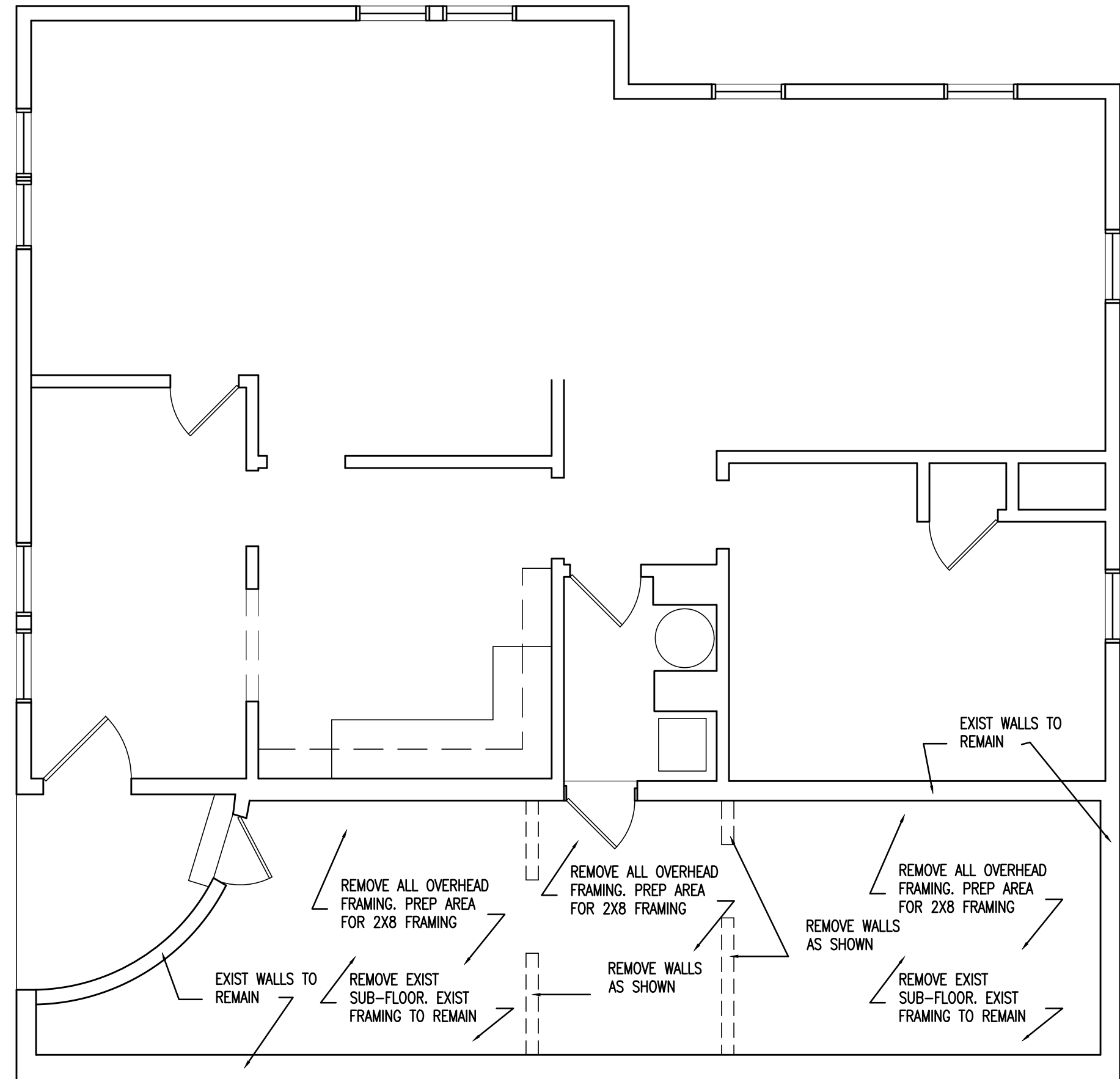
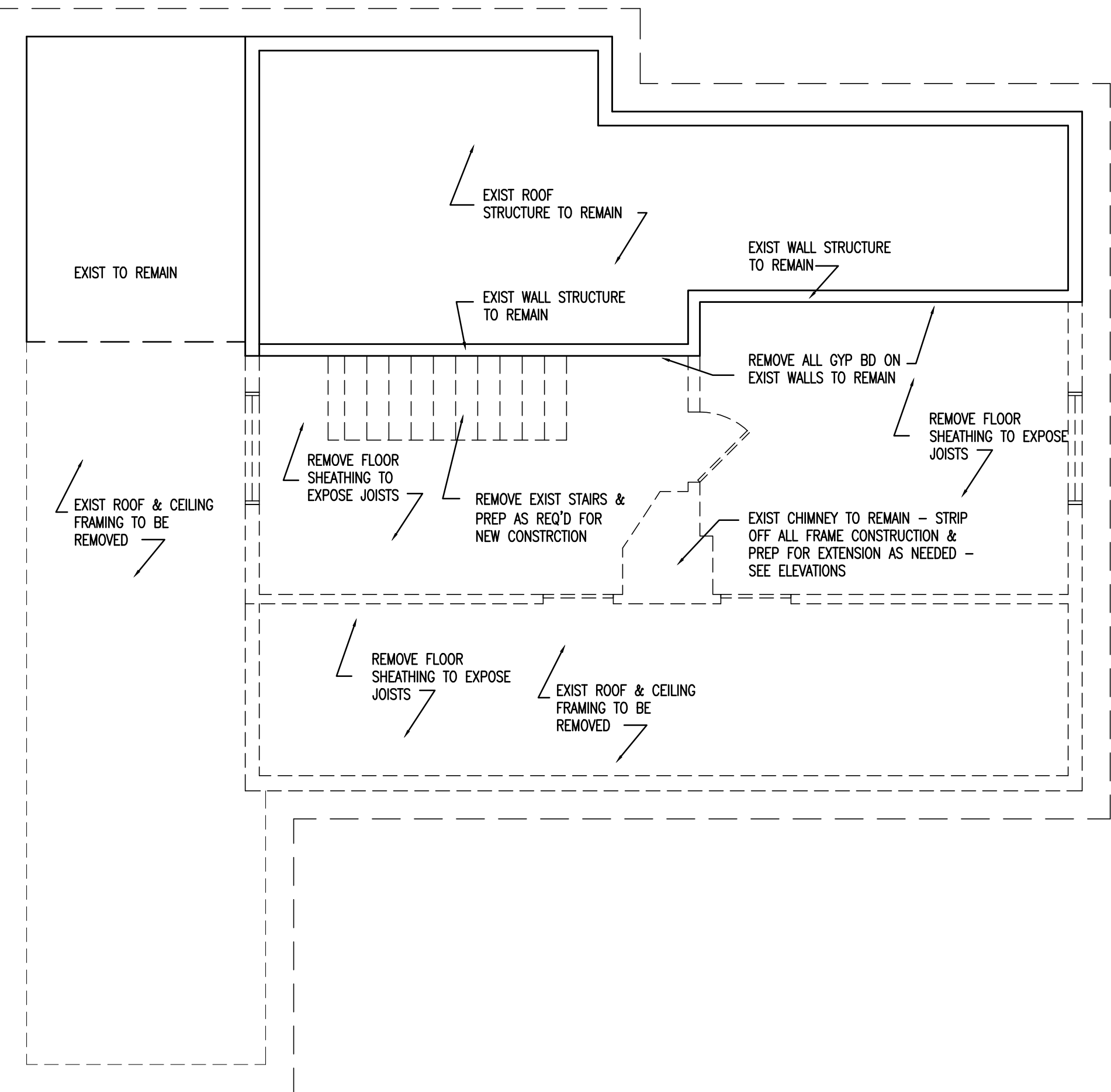
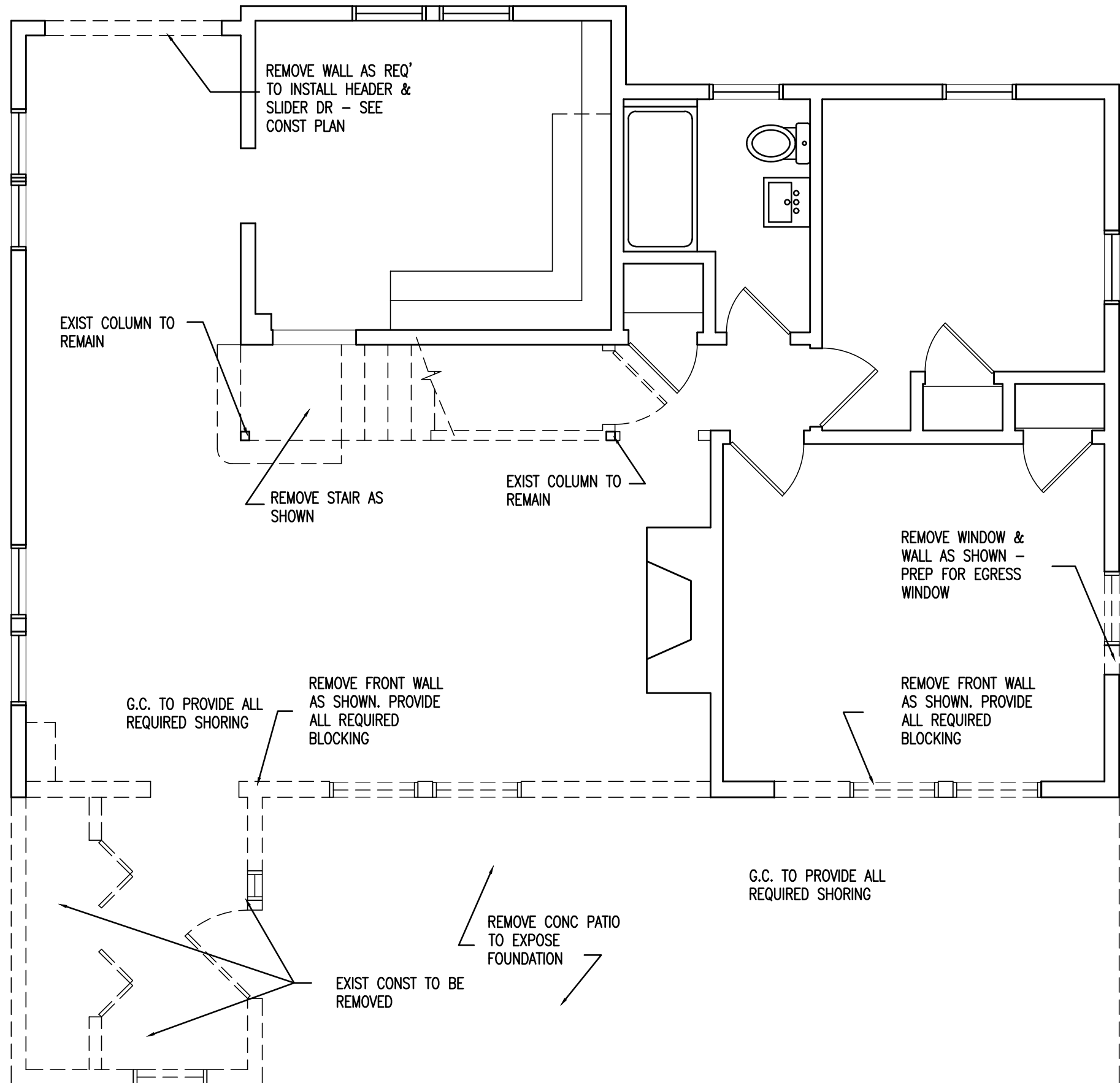




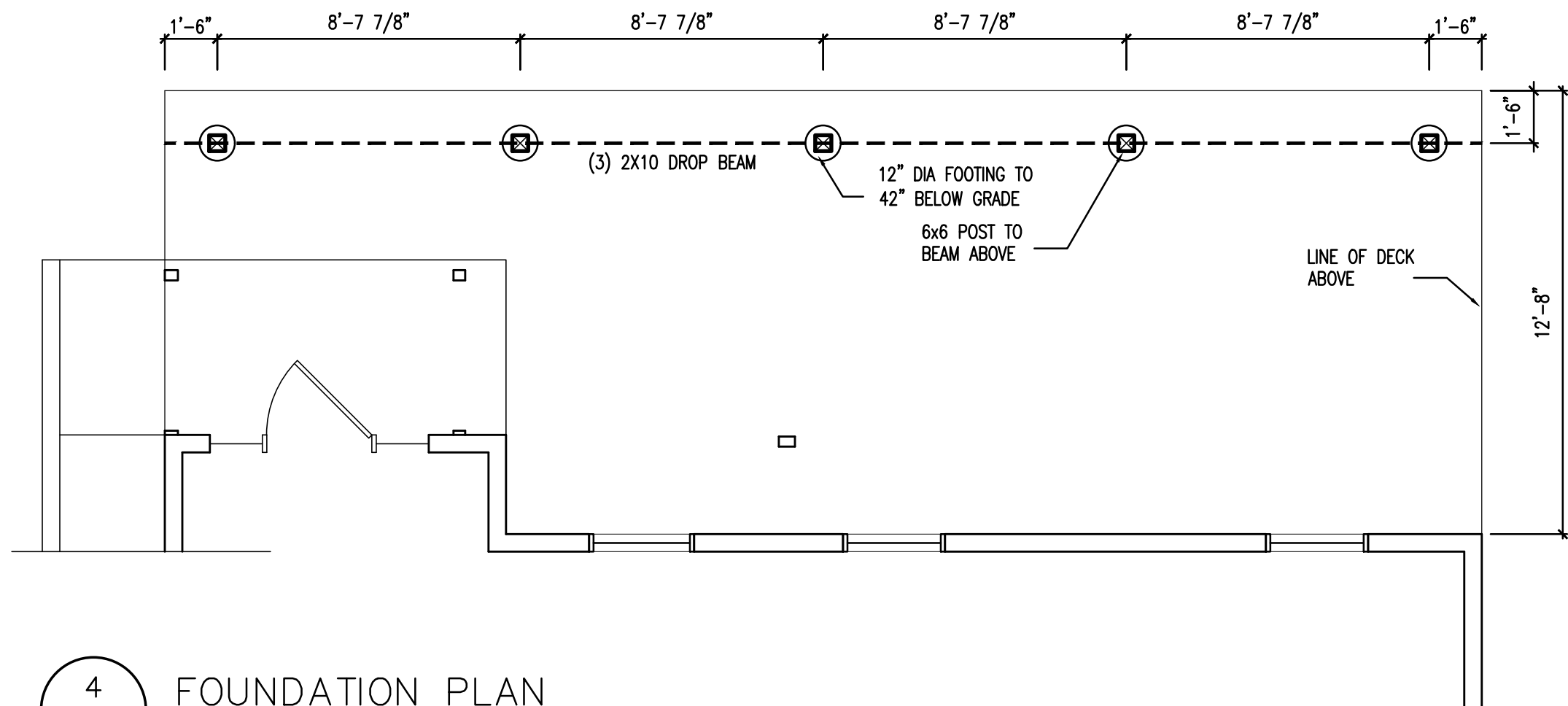
1
A-3
LOWER LEVEL
DEMOLITION PLAN
SCALE: 1/4"=1'-0"



3
A-3
SECOND FLOOR
DEMOLITION PLAN
SCALE: 1/4"=1'-0"



2
A-3
FIRST FLOOR
DEMOLITION PLAN
SCALE: 1/4"=1'-0"



4
A-3
FOUNDATION PLAN
SCALE: 1/4"=1'-0"

DEMOLITION LEGEND

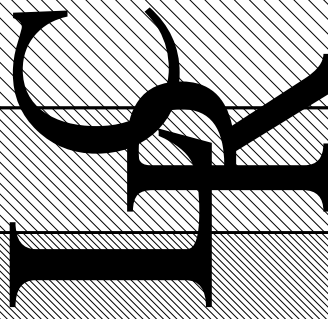
- EXIST. CONSTRUCTION TO REMAIN
EXISTING CONSTRUCTION TO BE REMOVED
EXISTING DOOR, FRAME & HARDWARE TO BE REMOVED

DEMOLITION NOTES

- ALL DEMOLITION AND REMOVAL WORK SHALL BE COMPLETED AS INDICATED AND NOTED ON THE DRAWINGS AND AS SPECIFIED.
- BEFORE STARTING WORK, MAKE A THOROUGH EXAMINATION OF THOSE PORTIONS OF THE STRUCTURE IN WHICH THE WORK IS TO BE PERFORMED. CHECK ALL THE WORK ADJOINING OR AT UNDERLYING LOCATIONS. REPORT TO THE ARCHITECT ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE WORK. DO NOT START THE WORK UNTIL SUCH CONDITIONS HAVE BEEN EXAMINED AND A COURSE OF ACTIONS MUTUALLY AGREED UPON.
- PRIOR TO THE START OF DEMOLITION, THE CONTRACTOR SHALL CALL TO THE ATTENTION OF THE OWNER: ANY DAMAGE, CRACKS OR OTHER IMPERFECTIONS IN THE WORK ADJACENT TO DEMOLITION AREAS.
- KEEP ALL ADJOINING AREAS CLEAN AND FREE OF DEBRIS OR CONSTRUCTION MATERIALS DURING WORKING HOURS, AND PROVIDE SAFE SITE CONDITIONS.
- PATCH, FILL AND REPAIR ALL SURFACES DISTURBED, CUT, DAMAGED, IN NEED OF REPAIR OR MADE IMPERFECT BY ALTERATIONS OR REMOVAL WORK AND AS REQUIRED TO PREPARE SURFACES FOR NEW MATERIALS AND ARRANGEMENTS.
- PRIOR TO THE DEMOLITION OF THOSE ITEMS WHICH HAVE UTILITY CONNECTIONS (WATER, GAS, ELECTRICITY, STEAM, ETC.) THE CONTRACTOR SHALL ARRANGE WITH THE BUILDING OWNER TO LOCATE SHUTOFF VALVES, PANEL BOXES AND OTHER CONTROL ELEMENTS, SO THAT WATER DAMAGE AND OTHER POTENTIALLY INCONVENIENT OR DANGEROUS SITUATIONS ARE VOIDED.
- THE PROJECT SHALL BE GOVERNED IN ANY AND ALL RESPECTS BY THE CURRENT EDITION OF THE THE 2020 NYS RESIDENTIAL CODE
- ALL OPENINGS DUE TO REMOVAL OF EXISTING ELECTRICAL OUTLETS, SWITCHES, ETC., AND MECHANICAL ITEMS SHALL BE PATCHED AND REPAIRED TO MATCH EXISTING FINISHES AND/OR NEW FINISHES.
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL REQUIRED ITEMS FROM THE CEILING AS REQ'D TO COMPLETE THE ENTIRE PROJECT.
- CONTRACTOR SHALL ALSO SCHEDULE AND COORDINATE ALL REQUIRED TOWN INSPECTIONS.
- CONTRACTOR SHALL OBTAIN THE ARCHITECT'S GUIDANCE WITH RESPECT TO INTERPRETATION OR DESIGN INTENT OF DESIGN DOCUMENTS. NO ASSUMPTIONS SHALL BE MADE BY THE CONTRACTOR.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY AND BRING TO THE ATTENTION OF THE ARCHITECT ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS CONTAINED IN OR ARISING AS A RESULT OF IMPLEMENTING THE CONTRACT DOCUMENTS.
- ALL CONTRACTORS SHALL VERIFY ALL DIMENSIONS & CONDITIONS AT THE JOB SITE. ANY SUBSTITUTIONS OR CHANGES SHALL BE APPROVED IN WRITING BY THE ARCHITECT BEFORE COMMENCING WORK.
- THOSE ITEMS AND TASKS NOT NOTED BUT IMPLIED AS NECESSARY FOR COMPLETION OF THE PROJECT SHALL BE CONSIDERED PART OF THE CONTRACT. PROJECT IS COMPLETE HABITABLE SPACE.
- G.C. IS RESPONSIBLE FOR PROVIDING TEMPORARY SUPPORT AND SHORING OF EXISTING CEILINGS, PARTITIONS, ETC. DURING DEMOLITION AND RENOVATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE COLLECTION OF ALL ARCHITECTURAL, STRUCTURAL, AND MECHANICAL DRAWINGS NOT INDICATED AS ISSUED FOR CONSTRUCTION AND FOR DISTRIBUTION TO ALL SUB CONTRACTORS & CONSULTANTS ARCHITECTURAL, STRUCTURAL, AND MECHANICAL DRAWINGS ISSUED FOR CONSTRUCTION, THE MOST CURRENT REVISED SET.
- PROTECT EXIST FLOORS FOR REUSE
- EXIST ROOFING TO BE REMOVED DOWN TO SHEATHING. PREP ROOF FOR NEW ROOF

IT IS A VIOLATION FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION

LEWIS C ROANE
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CROTON-ON-HUDSON, NEW YORK
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LEWISROANEDESIGN@GMAIL.COM



REVISION	DATE	ISSUE
	8/01/2023	ISSUED FOR OWNER REVIEW
	8/09/2023	ISSUED FOR FILING

PROPOSED RENOVATION TO THE:
DEPREZ RESIDENCE
34 MORNINGSIDE DRIVE
CROTON-ON-HUDSON, NY 10520

DRAWING TITLE
CONSTRUCTION PLANS

10/22/2022
DATE AS NOTED

DRAWING NUMBER
A-3