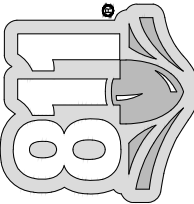


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## PROJECT DATA

### OWNER

Croton Enterprises, LLC  
2055 Albany Post Road  
Croton-on-Hudson, NY 10520

### ARCHITECT

Rosenbaum Design Group  
2001 Marcus Avenue, Lobby East Wing  
Lake Success, NY 11042  
T: (616) 616-6111

### REFERENCES

ALTA/ACSM LAND TITLE SURVEY  
Gallas Surveying Group  
171 Church Lane  
North Brunswick, NJ 08902  
T: (732) 422-6700  
DATED: Rev. 5, 5/7/15

### GOVERNING AGENCIES

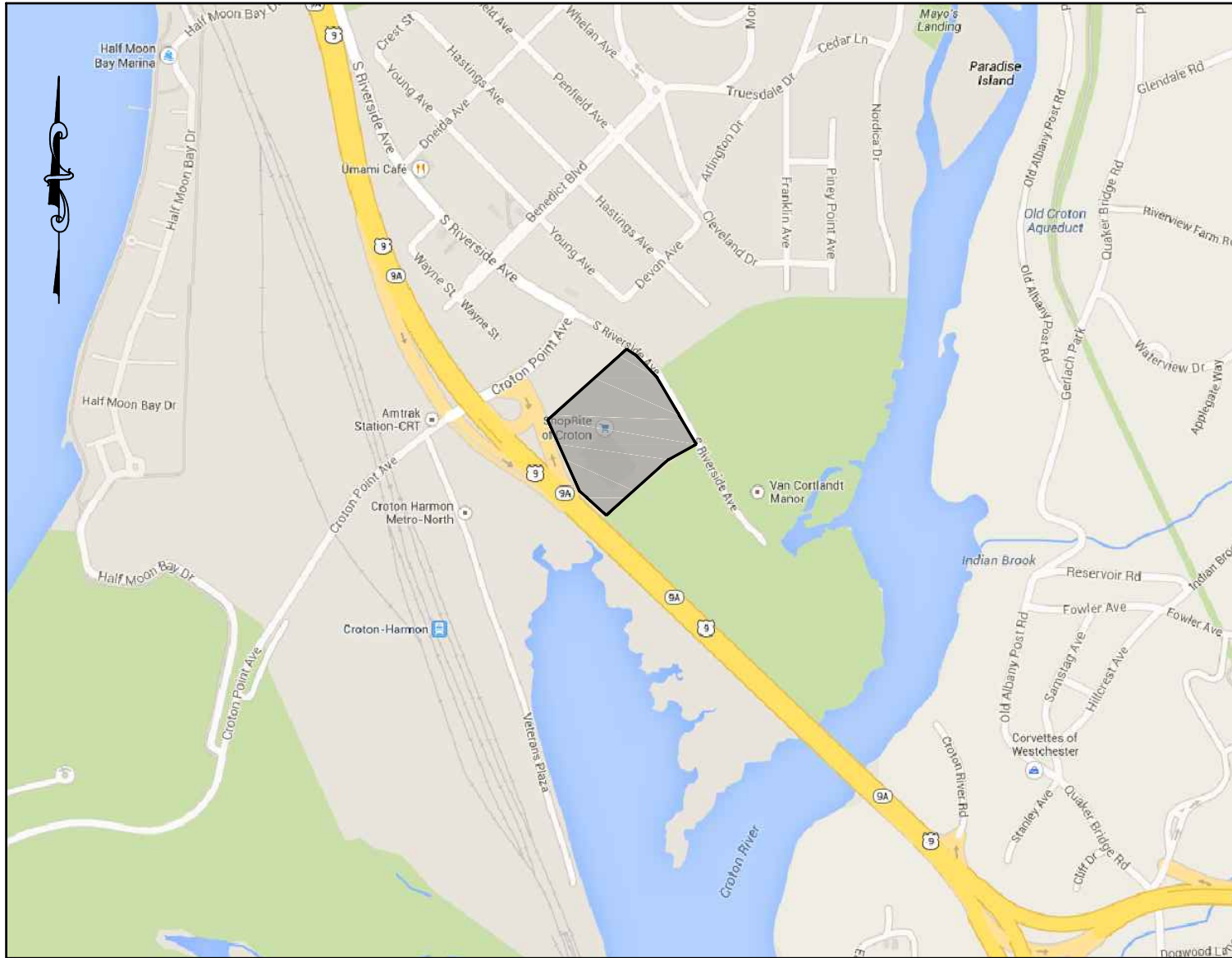
MUNICIPALITY:  
Village of Croton-On-Hudson  
1 Van Wyck Street  
Croton-on-Hudson, NY 10520  
T: (914) 271-4783

### UTILITIES

WATER & SEWERS:  
WESTCHESTER COUNTY WATER & SEWER  
270 North Avenue, 6th Floor  
New Rochelle, NY 10801  
T: (914) 813-5400

ELECTRIC & GAS:  
CON EDISON SOLUTIONS  
100 Summit Drive, Suite 410  
Valhalla, NY 10595  
T: (914) 448-0057

TELEPHONE/CABLE:  
VERIZON  
166 Route 52  
Carmel, NY 10512  
T: (877) 860-6109



## VICINITY MAP

1" = 800'

460 S. Riverside Avenue  
Village of Croton-On-Hudson  
Westchester County, NY 10520  
Tax Map ID: 79.17 - 2 - 2

## SHEET INDEX

|      |                         |
|------|-------------------------|
| C0.0 | Cover Sheet             |
| C1.0 | Site Plan               |
| C2.0 | Removals Plan           |
| C3.0 | Grading & Drainage Plan |
| C4.0 | Utility Plan            |
| C5.0 | Lighting Plan           |
| C6.0 | Landscape Plan          |
| C7.0 | Detail Sheet I          |
| C7.1 | Detail Sheet II         |

1 OF 1 ALTA/ACSM Land Title Survey  
(by Others)

## GENERAL NOTES

1. Prior to all activities, the contractor shall inspect and correlate all documents prepared for the project, the existing current conditions of the site and all applicable jurisdictional requirements. Any clarifications necessary shall be requested in writing to the Engineer of Record prior to construction.
2. All necessary precautions to protect the general public, R.O.W.s, adjacent property, site elements to remain, employees, etc., are the responsibility of the contractor including safety programs, procedures, fencing, traffic control, signing, etc. Should any of the above be damaged, the contractor shall repair/replace them at this own expense. All work shall be performed in accordance with OSHA and all other applicable codes.
3. Utility information shown hereon is a compilation of records, surveys, file documents, etc. available at the time of plan preparation. The contractor shall verify prior to all activities the accuracy and completeness of this information. Furthermore, the contractor shall contact all utilities as well as the local "one call" system to ensure complete mark-out in the field and that all service has been terminated. Should any discrepancies or unclear information appear, the contractor shall contact the Engineer of Record immediately.
4. All unsuitable and/or deleterious materials, excess soil, construction debris, etc. excavated or removed from the site shall be disposed of off site as required and as specified by the applicable jurisdictional agencies and their laws, codes or ordinances.
5. It is the contractor's responsibility to contact and coordinate the removal, relocation or adjustment of utility poles/facilities with the owning company.
6. Maintenance and protection of traffic is the responsibility of the contractor. Any and all measures necessary to ensure safe vehicular and pedestrian traffic during and after construction shall be provided by the contractor, including but not limited to pavement markings, signage, barrels, lights, guidewalls, etc. Such methods and means shall be in accordance with the NYSOT-MUTCD.
7. Methods and materials of construction shall conform to the standards and specifications of the associated jurisdictional agencies and OSHA unless otherwise specified herein.
8. Forty eight (48) hours prior to commencement of any work at the site, the contractor shall notify the Village Engineering Department.
9. All ADA accessible facilities (parking, ramps, sidewalks, travel paths, etc.) shall be in conformance with the NYSUBC, ICC/ANSI A117.1, and all local, state and federal agency requirements.
10. All Professional Certifications, Controlled Inspections and their coordination and scheduling are the responsibility of the owner/contractor.
11. The contractor shall not substitute materials, make revisions or alterations to the plans, or deviate from the contract documents without prior written consent of the Engineer of Record.
12. Due to deviations created by drawing reproduction methods, these documents shall not be scaled for determining unlabeled dimensions.
13. The contractor shall have an appropriately Licensed Professional Geotechnical Engineer on-site to inspect, monitor and verify soil conditions and capacities and that they are adequate to support the proposed site elements depicted hereon. Should deviations or inconsistencies appear, he shall notify the Engineer of Record immediately.
14. The contractor is responsible to ensure that approvals and permits have been procured and are current prior to construction activities. Moreover, he shall ensure that approved/permit documents from the various agencies correlate with each other as necessary for safe and proper construction of the project.
15. HVAC and associated equipment shall be installed on the building roof.
16. Building dimensions are to outside face of wall. Refer to Architectural Design drawings.
17. The Plans do not purport to indicate the suitability of items noted to remain on the subject property or in the fronting Right(s) of Way, inclusive of structural stability, adherence to the latest Building Code(s) or design criteria, etc. The property owner/contractor shall independently verify that existing items to remain are in good repair and are suitable for use prior to construction.

COVER SHEET  
SHEET  
C0.0

SHOPRITE No. 202  
460 S. RIVERSIDE AVENUE  
VILLAGE OF CROTON-ON-HUDSON,  
WESTCHESTER COUNTY, NY 10520  
W.C.T.M. # Section 79.17, Block 2, Lot 2



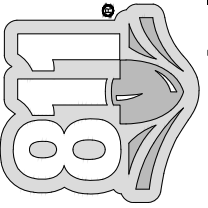
THE LAURO GROUP  
DIVERSIFIED ALLIANCES IN LAND USE  
One Suffolk Square  
T 631.956.3222 F 631.750.8050 Project #: LG13-0349

Daniel Peveraro  
OSP ENGINEERING, PLLC  
New York License No. 088025

| No. | Date     | Revision                            |
|-----|----------|-------------------------------------|
| 1   | 3/6/15   | Rev. Site Plan                      |
| 2   | 10/21/15 | Rev. Building Footprint             |
| 3   | 7/1/15   | Rev. Final Coordination             |
| 4   | 7/1/15   | Planning Board                      |
| 5   | 3/18/16  | Village Site Plan Review Submission |

TOTAL  
PERMITS

Drawn by: LB/TG Drawing #: LG13-0348-CP-4c Date: 7/21/13

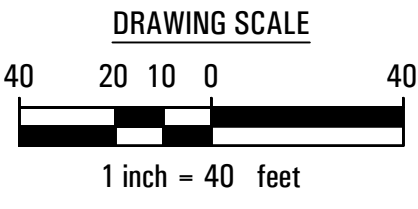
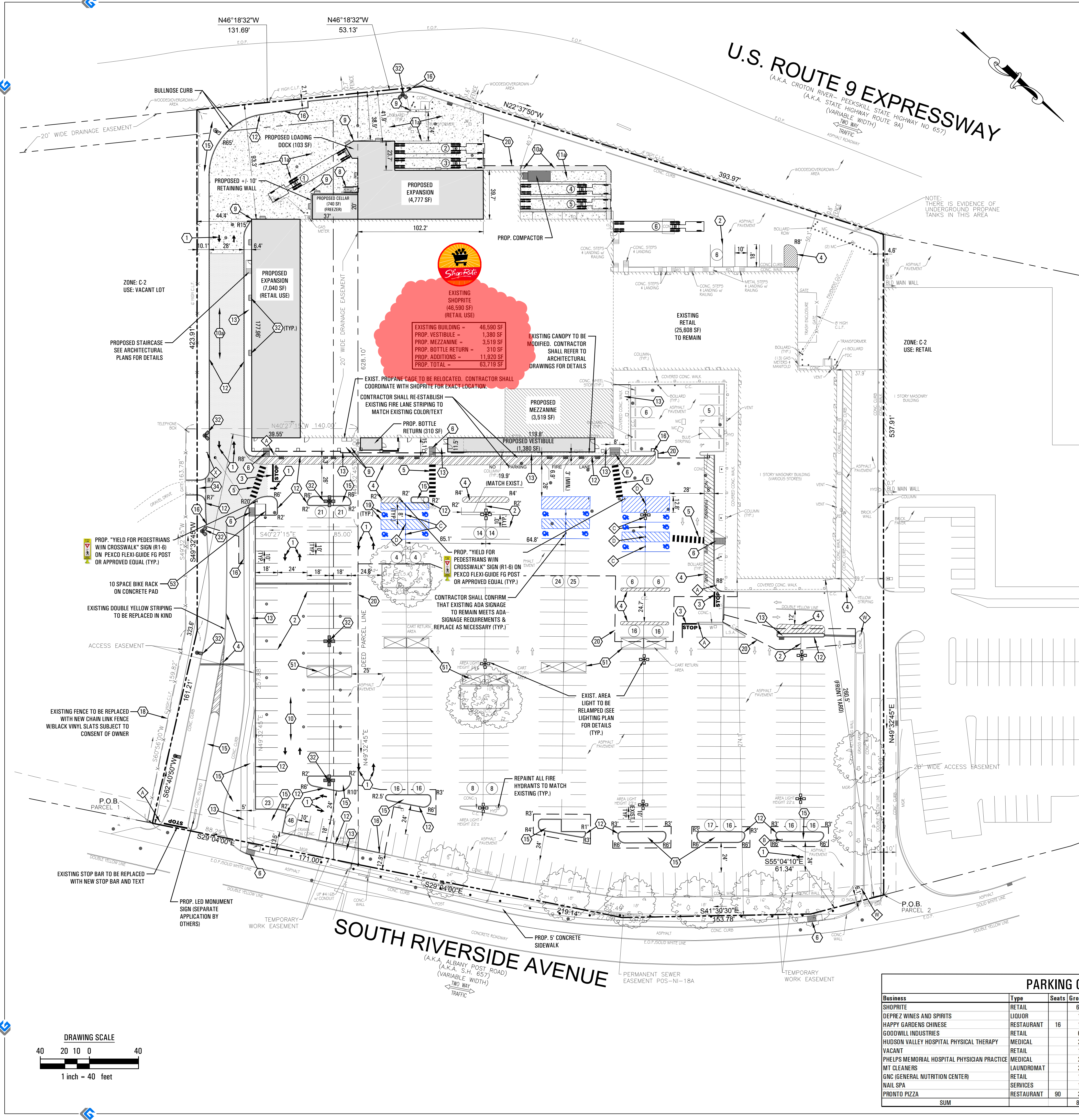


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- ### SITE PLAN NOTES
- The General Notes shall be part of this entire document package and is part of the contract documents. The contractor is to familiarize himself and acknowledges his familiarity with all the General Notes as well as any and all drawing sheet specific notes below.
  - Signs to be filed under separate applications.
  - Lighting fixtures shall be "full cutoff" type and shall be shielded so as not to produce glare or direct illumination across boundary property lines. Lighting in the inventory parking area shall be provided for security purposes and shall be motion-activated.
  - Location of existing and proposed services shown are approximate and must be confirmed independently by the contractor with the utility companies prior to commencement of construction. If discrepancies exist, notify the engineer immediately in writing.
  - Stormwater runoff within property to be collected on-site with no overland runoff onto right-of-way or adjacent properties.
  - Unsuitable material, construction debris, excess soils, etc. shall be properly removed and disposed of off-site in accordance with all applicable codes, ordinances and laws.
  - The contractor is responsible to take erosion control measures necessary in accordance with NY Standards and Specification for Erosion and Sediment Control to prevent sediment and/or loose debris from washing onto adjacent properties.
  - Directional signage to comply with the latest NYS MUTCD standards.
  - All sidewalks, curbs, and pavement damaged by construction activities shall be repaired or replaced, whether specified on this plan or not.
  - All on-site curbing to be concrete curb unless noted otherwise.
  - Relocation and/or removal of existing utility poles, traffic signs, etc., shall be coordinated by the contractor. The contractor is responsible for field-verifying their presence.
  - Excavation shall be properly backfilled with clean materials. The contractor shall refer to geotechnical reports. The contractor shall be responsible for compaction testing and shall submit such reports and results to the engineer of record and owner.
  - Work within the R.O.W. of South Riverside Avenue (NYS RTE 657) shall be performed in accordance with all applicable requirements of New York State Department of Transportation standards.
  - Contractor shall repair existing shoulder and curbing as ordered by NYSDOT engineer.
  - All existing refuse receptacles to be replaced at the discretion of ShopRite operations.

### LEGEND

| EXISTING | ITEM                | PROPOSED |
|----------|---------------------|----------|
| [Symbol] | Building            | [Symbol] |
| [Symbol] | Sawcut Line         | [Symbol] |
| [Symbol] | Property Line       | [Symbol] |
| [Symbol] | Dep. Curb           | [Symbol] |
| [Symbol] | Curb                | [Symbol] |
| [Symbol] | Area Light          | [Symbol] |
| [Symbol] | Utility Pole        | [Symbol] |
| [Symbol] | Guy Wire            | [Symbol] |
| [Symbol] | Overhead Wires      | [Symbol] |
| [Symbol] | Sign                | [Symbol] |
| [Symbol] | Traffic Arrows      | [Symbol] |
| [Symbol] | Manhole Cover       | [Symbol] |
| [Symbol] | Inlet(s)            | [Symbol] |
| [Symbol] | Water Valve         | [Symbol] |
| [Symbol] | Gas Valve           | [Symbol] |
| [Symbol] | Siamese Connection  | [Symbol] |
| [Symbol] | Roof Drain          | [Symbol] |
| [Symbol] | Fire Hydrant        | [Symbol] |
| [Symbol] | Trench Drain        | [Symbol] |
| [Symbol] | Trees(s)            | [Symbol] |
| [Symbol] | Wooded area         | [Symbol] |
| [Symbol] | Bollard             | [Symbol] |
| [Symbol] | Fence               | [Symbol] |
| [Symbol] | Key Note Label      | [Symbol] |
| [Symbol] | Sign Label          | [Symbol] |
| [Symbol] | Parking Count       | [Symbol] |
| [Symbol] | Heavy Duty Asphalt  | [Symbol] |
| [Symbol] | Heavy Duty Concrete | [Symbol] |

### SIGN KEYNOTES

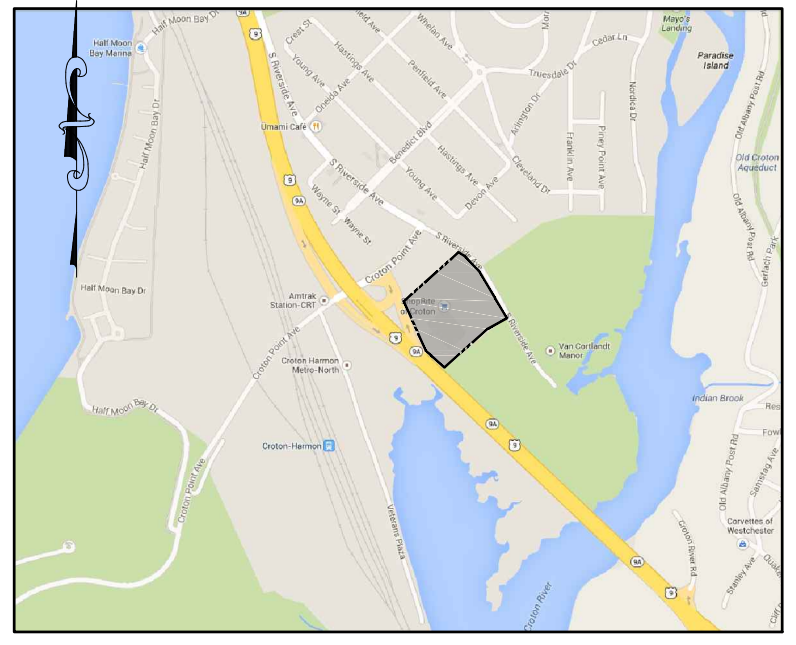
| Item | Note                               |
|------|------------------------------------|
| (A)  | "Stop" Sign (R1-1C)                |
| (B)  | "Do Not Enter" Sign (R5-1C)        |
| (C)  | ADA Accessible Parking Sign (R7-8) |
| (D)  | "No Parking Any Time" Sign (R7-1)  |
| (W)  | No Pedestrian Traffic Sign (R9-3a) |
| (X)  | Truck Delivery Only Sign           |

| C&R Per<br>Liber 7709, Page 741, 6/30/81                         |          |           |
|------------------------------------------------------------------|----------|-----------|
| Required                                                         | Existing | Proposed  |
| Max. 15,525 SF of ShopRite building on area south of "Deed Line" | 8,363 SF | 15,508 SF |

### PARKING CALCULATIONS

| Business                                     | Type       | Seats | Gross Floor | Excluded Areas | Net Area | Parking Required |
|----------------------------------------------|------------|-------|-------------|----------------|----------|------------------|
| SHOPRITE                                     | RETAIL     |       | 63,719      | 920            | 63,719   | 1/ 250 SF 254.88 |
| DEPREZ WINES AND SPIRITS                     | LIQUOR     |       | 1,878       | 0              | 1,878    | 1/ 250 SF 7.51   |
| HAPPY GARDENS CHINESE                        | RESTAURANT | 16    | 1,280       | 0              | 1,280    | 1/ 4 Seats 4.00  |
| GOODWILL INDUSTRIES                          | RETAIL     |       | 6,829       | 0              | 6,829    | 1/ 250 SF 27.32  |
| HUDSON VALLEY HOSPITAL PHYSICAL THERAPY      | MEDICAL    |       | 2,134       | 0              | 2,134    | 1/ 300 SF 7.11   |
| VACANT                                       | RETAIL     |       | 1,509       | 60             | 1,449    | 1/ 250 SF 5.79   |
| PHILIPS MEMORIAL HOSPITAL PHYSICIAN PRACTICE | MEDICAL    |       | 2,758       | 0              | 2,758    | 1/ 300 SF 9.19   |
| MT CLEANERS                                  | LAUNDROMAT |       | 2,988       | 512            | 2,476    | 1/ 250 SF 9.90   |
| GNC (GENERAL NUTRITION CENTER)               | RETAIL     |       | 1,536       | 337            | 1,199    | 1/ 250 SF 4.80   |
| NAIL SPA                                     | SERVICES   |       | 1,280       | 0              | 1,280    | 1/ 250 SF 5.12   |
| PRONTO PIZZA                                 | RESTAURANT | 90    | 3,415       | 0              | 3,415    | 1/ 4 Seats 22.50 |
| SUM                                          |            |       | 89,327      |                |          | 358.13           |



### VICINITY MAP

N.T.S.

### SITE DATA

|                                                    |
|----------------------------------------------------|
| Site Tax Map No.:<br>Section 78.17, Block 2, Lot 2 |
| Site Area:<br>344,047 SF OR 7.89 AC                |
| Zone:<br>C-2 General Commercial                    |
| Use:<br>Supermarket & Mixed Retail                 |

### REFERENCES

|                                                                                                                                            |                                                                                                                                                                                            |
|--------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Survey Prepared by:<br>Collier Surveying Group<br>171 Church Lane<br>North Brunswick, NJ 08902<br>(732) 422-6700<br>Dated: 5/7/15 (Rev. 5) | Proposed Remodel Fixture Plan by:<br>Wahdem Food Corporation<br>Retail Engineering<br>33 Northfield Avenue<br>PO Box 7812<br>Edison, NJ 08818<br>(732) 806-5188<br>Dated: 9/3/15 (Rev. 27) |
|--------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

### BULK REQUIREMENTS

Zone: C-2 General Commercial  
Use: Supermarket  
(Board of Trustees Special Permit Required - \$230 Att. D)

| Item                                        | Required                                | Existing                | Proposed                           |
|---------------------------------------------|-----------------------------------------|-------------------------|------------------------------------|
| Min. Lot Area<br>(§230-35 Att.C)            |                                         | 344,047 SF<br>(7.89 AC) | 344,047 SF<br>(7.89 AC)            |
| Min. Lot Width<br>(§230-35 Att.C)           | 50 FT                                   | 509.4 FT                | 509.4 FT                           |
| Max. Building Height<br>(§230-35 Att.C)     | 35 FT<br>(2 stories)                    | 1 Story                 | 1 Story                            |
| FAR*<br>(§230-35 Att.C)                     | 0.50                                    | 72,198 SF<br>(0.21)     | 89,327 SF<br>(0.26)                |
| Setback from Residential<br>(§230-35 Att.C) | N/A                                     | -                       | -                                  |
| Min. Front Yard Setback<br>(§230-35 Att.C)  | 10 FT                                   | 260.5 FT                | 260.5 FT                           |
| Min. Rear Yard Setback<br>(§230-35 Att.C)   | None req. but<br>10 FT min.<br>provided | 40.7 FT                 | 38.5 FT                            |
| Min. Side Yard Setback<br>(§230-35 Att.C)   | None req. but<br>10 FT min.<br>provided | 37.9 FT                 | 37.9 FT                            |
| Min. Parking Buffer<br>(§230-52 e-2)        | 10 FT min. w/<br>fence or<br>evergreens | 2.1 FT                  | 2.1 FT (EXIST.)<br>12.9 FT (PROP.) |

### PARKING SUMMARY

| Item                                   | Required                                                          | Proposed               |
|----------------------------------------|-------------------------------------------------------------------|------------------------|
| Number of Stalls<br>(§230-51 & 230-35) | See Parking Calculations<br>(This Sheet) - 358 Stalls<br>Required | 370 Stalls<br>Provided |
| Minimum stall size (§230-51-D)         | 10'x18'                                                           | 10'x18'                |

\*Excludes Cellular/Basement areas.

### SITE PLAN KEYNOTES

| Item  | Note                                           |
|-------|------------------------------------------------|
| (1)   | Traffic Flow Arrow (typical)                   |
| (2)   | 4" Painted Stripes (typical)                   |
| (3)   | Stop Bar                                       |
| (4)   | Painted Traffic Markings                       |
| (5)   | Painted Crosswalk                              |
| (6)   | Curb Ramp (typical), 36" Wide min.             |
| (8)   | Railing (See Architectural Plans for details)  |
| (9)   | Bollard                                        |
| (10)  | Asphalt Pavement                               |
| (10a) | Heavy Duty Asphalt Pavement                    |
| (11a) | Heavy Duty Concrete Pavement                   |
| (12)  | Concrete Curb                                  |
| (13)  | Concrete Sidewalk                              |
| (15)  | Landscape Area                                 |
| (16)  | Meet Existing Pavement/walk flush              |
| (18)  | 6" ht. Chain Link Fence with Black Vinyl Slats |
| (19)  | Blue Painted ADA Striping and Symbol           |
| (20)  | Limit of Disturbance                           |
| (32)  | Light Pole / Wall Light                        |
| (34)  | Concrete Apron                                 |
| (51)  | Cart Corral                                    |
| (53)  | Bike Rack                                      |

### VILLAGE CODE NOTES

§230-50 - No off-street loading berth shall be located in a front yard, and in Residence District, no loading berth shall be located less than 50' from any adjacent Residential Lot.

811

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LAURO GROUP

THE LAURO GROUP  
DIVERSIFIED ALLIANCES IN LAND USE

One Suffolk Square 1801 Veterans Memorial Hwy Suite 330 Hauppauge, NY 11749  
T 631.656.3222 F 631.750.8050 Project #: LG130349

SHOPRITE No. 202

480 S. RIVERSIDE AVENUE  
VILLAGE OF CROTON-ON-HUDSON,  
WESTCHESTER COUNTY, NY 10520  
W.C.T.M. # Section 78.17, Block 2, Lot 2

SITE PLAN  
SHEET

C1.0

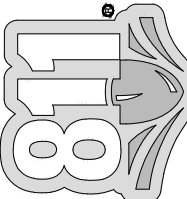
TOTAL PERMITS

TP

Revision

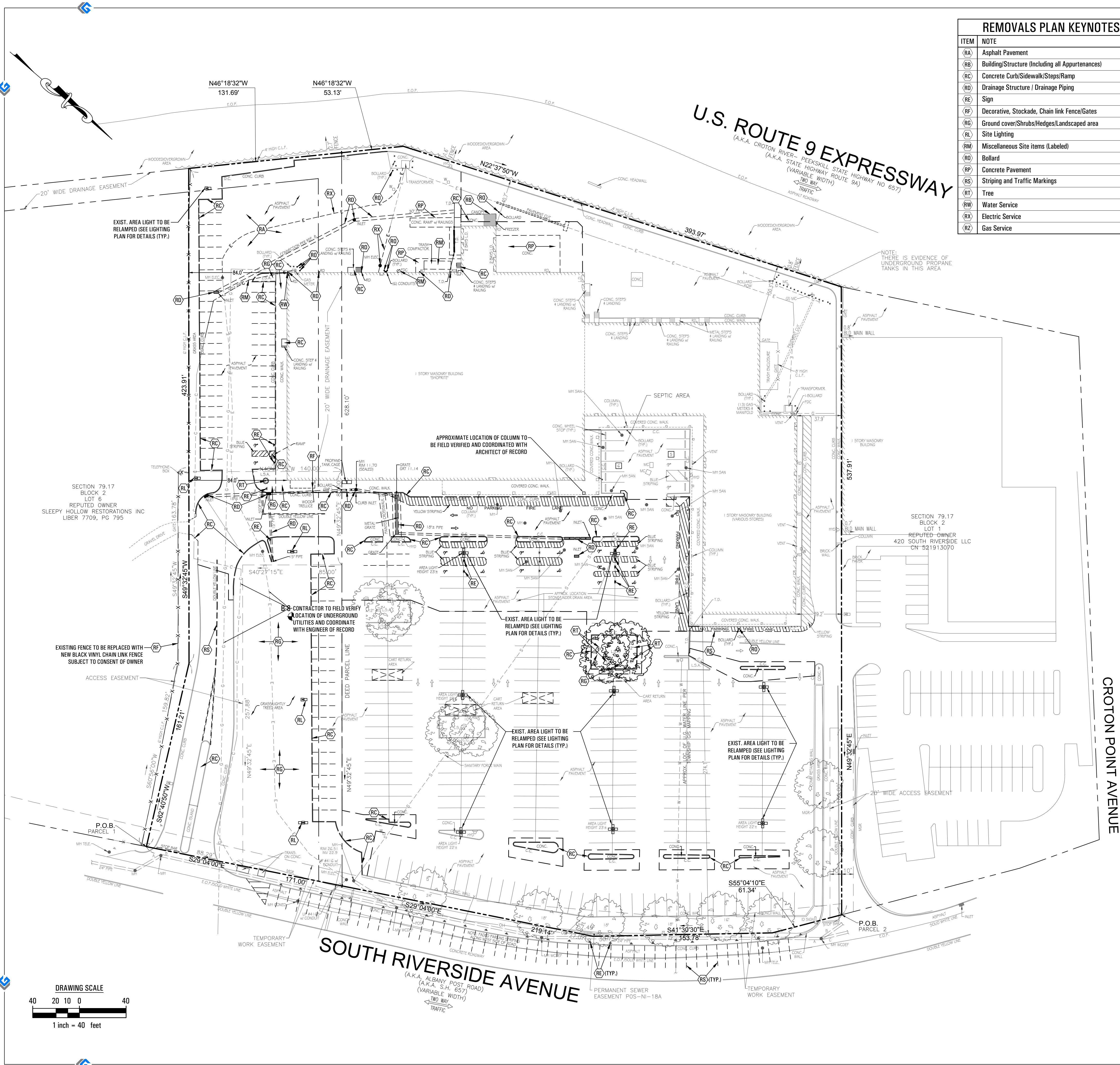
| No. | Date     | Rev. | Site Plan | Rev. | Building Footprint | Rev. | Final Coordination | Rev. | Planning Board | Rev. | Village Site Plan Review Submission |
|-----|----------|------|-----------|------|--------------------|------|--------------------|------|----------------|------|-------------------------------------|
| 1   | 3/6/15   |      |           |      |                    |      |                    |      |                |      |                                     |
| 2   | 10/12/15 |      |           |      |                    |      |                    |      |                |      |                                     |
| 3   | 7/16/15  |      |           |      |                    |      |                    |      |                |      |                                     |
| 4   | 7/16/15  |      |           |      |                    |      |                    |      |                |      |                                     |
| 5   | 3/18/16  |      |           |      |                    |      |                    |      |                |      |                                     |

Drawn by: LB/TG Drawing # LG130349-CP-4E Date: 7/21/13



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| REMOVALS PLAN KEYNOTES |                                                  |
|------------------------|--------------------------------------------------|
| ITEM                   | NOTE                                             |
| (RA)                   | Asphalt Pavement                                 |
| (RB)                   | Building/Structure (Including all Appurtenances) |
| (RC)                   | Concrete Curb/Sidewalk/Steps/Ramp                |
| (RD)                   | Drainage Structure / Drainage Piping             |
| (RE)                   | Sign                                             |
| (RF)                   | Decorative, Stockade, Chain Link Fence/Gates     |
| (RG)                   | Ground cover/Shrubs/Hedges/Landscaped area       |
| (RL)                   | Site Lighting                                    |
| (RM)                   | Miscellaneous Site items (Labeled)               |
| (RO)                   | Bollard                                          |
| (RP)                   | Concrete Pavement                                |
| (RS)                   | Striping and Traffic Markings                    |
| (RT)                   | Tree                                             |
| (RW)                   | Water Service                                    |
| (RX)                   | Electric Service                                 |
| (RZ)                   | Gas Service                                      |

## REMOVALS NOTES

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- Refer to site plan for additional information concerning current and proposed improvements, etc.
- The contractor shall sawcut existing pavement along the designated line with a straight vertical edge free from irregularities, wherever new pavement joins existing pavement.
- The contractor shall ensure any existing asbestos containing materials are removed from subject premises prior to removal activities and shall perform all agency notifications as required.
- Excavation shall be properly backfilled with clean, suitable material. The contractor shall refer to the geotechnical report or consult with the geotechnical engineer for inspection and certification.
- Removal includes, but is not limited to, all floor slabs, foundation walls, curbing, pavement, footings and underground piping, existing foundations shall be removed from the site. Questionable items encountered (above and/or below grade) shall be brought to the attention of the owner and engineer of record immediately in writing before removal or disturbance.
- The contractor shall exercise extreme care when performing any work activities adjacent to structures to remain. Contractor shall be responsible for taking the appropriate measures as necessary to ensure the structural stability of exposed and/or below grade foundations/ walls/ sidewalks and pavement to remain, and shall provide a safe work area. Any damage or disturbance due to subject worksite shall be repaired to like-kind conditions at the contractor's expense.
- The contractor shall take appropriate measures to protect pedestrians and vehicular traffic during removal activities. Any traffic control, access, safety provisions within the R.O.W. (e.g. ADA ramps, pedestrian crosswalks, sidewalks, pavement striping, etc.) shall be the contractor's responsibility. The contractor shall determine appropriateness of removal activities and provide temporary measures for the protection and safety of the public until permanent components/replacements can be installed.
- The contractor shall take appropriate measures to ensure the safety of its employees, the general public, structures to remain, adjacent properties, public R.O.W.s, etc. during all construction and removal activities in accordance with Federal, State, County and local codes and regulations. The owner and engineer assume no responsibilities for the contractor's safety programs & procedures in connection with the work.
- The contractor shall install a temporary protective fence in accordance with federal, state, county and local codes and regulations at locations where hazardous conditions exist as a result of removal activities.
- The contractor shall be responsible for verifying the exact location, size, type, and depth of utilities, piping, drywells, etc. prior to the start of any work. The contractor must contact the appropriate local "One Call" system to ensure that all utilities are properly and completely marked out in the field prior to any work at the site. Any discrepancies between the field locations and the plans shall be reported to the engineer in writing immediately. The contractor is advised that utility information shown on the plan is a compilation of field locations, aboveground structures that were visible and accessible in the field, and record drawings available at the time of the survey and must be confirmed accordingly. The contractor shall coordinate utility disconnection with the applicable utility companies prior to removal activities. The contractor is also advised that all such facilities disturbed during construction must be repaired or replaced at the contractor's expense.
- The contractor shall completely fill below grade areas and voids resulting from the removal of structures and foundations with soil consisting of materials free from debris, trash, frozen materials, roots and other organic matter. Stones used shall not be larger than 6 inches in dimension. Prior to placement of fill materials, undertake all necessary actions in order to ensure that areas to be filled are free of standing water, frost, frozen material, trash and debris. Place fill materials in horizontal layers not exceeding 6 inches in loose depth and compact each layer at placement to 95% optimum density. Grade the surface to meet adjacent contours and to provide surface drainage.
- Underground storage tanks shall be emptied, cleaned and removed from the site in accordance with Federal, State, County and local requirements prior to removal of existing building.

## EROSION AND SEDIMENT CONTROL NOTES

- It is the Owners / Contractors responsibility to provide erosion and sediment control measures during and after the construction of this project. Best Management Practices must be implemented in accordance with the standards and specifications of the New York State Department of Environmental Conservation (NYSDEC) per its most recent publications.
- The suggested measures shown herein are the minimum and may be modified and/or supplemented by the Contractor with expressed permission from the Owner and Engineer of Record, provided they meet the appropriate requirements, standards and specifications of the NYSDEC, local municipality and all other jurisdictional agencies. Under all circumstances, they must prevent the incidental discharge of silt-laden runoff from leaving the site.
- All necessary inspections of the installed measures and evolving site conditions are the responsibility of the Owner / Contractor to ensure compliance and that their effectiveness has not been compromised as the result of a climatic event or the passage of time. Should any of these measures be damaged or functioning below capacity, they must be re-established to 100% of their effectiveness.
- All methods, procedures and materials for erosion and sediment control shall be installed with full knowledge, coordination and compliance with all aspects of this plan and its' associated documents, including but not limited to the drawings, notes, specifications and oral instructions of the Owner, Engineer of Record and other involved Professionals.
- Once all the proposed improvements have been completed and accepted by all involved parties, the temporary erosion and sediment control shall be removed by the Contractor.
- This and all associated documents have been prepared with information available at the time and are only valid through the last date indicated thereon. Since the site is subject to change resulting from climatic events and other undefined sources, the contractor is responsible to verify the conditions immediately prior to the commencement of work through field observation and other appropriate means. If conditions prevail that prevent or impede the implementation of the proposed measures, he must immediately notify the Owner and Engineer of Record to be reconciled prior to the commencement of work.

| LEGEND   |                         |         |
|----------|-------------------------|---------|
| EXISTING | ITEM                    | REMOVAL |
|          | Building                |         |
|          | Sawcut Line             |         |
|          | Property Line           |         |
|          | Hydrant                 |         |
|          | Dep. Curb               |         |
|          | Curb                    |         |
|          | Area Light              |         |
|          | Utility Pole/Light Pole |         |
|          | Guy Wire                |         |
|          | Sign                    |         |
|          | Traffic Arrows          |         |
|          | Overhead Wires          |         |
|          | Manhole Cover           |         |
|          | Inlet(s)                |         |
|          | Water Valve             |         |
|          | Gas Valve               |         |
|          | Tree(s)                 |         |
|          | Fence                   |         |
|          | Bollard                 |         |
|          | Shrub(s)                |         |
|          | Key Note Label          |         |
|          | Approx. Loc. U/G Water  |         |
|          | Approx. Loc. U/G Gas    |         |
|          | Approx. Loc. U/G Elect. |         |
|          | Approx. Loc. U/G Cable  |         |

TOTAL PERMITS

| No. | Date     | Revision                  |
|-----|----------|---------------------------|
| 1   | 3/6/15   | Rev. Site Plan            |
| 2   | 10/12/15 | Rev. Building Footprint   |
| 3   | 7/1/16   | Rev. Final Coordination   |
| 4   | 2/1/16   | Rev. Final Planning Board |
| 5   | 3/18/16  | Rev. Final Planning Board |

Drawn by: LB/TG Drawing # LG130348-CP-4E Date: 7/21/13

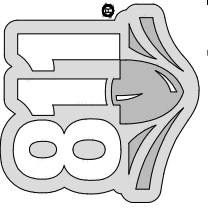
Daniel Peveraro  
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THE LAURO GROUP  
DIVERSIFIED ALLIANCES IN LAND USE  
One Suffolk Square 1601 Veterans Memorial Hwy Suite 330 Haverhill, MA 01830  
T 631.656.3222 F 631.750.8050 Project #: LG130349



SHOPRITE No. 202  
480 S. RIVERSIDE AVENUE  
VILLAGE OF CROTON-ON-HUDSON,  
WESTCHESTER COUNTY, NY 10520  
W.C.T.M.# Section 79.17, Block 2, Lot 2

REMOVALS PLAN  
SHEET  
C2.0

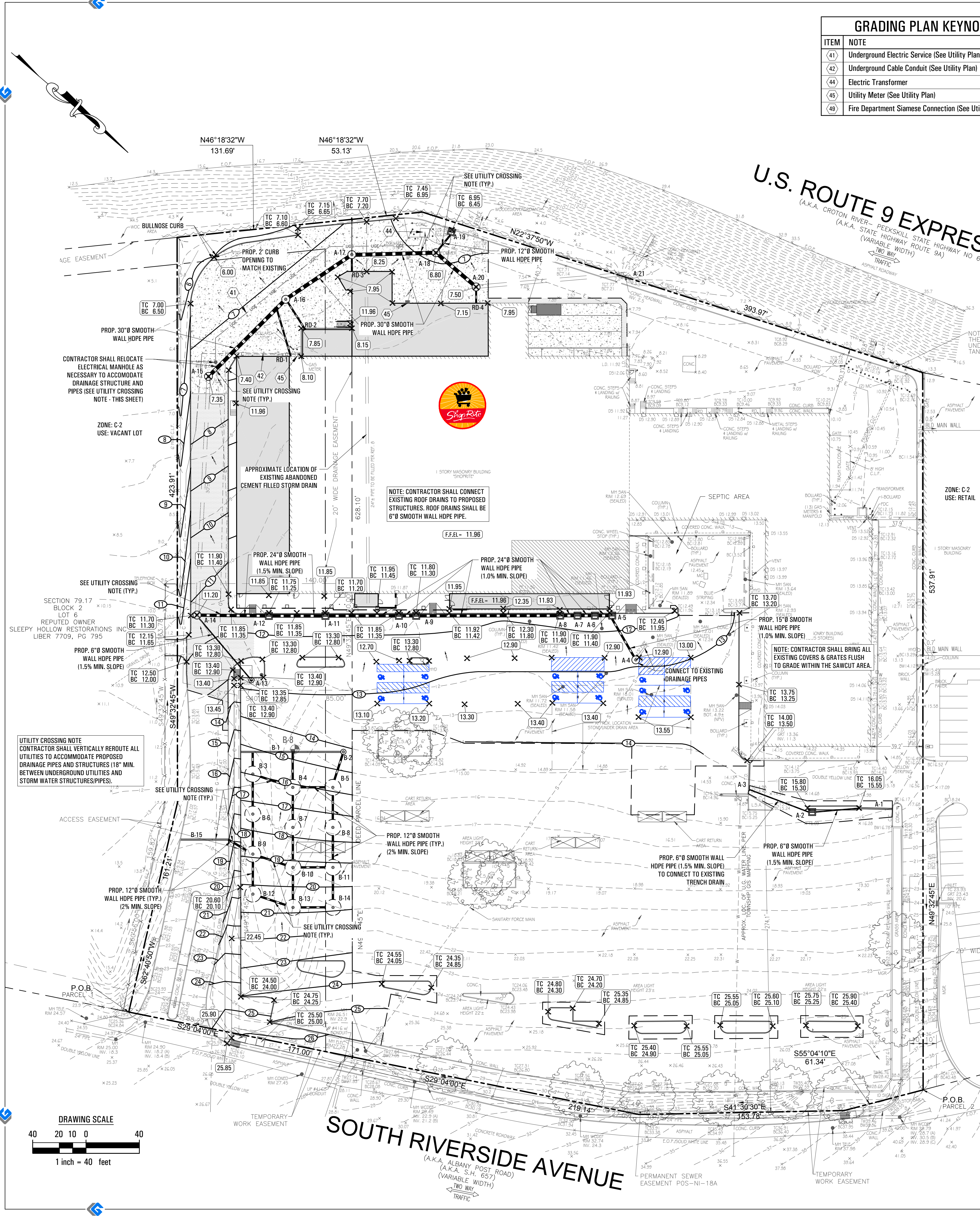


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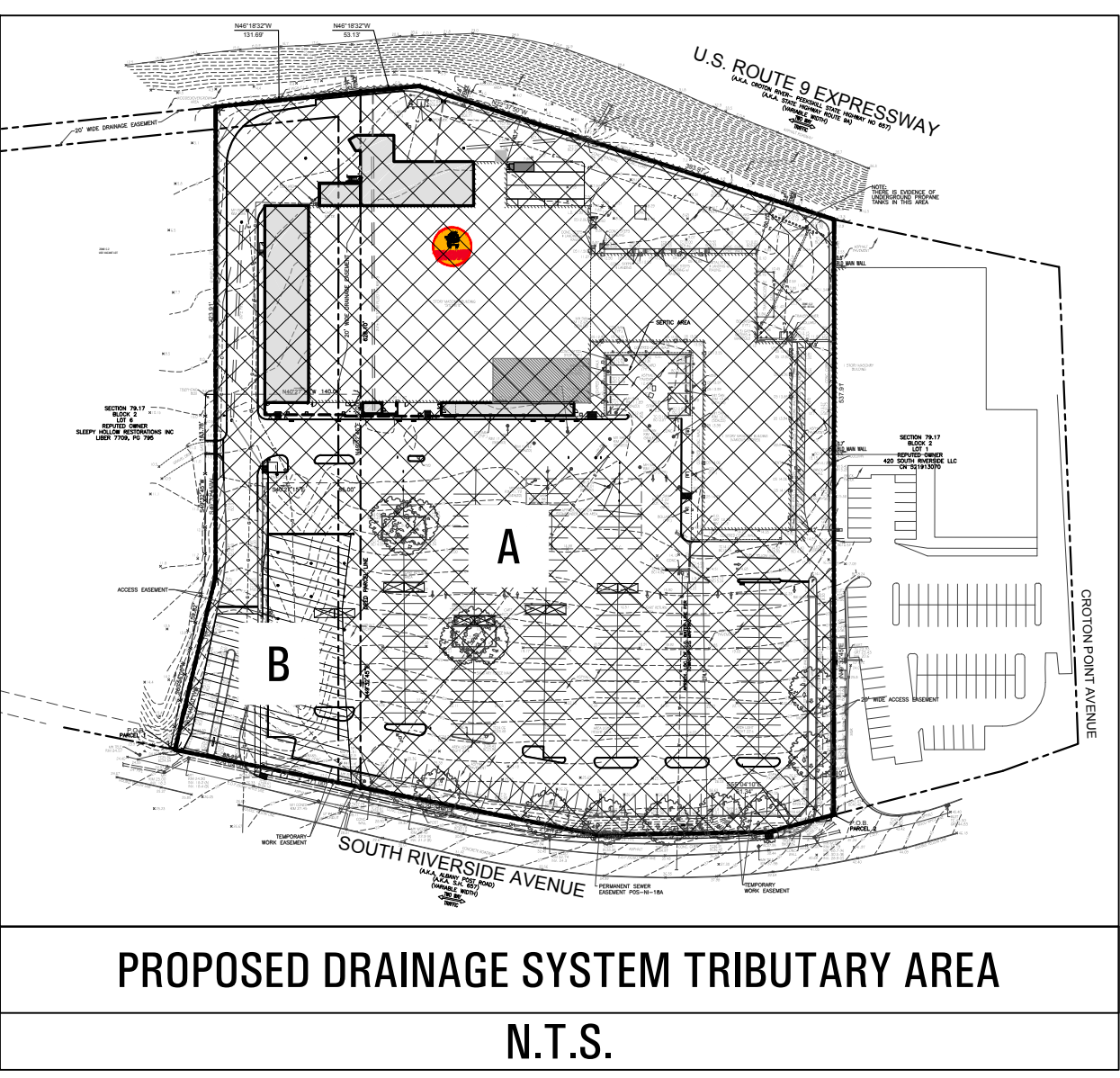
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| GRADING PLAN KEYNOTES |                                                       |
|-----------------------|-------------------------------------------------------|
| ITEM                  | NOTE                                                  |
| 41                    | Underground Electric Service (See Utility Plan)       |
| 42                    | Underground Cable Conduit (See Utility Plan)          |
| 44                    | Electric Transformer                                  |
| 45                    | Utility Meter (See Utility Plan)                      |
| 48                    | Fire Department Siamese Connection (See Utility Plan) |



### FLOW RATE CALCULATIONS

Total Flow (Q) = cA  
Property Area = 7.90 Ac  
i = Rainfall Intensity = 8.54"  
c = 0.95 (Impervious)  
c = 0.30 (Landscaped)

Existing Conditions  
Impervious = 6.970 Ac  
Landscaped = 0.930 Ac  
Q = (0.95 x 8.54 x 6.970) + (0.30 x 8.54 x 0.930) = 58.93 cfs (Outfall)

Proposed Conditions  
Trib Area "A" (Outfall)  
Impervious = 6.895 Ac  
Landscaped = 0.461 Ac  
Q = (0.95 x 8.54 x 6.895) + (0.30 x 8.54 x 0.461) = 57.09 cfs (Outfall)

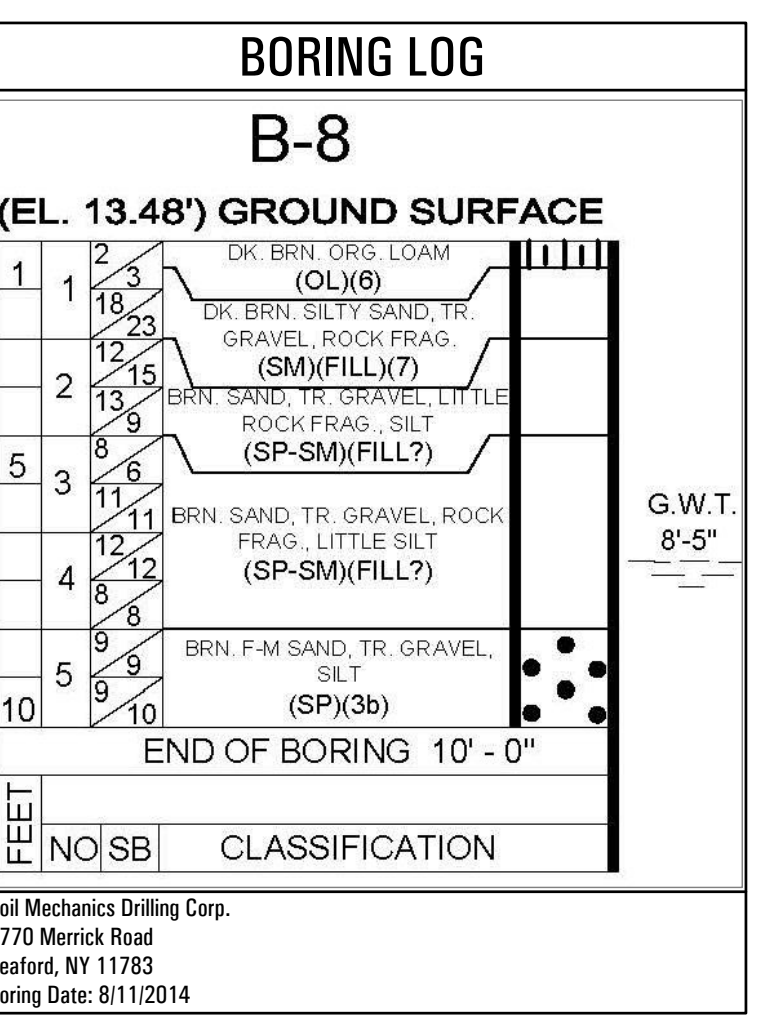
Trib Area "B" (Leaching)  
Impervious = 0.477 Ac  
Landscaped = 0.076 Ac  
Q = (0.95 x 8.54 x 0.477) + (0.30 x 8.54 x 0.076) = 4.06 cfs (Leaching)

| DRAINAGE STRUCTURE SCHEDULE |                                            |                   |                |                |
|-----------------------------|--------------------------------------------|-------------------|----------------|----------------|
| STRUCTURE NAME              | STRUCTURE TYPE                             | CASTING ELEVATION | INVERT IN      | INVERT OUT     |
| A-1                         | 25 LF SLOTTED DRAIN                        | GR 16.00 / 15.55  | ---            | 12.75          |
| A-2                         | 4"x4" CATCH BASIN W/CURB INLET             | BC 15.30          | 12.25          | 12.25          |
| A-3                         | EXISTING 20 LF TRENCH DRAIN                | GR 14.50 / 13.36  | MATCH EXISTING | 11.30*         |
| A-4                         | 6"Ø CATCH BASIN W/MANHOLE COVER            | GR 12.90          | MATCH EXISTING | 9.50           |
| A-5                         | 4"x4" CATCH BASIN W/CURB INLET (ADA GRATE) | BC 11.40          | 7.35           | 7.35           |
| A-6                         | 4"x4" CATCH BASIN W/CURB INLET (ADA GRATE) | BC 11.40          | 7.25           | 7.25           |
| A-7                         | 4"x4" CATCH BASIN W/CURB INLET (ADA GRATE) | BC 11.40          | 7.15           | 7.15           |
| A-8                         | 4"x4" CATCH BASIN W/CURB INLET (ADA GRATE) | BC 11.40          | 7.05           | 7.05           |
| A-9                         | 4"x4" CATCH BASIN W/CURB INLET (ADA GRATE) | BC 11.30          | 6.05           | 6.05           |
| A-10                        | 4"x4" CATCH BASIN W/CURB INLET (ADA GRATE) | BC 11.35          | 5.95           | 5.95           |
| A-11                        | 4"x4" CATCH BASIN W/CURB INLET (ADA GRATE) | BC 11.20          | 5.45           | 5.45           |
| A-12                        | 4"x4" CATCH BASIN W/CURB INLET (ADA GRATE) | BC 11.30          | 4.85           | 4.85           |
| A-13                        | 4"Ø CATCH BASIN W/FRAME & GRATE            | BC 12.80          | ---            | 8.75           |
| A-14                        | 6"Ø CATCH BASIN W/FRAME & GRATE            | GR 11.20          | 4.10           | 4.10*          |
| A-15                        | 6"Ø CATCH BASIN W/MANHOLE COVER            | GR 7.35           | 3.60*          | 3.50           |
| A-16                        | 6"Ø CATCH BASIN W/MANHOLE COVER            | GR 7.25           | 3.25           | 3.25           |
| A-17                        | 6"Ø CATCH BASIN W/MANHOLE COVER            | GR 7.80           | 3.10           | 3.10           |
| A-18                        | 6"Ø CATCH BASIN W/MANHOLE COVER            | GR 6.80           | 2.95           | 2.95           |
| A-19                        | 4"x4" CATCH BASIN W/CURB INLET             | BC 6.45           | ---            | 3.25           |
| A-20                        | 6"Ø CATCH BASIN W/MANHOLE COVER            | GR 7.50           | 2.85           | MATCH EXISTING |
| A-21                        | EXISTING HEADWALL                          | HW ---            | 2.50*          | ---            |
| RD-1                        | ROOF DRAIN                                 | ---               | ---            | MATCH EXISTING |
| RD-2                        | ROOF DRAIN                                 | ---               | ---            | 4.85           |
| RD-3                        | ROOF DRAIN                                 | ---               | ---            | 5.10           |
| RD-4                        | ROOF DRAIN                                 | ---               | ---            | 4.75           |

| STRUCTURE NAME | STRUCTURE TYPE                                     | CASTING ELEVATION | TOP OF RINGS | BOTT. OF RINGS | INVERT ELEVATION   | STORAGE DEPTH (VFT)* |
|----------------|----------------------------------------------------|-------------------|--------------|----------------|--------------------|----------------------|
| B-1            | 25 LF SLOTTED DRAIN                                | GR 14.20          | ---          | ---            | 10.60              | ---                  |
| B-2            | 4"Ø CATCH BASIN W/MANHOLE COVER                    | GR 14.20          | ---          | ---            | 10.60              | ---                  |
| B-3            | 12"Ø STORMWATER LEACHING STRUCTURE W/FRAME & GRATE | GR 16.00          | 14.10        | 9.10           | 10.20              | 5.1                  |
| B-4            | 12"Ø STORMWATER LEACHING STRUCTURE W/FRAME & GRATE | GR 16.15          | 14.10        | 9.10           | 10.20              | 5.1                  |
| B-5            | 12"Ø STORMWATER LEACHING STRUCTURE W/FRAME & GRATE | GR 15.85          | 14.10        | 9.10           | 10.20              | 5.1                  |
| B-6            | 12"Ø STORMWATER LEACHING STRUCTURE W/FRAME & GRATE | GR 17.40          | 15.10        | 9.10           | 9.80               | 5.1                  |
| B-7            | 12"Ø STORMWATER LEACHING STRUCTURE W/FRAME & GRATE | GR 17.65          | 15.10        | 9.10           | 9.80               | 5.1                  |
| B-8            | 12"Ø STORMWATER LEACHING STRUCTURE W/FRAME & GRATE | GR 17.50          | 15.10        | 9.10           | 9.80               | 5.1                  |
| B-9            | 12"Ø STORMWATER LEACHING STRUCTURE W/FRAME & GRATE | GR 18.85          | 17.10        | 9.10           | 10.20 (12.50 @-15) | 5.1                  |
| B-10           | 12"Ø STORMWATER LEACHING STRUCTURE W/FRAME & GRATE | GR 19.20          | 17.10        | 9.10           | 10.20              | 5.1                  |
| B-11           | 12"Ø STORMWATER LEACHING STRUCTURE W/FRAME & GRATE | GR 19.15          | 17.10        | 9.10           | 10.20              | 5.1                  |
| B-12           | 12"Ø STORMWATER LEACHING STRUCTURE W/FRAME & GRATE | GR 20.30          | 18.10        | 9.10           | 9.80               | 5.1                  |
| B-13           | 12"Ø STORMWATER LEACHING STRUCTURE W/FRAME & GRATE | GR 20.80          | 19.10        | 9.10           | 9.80               | 5.1                  |
| B-14           | 12"Ø STORMWATER LEACHING STRUCTURE W/FRAME & GRATE | GR 20.85          | 19.10        | 9.10           | 9.80               | 5.1                  |
| B-15           | 36 LF SLOTTED DRAIN                                | GR 17.50          | ---          | ---            | 14.00              | ---                  |
| TOTAL          |                                                    |                   |              |                |                    | 61                   |

\*NOTE: Storage depth calculated from lowest grate elevation.

- ### GRADING & DRAINAGE NOTES
- All erosion control measures are the responsibility of the contractor and shall be in accordance with the Village and NYSDOT requirements. No sediment and/or loose debris of any kind shall flow off-site.
  - All proposed curbs, unless otherwise noted, shall have a 6" reveal.
  - Sanitary and storm outlets from the building were taken from the Architectural/MEP drawings at the time of plan preparation. The contractor shall verify that they are consistent with the final Architectural/MEP drawings prior to construction.
  - All cast iron access ports/grates/covers for sanitary and storm structures (existing or proposed) shall be set/adjusted flush with the pavement or grade, as appropriate.
  - The contractor shall comply to the fullest extent with the latest standards of OSHA directives and any other agency having jurisdiction for excavation and trenching procedures. The contractor shall use support systems, sloping, bracing, and other means of protection as appropriate for the prevailing conditions. This includes but is not limited to access and egress from all excavation and trenching.
  - Should dewatering be required for the installation of any facilities depicted hereon, the contractor is responsible for any/all permits from the appropriate jurisdictional agency and the directives therein.
  - At the conclusion of construction activities, the contractor shall clean all drainage structures on-site in the vicinity of the work area and in South Riverside Avenue fronting the work area to ensure proper functionality.
  - Roof/canopy drain piping shall be 6"Ø Smooth Wall HDPE Pipe.
  - Drainage interconnect piping shall be Smooth Wall HDPE Pipe.
  - Pavement slopes in ADA areas shall conform to the latest applicable standards and shall not exceed 1:50 in ADA parking and loading areas.



| LEGEND   |                               |          |
|----------|-------------------------------|----------|
| Existing | Item                          | Proposed |
|          | Building                      |          |
|          | Sawcut Line                   |          |
|          | Property Line                 |          |
|          | Hydrant                       |          |
|          | Dep. Curb                     |          |
|          | Curb                          |          |
|          | Area Light                    |          |
|          | Utility Pole/Light Pole       |          |
|          | Guy Wire                      |          |
|          | Sign                          |          |
|          | Traffic Arrows                |          |
|          | Overhead Wires                |          |
|          | Manhole Cover                 |          |
|          | Inlet(s)                      |          |
|          | Fence                         |          |
|          | Bollard                       |          |
|          | Shrub(s)                      |          |
|          | Keynote                       |          |
|          | Catch Basin                   |          |
|          | Spot Elevation                |          |
|          | Top & Bottom of Curb          |          |
|          | U/G Electric Service          |          |
|          | U/G Gas Service               |          |
|          | U/G Water Service             |          |
|          | U/G Cable Service             |          |
|          | Drainage Line                 |          |
|          | Roof Drain Location           |          |
|          | Stormwater Leaching Structure |          |
|          | Contour Line                  |          |
|          | Ridge Line                    |          |
|          | Flow Arrow                    |          |
|          | Boring                        |          |
|          | Swale Line                    |          |

LAURO GROUP  
DIVERSIFIED ALLIANCES IN LAND USE

SHOPRITE No. 202  
480 S. RIVERSIDE AVENUE  
VILLAGE OF CROTON-ON-HUDSON,  
WESTCHESTER COUNTY, NY 10520  
W.C.T.M. # Section 79.17, Block 2, Lot 2

GRADING & DRAINAGE PLAN  
SHEET  
C3.0

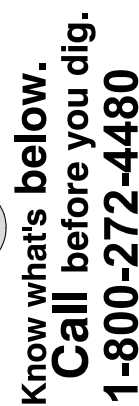
Revision

| No. | Date     | Rev.                                | By | App. |
|-----|----------|-------------------------------------|----|------|
| 1   | 3/6/15   | Rev. Site Plan                      |    |      |
| 2   | 10/12/15 | Rev. Building Footprint             |    |      |
| 3   | 7/16/15  | Rev. Final Coordination             |    |      |
| 4   | 7/16/15  | Rev. Final Planning Board           |    |      |
| 5   | 3/18/16  | Village Site Plan Review Submission |    |      |

Drawn by: LB/TG Drawing # LG130348-CP-4E Date: 7/21/13

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DSP ENGINEERING, PLLC  
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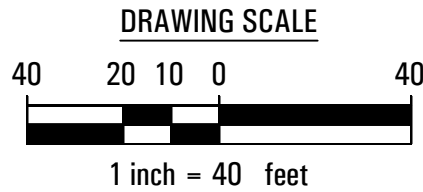
TOTAL PERMITS



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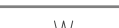
## UTILITY PLAN NOTES

1. All proposed and existing utility locations, points of entry, and sizes are schematic only and are based upon information available at the time of plan preparation. The actual lengths, sizes, and locations of cables, pipes, conduits, valves, meters, etc., are subject to change based on utility company requirement. Contractor shall verify the requirements and scope of responsibility of each utility company and coordinate the installation of all utilities prior to commencement of construction.
2. Contractor to furnish and install all underground conduits and/or piping for all new utility services (gas, water, electric, telephone/cable) in accordance with utility company standards.
3. All utilities, conduits and associated appurtenances shall be furnished and installed by the contractor in accordance with the utility company specifications, as well as all other appropriate governing agencies.

## UTILITY PLAN KEYNOTES

| ITEM | NOTE                               |
|------|------------------------------------|
| 41   | Underground Electric Service       |
| 42   | Underground Cable Conduit          |
| 44   | Electric Transformer               |
| 45   | Utility Meter                      |
| 49   | Fire Department Siamese Connection |

## LEGEND

| Existing                                                                              | Item                          | Proposed                                                                              |
|---------------------------------------------------------------------------------------|-------------------------------|---------------------------------------------------------------------------------------|
|   | Building                      |   |
|  | Sawcut Line                   |  |
|  | Property Line                 |                                                                                       |
|  | Hydrant                       |  |
|  | Dep. Curb                     |  |
|  | Curb                          |  |
|  | Area Light                    |  |
|  | Utility Pole                  |                                                                                       |
|  | Guy Wire                      |                                                                                       |
|  | Sign                          |  |
|  | Overhead Wires                |                                                                                       |
|  | Manhole Cover                 |  |
|  | Inlet(s)                      |  |
|  | Fence                         |  |
|  | Bollard                       |  |
|  | Shrub(s)                      |                                                                                       |
|                                                                                       | Keynote                       |  |
|  | Catch Basin                   |  |
|  | U/G Electric Service          |  |
|  | U/G Gas Service               |                                                                                       |
|  | U/G Water Service             |                                                                                       |
|  | U/G POS Service               |  |
|  | Drainage Line                 |  |
|  | Stormwater Leaching Structure |  |
|  | Contour Line                  |  |
|  | Ridge Line                    |  |
|  | Swale Line                    |  |

UTILITY PLAN

C4.0

SHOPRITE No. 202

460 S. RIVERSIDE AVENUE  
VILLAGE OF CROTON-ON-HUDSON,  
WESTCHESTER COUNTY, NY 10520  
W.C.T.M. #. Section 79.17, Block 2, Lot 2

SHEET

**SHOPRITE No. 202**  
460 S. RIVERSIDE AVENUE  
VILLAGE OF CROTON-ON-HUDSON,  
WESTCHESTER COUNTY, NY 10520  
W.C.T.M. #: Section 79.17, Block 2, Lot 2



HE **LAURO GROUP**  
DIVERSIFIED ALLIANCES IN LAND USE

**Daniel Peveraro**  
**DSP ENGINEERING, PLLC**  
**Professional Engineer**  
**New York License No. 089025**

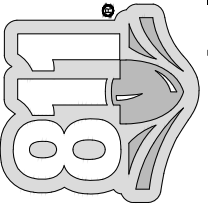
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**TOTAL  
PERMITS**

| No. | Date     | Revision                             |
|-----|----------|--------------------------------------|
| 1   | 3/8/15   | Rev. Site Plan                       |
| 2   | 3/8/15   | Rev. Final Coordination              |
| 3   | 12/16/15 | Rev. Final Coordination              |
| 4   | 2/11/16  | Rev. per Meeting with Planning Board |
| 5   | 3/18/16  | Wage Site Plan Renewal Submission    |

Drawn by: LB/FG Drawing #: LG13-0348-4c Date: 7/21/13

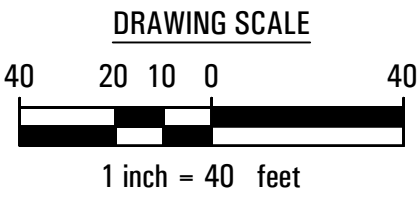
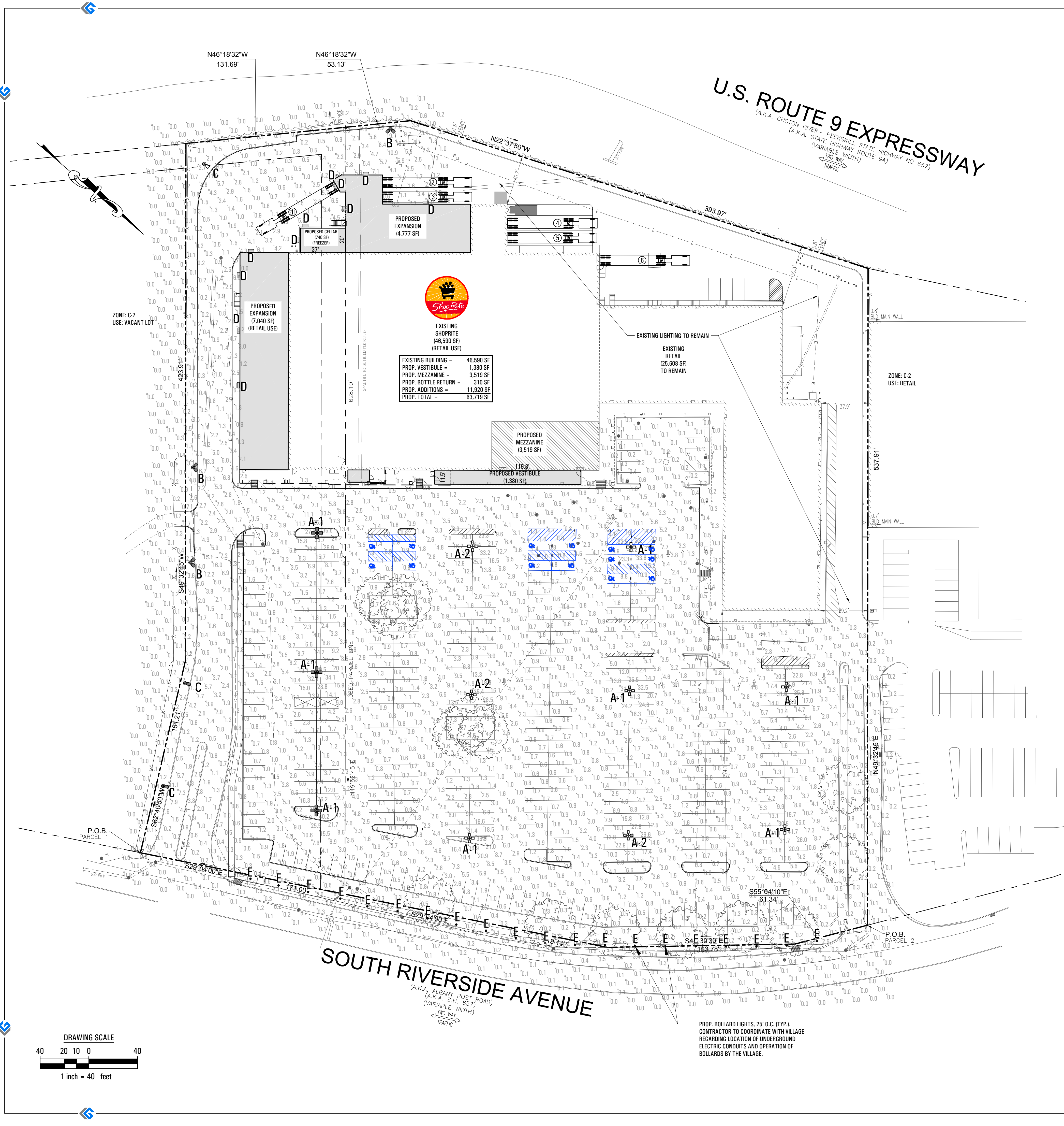


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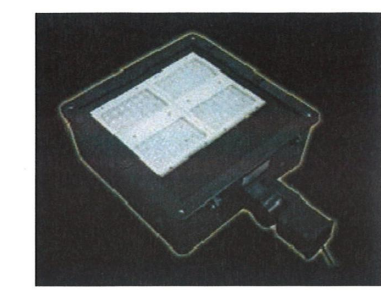
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PROP. BOLLARD LIGHTS, 25' O.C. (TYP.).  
CONTRACTOR TO COORDINATE WITH VILLAGE  
REGARDING LOCATION OF UNDERGROUND  
ELECTRIC CONDUITS AND OPERATION OF  
BOLLARDS BY THE VILLAGE.

FOR DETAILED LIGHTING  
SPECIFICATION, PLEASE SEE  
MANUFACTURER'S CUT SHEETS.

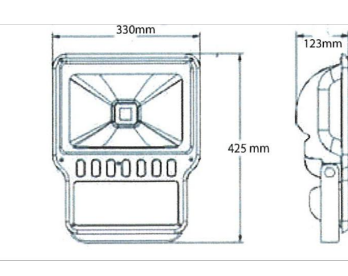
CATALOG NUMBER:  
SBLED 200W LED SHOE BOX- QUAD



### A-1 A-2 STREET LIGHT - RLE INDUSTRIES

FOR DETAILED LIGHTING  
SPECIFICATION, PLEASE SEE  
MANUFACTURER'S CUT SHEETS.

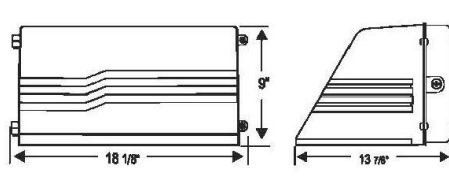
CATALOG NUMBER:  
FLCLED-120W-SINGLE@20°AQ- TILT 40  
FLCLED-120W-DOUBLE@20°AQ- TILT 40



### B-C FLCLED FLOOD LIGHT - RLE INDUSTRIES

FOR DETAILED LIGHTING  
SPECIFICATION, PLEASE SEE  
MANUFACTURER'S CUT SHEETS.

CATALOG NUMBER:  
CWPB LED WALL PACK 18"



### D - CWPB LED - WALL PACK - RLE INDUSTRIES

FOR DETAILED LIGHTING  
SPECIFICATION, PLEASE SEE  
MANUFACTURER'S CUT SHEETS.

CATALOG NUMBER:  
XHYP3-180-LED-16-350-NW-UE



COLOR: BLACK TYPE: FLAT TOP

### E - LED BOLLARD (XHYP3) LSI INDUSTRIES

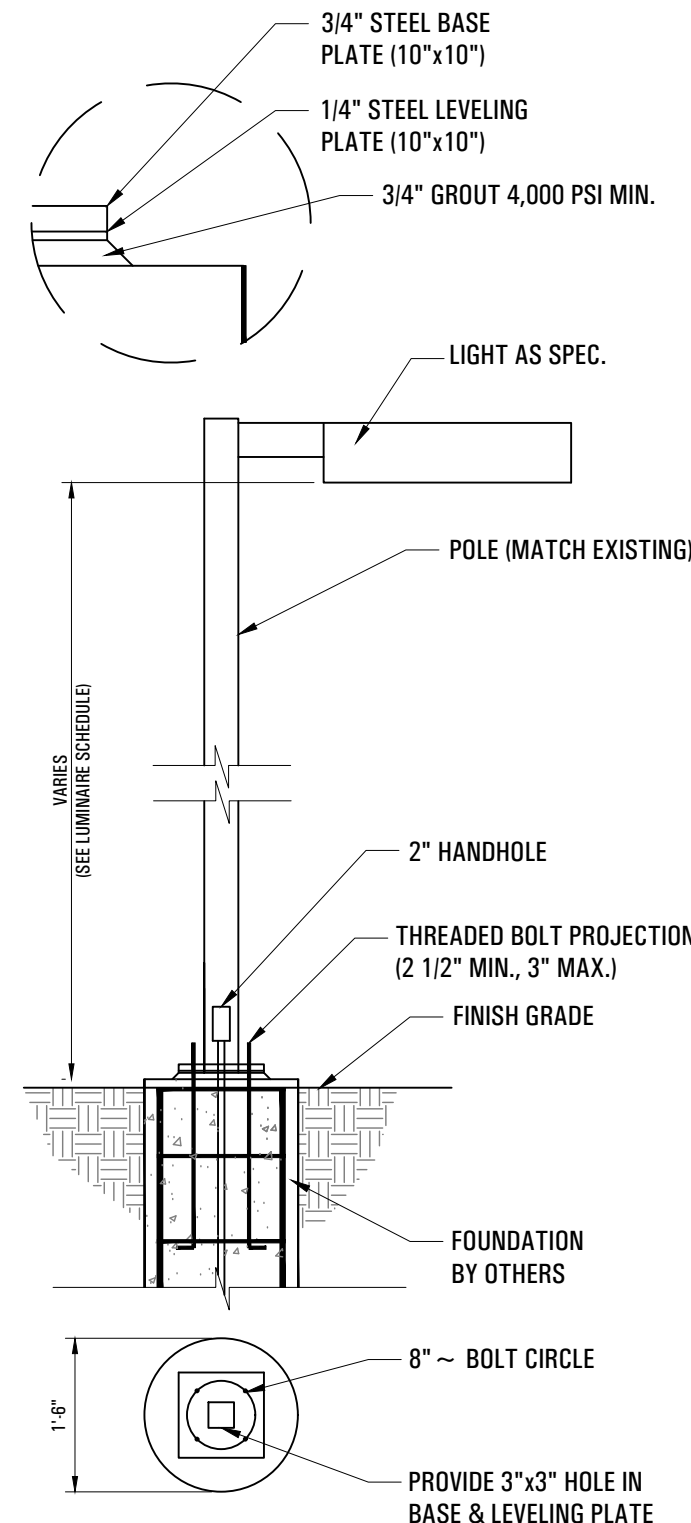
(TO BE OPERATED/MAINTAINED BY VILLAGE OF CROTON-ON-HUDSON)

### LIGHTING NOTES

- Exterior lighting. All exterior lighting accessory to multifamily or nonresidence uses, shall be of such type and location and shall have such shielding as will prevent the source of light from being visible from any adjoining streets, public areas and neighboring properties and prevent objectionable glare observable from such streets or properties.
- Exterior lighting shall be extinguished within at the closing of the business.
- All luminaires shall be positioned to shine directly on the subject property and/or R.O.W., away from neighboring properties.
- Since actual lighting levels can vary from the design calculations as a result of several factors (landscaping, ambient light sources, etc.), the contractor shall measure/verify the resulting illumination post construction and effect any adjustments necessary to achieve the design intent.
- Existing lighting fixtures are not included in calculations.
- Proposed lighting fixtures to be 20' high max. A time clock will be installed to turn lights off 30 minutes after closing. Lighting at the rear of the building may remain on all night for security purposes (per Resolution dated 10/25/77).
- Proposed lighting fixtures on this plan exceed the required maximum height in order to match the existing pole heights present on site.

### VILLAGE CODE NOTES

\$230-69.4(f)(g) - Proposed lighting equal to or greater than 1/2 footcandle will not spay off site.  
Note: Proposed light spay along the eastern property line exceeds the allowable in order to provide adequate lighting in the area of the existing cross access between the subject lot and the lot to the east.



### LEGEND

- PROPOSED LIGHT POLE TO MATCH EXISTING POLE HEIGHT
- EXISTING LIGHT FIXTURE TO BE RELAMPED

### LUMINAIRE SCHEDULE

| SYMBOL | LABEL | QTY. | DESCRIPTION                               | MTG. HT. | WATTS |
|--------|-------|------|-------------------------------------------|----------|-------|
|        | A-1   | 8    | SBLED - 200W LED SHOE BOX - QUAD          | 22'      | 200   |
|        | A-2   | 3    | SBLED - 200W LED SHOE BOX - QUAD          | 23'      | 200   |
|        | B     | 3    | FLCLED-120W-DOUBLE @20°AQ- TILT 40        | 20'      | 120   |
|        | C     | 3    | FLCLED-120W-SINGLE @20°AQ- TILT 40        | 20'      | 120   |
|        | D     | 11   | CWPB LED - WALL PACK 18" - #DC200L56W.50K | 15'      | 56    |
|        | E     | 20   | XHYP3-180-LED-16-350-NW-UE                | 2.5'     | 20    |

### CALCULATION SUMMARY

| LABEL   | AVG. | MAX  | MIN. | AVG/MIN | MAX/MIN |
|---------|------|------|------|---------|---------|
| OVERALL | 2.77 | 41.7 | 0.0  | N/A     | N/A     |
| PARKING | 3.78 | 41.7 | 0.0  | N/A     | N/A     |



| Revision | No.      | Date                                | By | Check |
|----------|----------|-------------------------------------|----|-------|
| 1        | 3/6/15   | Rev. Site Plan                      |    |       |
| 2        | 10/12/15 | Rev. Building Footprint             |    |       |
| 3        | 12/1/15  | Rev. Final Coordination             |    |       |
| 4        | 2/1/16   | Village Planning Board              |    |       |
| 5        | 3/18/16  | Village Site Plan Review Submission |    |       |

Drawn by: LB/TG Drawing # LG13-0348-C9-4c Date: 7/21/13



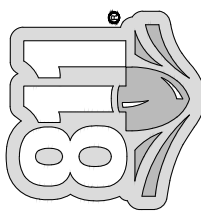
THE LAURO GROUP  
DIVERSIFIED ALLIANCES IN LAND USE  
One Suffolk Square 1801 Veterans Memorial Hwy Suite 330 Hauppauge, NY 11749  
T 631.656.3222 F 631.750.8050 Project # LG13-0349



SHOPRITE No. 202

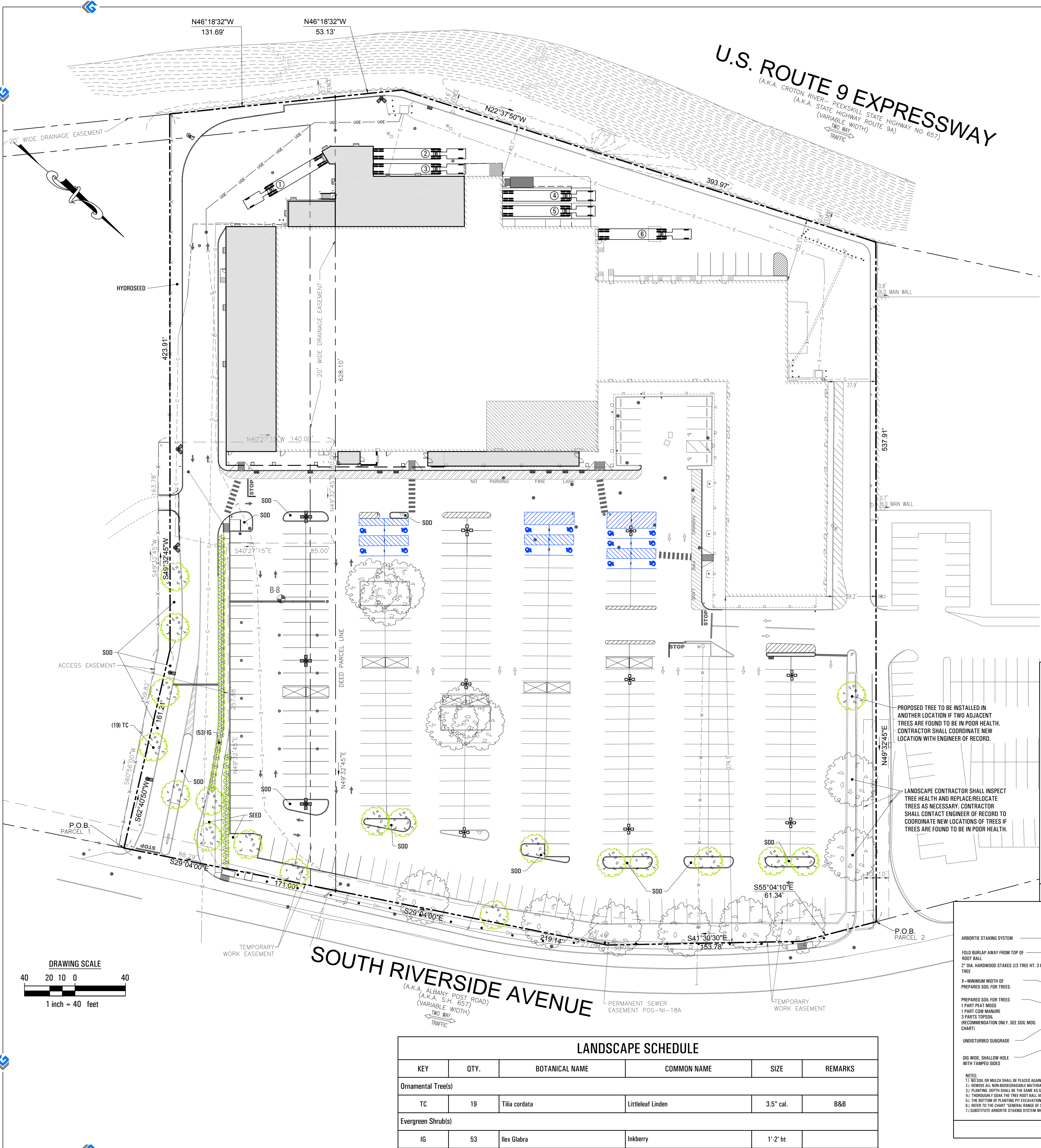
480 S. RIVERSIDE AVENUE  
VILLAGE OF CROTON-ON-HUDSON,  
WESTCHESTER COUNTY, NY 10520  
W.C.T.M. # Section 79.17, Block 2, Lot 2

LIGHTING PLAN  
SHEET  
C5.0



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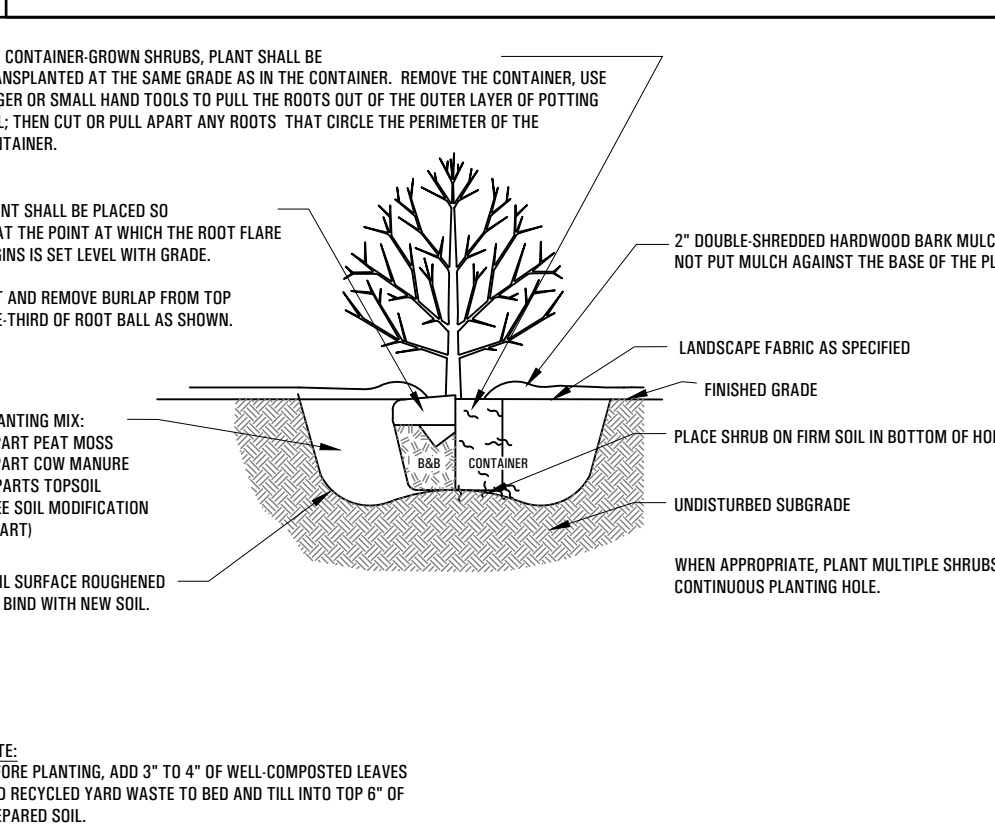
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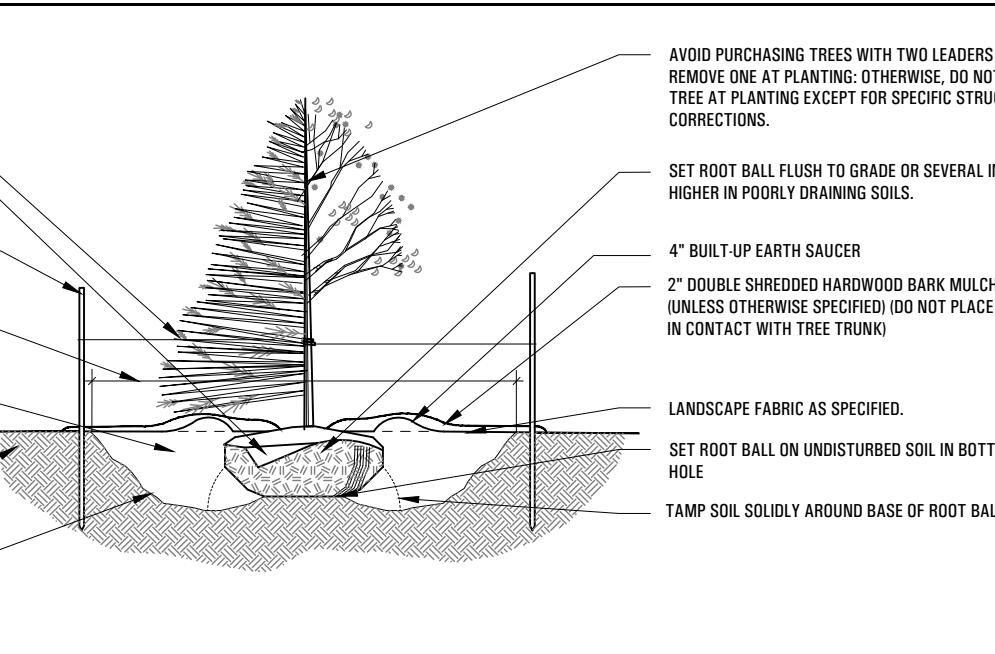
### GENERAL RANGE OF SOIL MODIFICATIONS FOR VARIOUS SOIL CONDITIONS

| Post-Construction soil Condition                                                       | Type of preparation                                                                                                                                                                                                                                                      |
|----------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Good soil (Not previously graded or compacted, topsoil layer intact)                   | Loosen the existing soils to the widths and depths shown in details above                                                                                                                                                                                                |
| Compacted soil (Not previously graded, topsoil layer disturbed but not eliminated)     | Loosen the existing soils to the widths and depths shown in details above; add composted organic content up to 5% dry weight                                                                                                                                             |
| Graded subsoils and clean fills with clay content between 5 & 35%                      | Minimum treatment: loosen existing soil to widths and depths shown, add composted organic matter to bring organic content up to 5% dry weight. Optimum treatment: remove top 8-10 in. or the existing soils to the widths and depths shown, add 8-10 in. of loam topsoil |
| Poor quality fills, heavy clay soils, soils contaminated with rubble or toxic material | Remove existing soils to the widths and depths contaminated with rubble or toxic material                                                                                                                                                                                |

Note: at no time shall preparation and soil modification areas extend into existing tree protection zones.  
Reference: architectural graphic standards 1998 cumulative supplement.



### TREE PLANTING



### LANDSCAPE NOTES

1. Contractor shall be responsible for the protection of all existing trees to remain. A tree protection zone shall be established at the drip line or at the limit of construction disturbance, whichever is greater or as otherwise shown. Local standards may require that a more strict tree protection zone shall be honored.
2. At no time shall machinery, debris, fallen trees or other materials be placed, stockpiled or left standing in the tree protection zone.
3. All plant materials shall be of the highest quality fresh dug nursery grown stock conforming to the requirements of the "American Standard for Nursery Stock".
4. Caliper measurements of nursery grown trees shall be taken at a point on the trunk six inches (6") above the natural grade for trees up to and including a four inch (4") caliper size.
5. Shrubs shall be measured to the average height or spread of the shrub, and not to the longest branch.
6. Contractor shall provide a six inch (6") thick minimum layer of topsoil, or as directed by the local ordinance or client, in all planting areas. Topsoil should be spread over a prepared surface in a uniform layer to achieve the desired compacted thickness.
7. Prior to the issuance of any certificate of occupancy, the proposed landscape, as shown on the approved landscape plan, must be installed, inspected and approved by the approving agency. The approving agency shall take into account seasonal considerations in this regard as follows. The planting of trees, shrubs, vines or ground cover shall occur only during the following planting seasons:  
a. PLANTS: MARCH 15 TO DECEMBER 15  
b. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1
8. Plantings required for a certificate of occupancy shall be provided during the next appropriate season at the municipality's discretion. Contractor should contact approving agency for potential substitutions.
9. Proposed trees directly adjacent to walkways or driveways shall be pruned and maintained to a minimum branching height of 7' from grade. No pruning shall be conducted within the first year of planting, except to clear low hanging branches.
10. No plant, except ground covers, grasses or vines, shall be planted less than two feet (2') from existing structures and sidewalks.
11. There shall be no plant substitutions unless authorized by Landscape Architect and/or staff of the local municipality.
12. New plantings or lawn areas shall be adequately irrigated beginning immediately after planting. Water shall be applied to each tree and shrub in such manner as not to disturb backfill and to the extent that all materials in the planting hole are thoroughly saturated. Watering shall continue routinely at least until plants are established.
13. The Landscape Contractor shall guarantee all plants for a period of one (1) year from approval of landscape installation by the approving agency. Contractor shall be released at the conclusion of the guarantee period and when a final inspection has been completed and approved by the owner or authorized representative.
14. Existing dead or dying plants shall be removed and replaced in kind with healthy plants.

### LAND RESTORATION NOTE

- Any lawn areas disturbed within the Right-of-Way shall be restored in-kind.

### IRRIGATION NOTE

Contractor to provide a drip irrigation system for both lawn & bed areas. Design is to be submitted to the project Landscape Architect for review and approval. Contractor to verify static pressure prior design. Contractor is responsible for any pressure increasing / reducing devices to meet irrigation equipment manufacturer's requirements as well as all necessary permits for any required RPZ's. Irrigation System Design shall include all necessary valves, piping, heads, driplines, backflow prevention, controllers and meters (As required). All sleeves under paved areas shall be shown.

### SOD LAWN SPECIFICATIONS

1. Prior to sod installation, existing subgrade shall be loosened by means of roto-tilling or tilling to a depth of 8", top dressed with topsoil (4" min.), fine graded and raked free of all debris larger than 2" diameter.
2. All areas to receive sod shall be amended with limestone and fertilizer (rate to be determined by sod grower) and compacted using a 200 pound roller, the area shall be thoroughly watered and allowed to dry prior to placement of sod.
3. Sod to be drought resistant blend grown by DeLallo Sod Farm or approved equivalent.
4. Sod shall be laid tight together with lateral joints staggered. All dead and/or dying sod shall be replaced prior final inspection.
5. Sod shall be thoroughly watered at time of installation and routinely watered by contractor and/or owner to maintain moisture during the first two growing season.

### VILLAGE CODE NOTES

\$230.52 a)(1)(b) - At least one tree not less than 2.5" caliper, measured three feet above ground level at the time of planting, shall be provided within such parking areas for every 10 parking spaces. In all off-street parking areas containing 25 or more parking spaces, at least 10% of the interior of the parking area shall be curbed and landscaped with trees, shrubs and other material (existing non conformity to remain)

62 additional stalls proposed / 10 trees per stall = 7 additional trees required

\$230.52 a)(1)(c) - Raised planting islands at least six feet in width shall be provided to guide vehicle movement and to separate opposing rows of parking spaces so as to provide adequate space for plant growth, pedestrian circulation and vehicle overlap. Such raised planting islands and the landscaping within them shall be designed and arranged in such a way as to provide vertical definition to major traffic circulation aisles, entrances and exits, to channel internal traffic flow and prevent indiscriminate diagonal movement of vehicles and to provide relief from the visual monotony and shadeless expanse of a large parking area. Curbs of such islands shall be designed so as to facilitate surface drainage and prevent vehicles from overlapping sidewalks and damaging landscaping materials. The Planning Board may accept an alternative to the interior landscape requirements if it finds that an applicant has submitted a superior landscape plan (existing non conformity to remain)

\$230.52 a)(2)(a) - Landscaped areas. All portions of multifamily and nonresidential properties which are not used for buildings, structures, off-street parking and loading areas, sidewalks or similar purposes shall be suitably landscaped and permanently maintained with the planting of trees and shrubbery, as approved by the Planning Board as part of the site plan, so as to minimize erosion and stormwater runoff and harmoniously blend such uses with the residential character of the Village as a whole.

TOTAL PERMITS

| No. | Date     | Revision                            |
|-----|----------|-------------------------------------|
| 1   | 3/6/15   | Rev. Site Plan                      |
| 2   | 10/12/15 | Rev. Building Footprint             |
| 3   | 12/16/15 | Rev. Final Coordination             |
| 4   | 2/17/16  | Rev. Final Coordination             |
| 5   | 3/18/16  | Village Site Plan Review Submission |

Drawn by: LB/TG Drawing #: LG13-0349-CP-42 Date: 7/2/13

Daniel Pawson  
DSP ENGINEERING, PLLC  
Professional Engineer  
New York License No. 088025

THE LAURO GROUP  
DIVERSIFIED ALLIANCES IN LAND USE



SHOPRITE No. 202  
480 S. RIVERSIDE AVENUE  
VILLAGE OF CROTON-ON-HUDSON,  
WESTCHESTER COUNTY, NY 10520  
W.C.T.M. # Section 79.7, Deck 2, Lot 2

LANDSCAPE PLAN

SHEET C6.0

| No. | Date     | Revision                             |
|-----|----------|--------------------------------------|
| 1   | 3/8/15   | Rev. Site Plan                       |
| 2   | 10/12/15 | Rev. Building Footprint              |
| 3   | 12/16/15 | Rev. Final Coordination              |
| 4   | 2/11/16  | Rev. per Meeting with Planning Board |
| 5   | 3/18/16  | Village Site Plan Review Submission  |
|     |          |                                      |
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|     |          |                                      |

David Pawarso  
DSF ENGINEERING, PLLC  
Professional Engineer  
New York License No. 088025

Drawing #: LG13-0349-CP-4c Date: 7/2/13  
[Drawn by:](#) LBR/T

