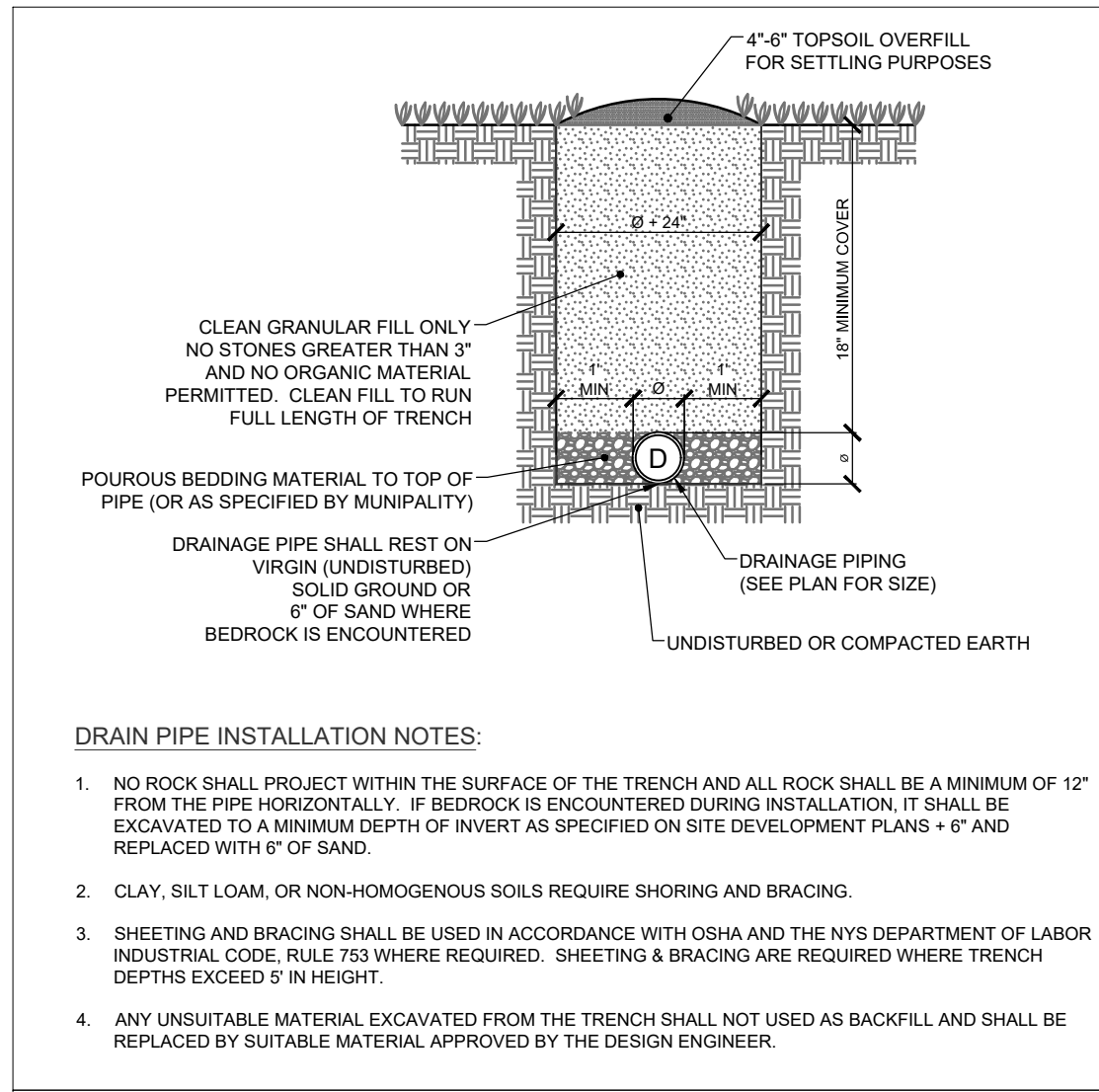
EROSION AND SEDIMENT CONTROL PLAN / CONSTRUCTION DETAILS

SITE DEVELOPMENT PLAN FOR MURPHY / MAGRAM

LOCATION:
118 SCENIC DRIVE WEST
VILLAGE OF CROTON-ON-HUDSON, NEW YORK

SHEET 3 OF 4

SP-2.1



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REVISONS		
3	TREES AND LANDSCAPING	10/27/23
2	REVISED EASEMENTS	1/27/23
1	VILLAGE ENGINEERING COMMENTS	1/24/23
#	REASON	DATE
MUNICIPAL TAX IDENTIFICATION:		
SECTION: 67.10 BLOCK: 2 LOT: 5.2 SUBLOT: -- DRAWN BY: AD CHECKED: PB PROJECT: 118 SCENIC DR DATE: JANUARY 12, 2023 JOB #: 150911		
		
PATRICK M. BELL, P.E. LICENSE # 087679		



CONSTRUCTION DETAILS	
SITE DEVELOPMENT PLAN FOR MURPHY / MAGRAM	
LOCATION: 118 SCENIC DRIVE WEST VILLAGE OF CROTON-ON-HUDSON, NEW YORK	
<i>SHEET 4 OF 4</i>	CD-3.0