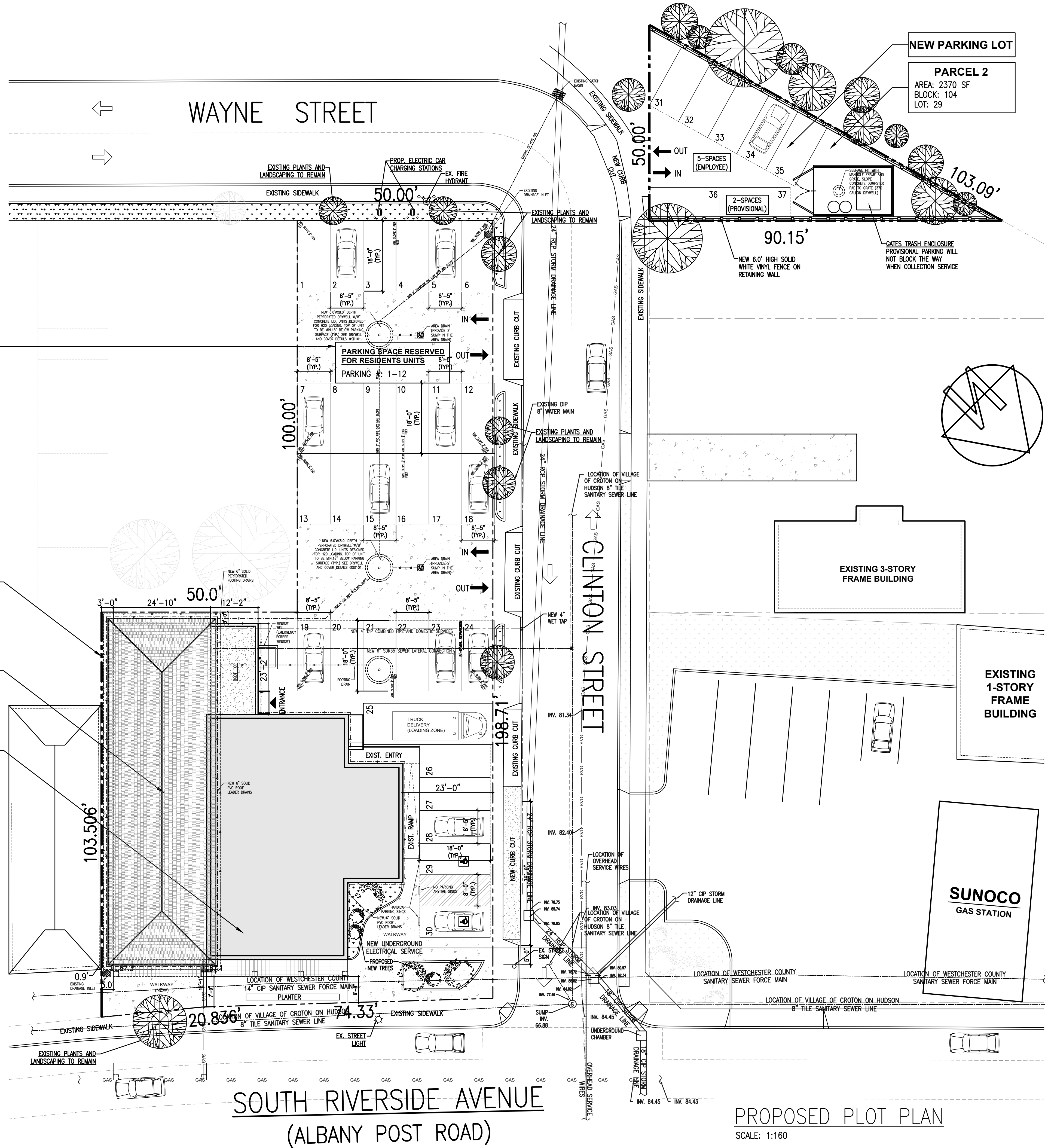


EXISTING PARKING LOT
NEW PAINTED STRIPING AND ARROWS AT EXISTING ASPHALT PAVING ALL LINES (MARKINGS) TO BE U.S.D.O.T. APPROVED REFLECTIVE PAINT

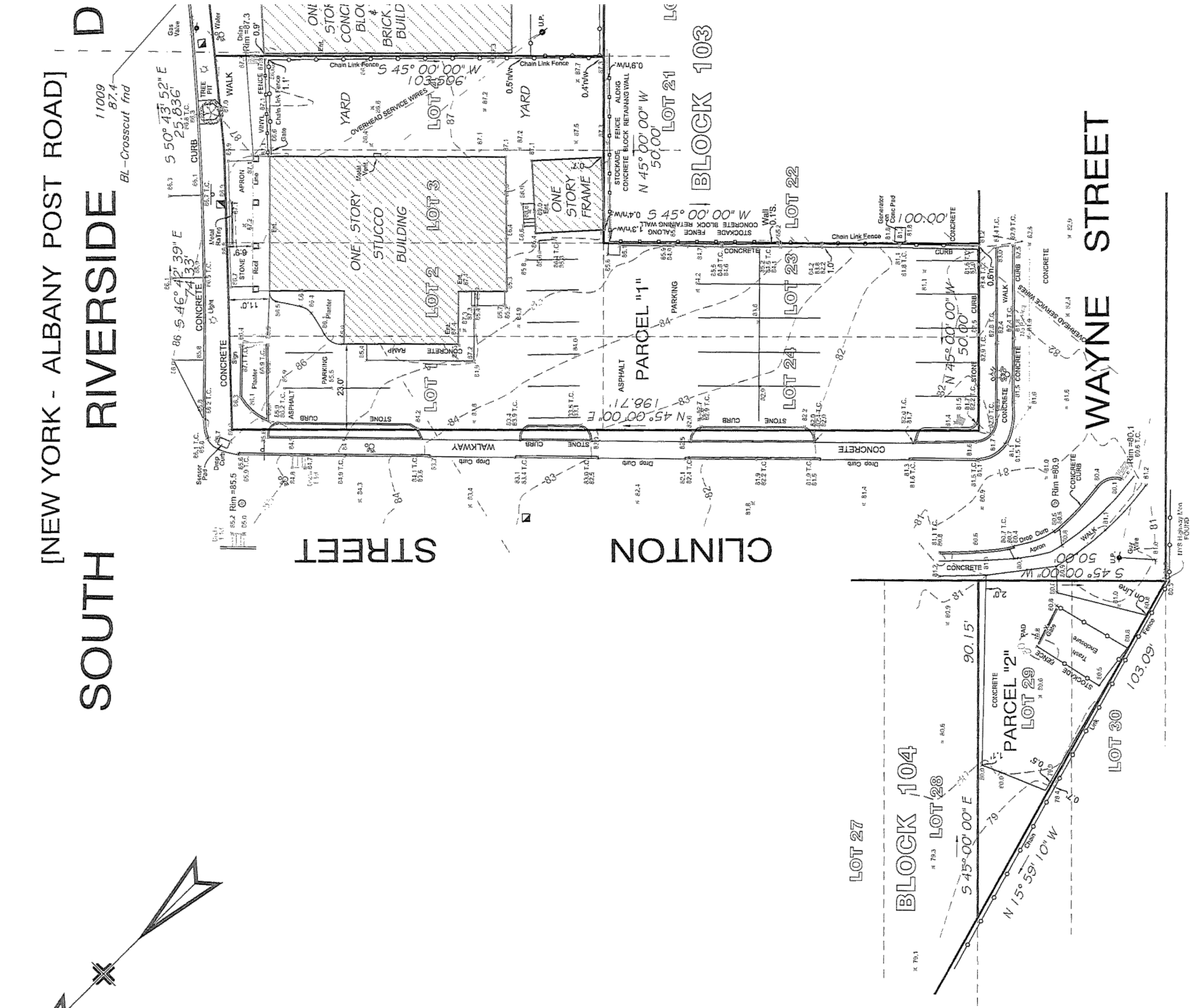
PARCEL 1
AREA: 15,105 SF
BLOCK: 103
LOT: 1, 2, 3, 4, 23, 24

PROPOSED 3 STORY WITH CELLAR
USE: COMMERCIAL & RESIDENTIAL
AREA: 6487.9 SF

EXISTING 1 STORY WITH CELLAR
USE: COMMERCIAL & RESTAURANT & BAR
AREA: 2690.5 SF



NEW PARKING LOT
PARCEL 2
AREA: 2370 SF
BLOCK: 104
LOT: 29



ZONING ANALYSIS		
ZONING DISTRICT C-2 (GATEWAY OVERLAY DISTRICT)		
DESCRIPTION	REQUIRED	PROVIDED
MIN. LOT AREA	---	15,044 + 2,254 = 17,298 Sq.Ft
LOT WIDTH	50.0'	50.0'
LOT DEPTH	---	---
FRONT YARD SETBACK (CLINTON ST.)	---	23' (EXISTING)
FRONT YARD SETBACK (S. RIVERSIDE AVE.)	15' MIN. 20' MAX.	12'-1"(BUILDING) & 7'-9"(CANOPY)
SIDE YARD SETBACK	0' OR 10'-0" MIN.	3.0'
REAR YARD SETBACK	0' OR 10'-0" MIN.	3.0'

BUILDING INFORMATION		
EXIST. BLDG AREA	----	2690.5
PROPOSED BLDG AREA	----	6487.9
STORIES	3 MAX.	3
HEIGHT (MAX.)	35'-0"	35.0'

FLOOR AREA INFORMATION				
	EXISTING	PROPOSED	TOTAL ZONING FL. AREA	RATIO
CELLAR	2,690.5 SQ. FT.	2,068.9 SQ. FT.	0 SQ. FT.	0.0
1ST FLOOR	2,690.5 SQ. FT.	2,350.1 SQ. FT.	5,040.6 SQ. FT.	0.29
2ND FLOOR	----	2,068.9 SQ. FT.	2,068.9 SQ. FT.	0.12
3RD FLOOR	----	2,068.9 SQ. FT.	2,068.9 SQ. FT.	0.12
TOTAL FLOOR AREA (0.8 MAX.)			9,178.4 SQ. FT.	0.53

PARKING TABULATIONS		
FOR MIXED-USE BUILDINGS IN THE HARMON/SOUTH RIVERSIDE GATEWAY AREA THERE SHALL BE PROVIDED AT LEAST THE FOLLOWING AMOUNT OF PARKING FOR EACH RESIDENTIAL DWELLING UNIT; ONE PARKING SPACE PLUS ONE ADDITIONAL PARKING SPACE FOR EACH BEDROOM IN THE UNIT IN EXCESS OF ONE BEDROOM. THE GREATER OF (1) SPACE PER 300 S.F. OF OFFICE FLOOR AREA OR (1) SPACE PER 250 S.F. OR RETAIL / SERVICE FLOOR AREA		
DESCRIPTION	REQUIRED	PROVIDED
10 BEDROOM UNITS	1 PARKING PER UNIT	10
COMMERCIAL AREA	(±)2600.0/250= 10.4 SPACES	11
ADDITIONAL PARKING PER 2330-51A-FOOD SERVICE FACILITIES-1 PER FOUR SEAT	64 SEAT/4= 16 SPACE	16
TOTAL PARKING SPACES	37	37
SECTION-079.13 BLOCK 1 LOTS 74, 75 & 83		

NOTES
1) ALL SURVEY INFORMATION SHOWN ON THIS PLOT PLAN HAS BEEN TAKEN FROM A SURVEY MAP PREPARED BY "J.A. SLATER" DATED OCTOBER 12, 1985. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.
2) ALL UTILITIES SERVICING THE SUBJECT PROPERTY ARE EXISTING.

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Project Info.:
ENLARGEMENT
352 S RIVERSIDE AVENUE, NY 10520

Drawing Title:
ZONING ANALYSIS & PLOT PLAN

Drawing No.: **Z-001.00**

NOTE: Drawing may be printed at reduced scale

Seal / Stamp: Drawn on: 3.13.2023

Signature: Signature:

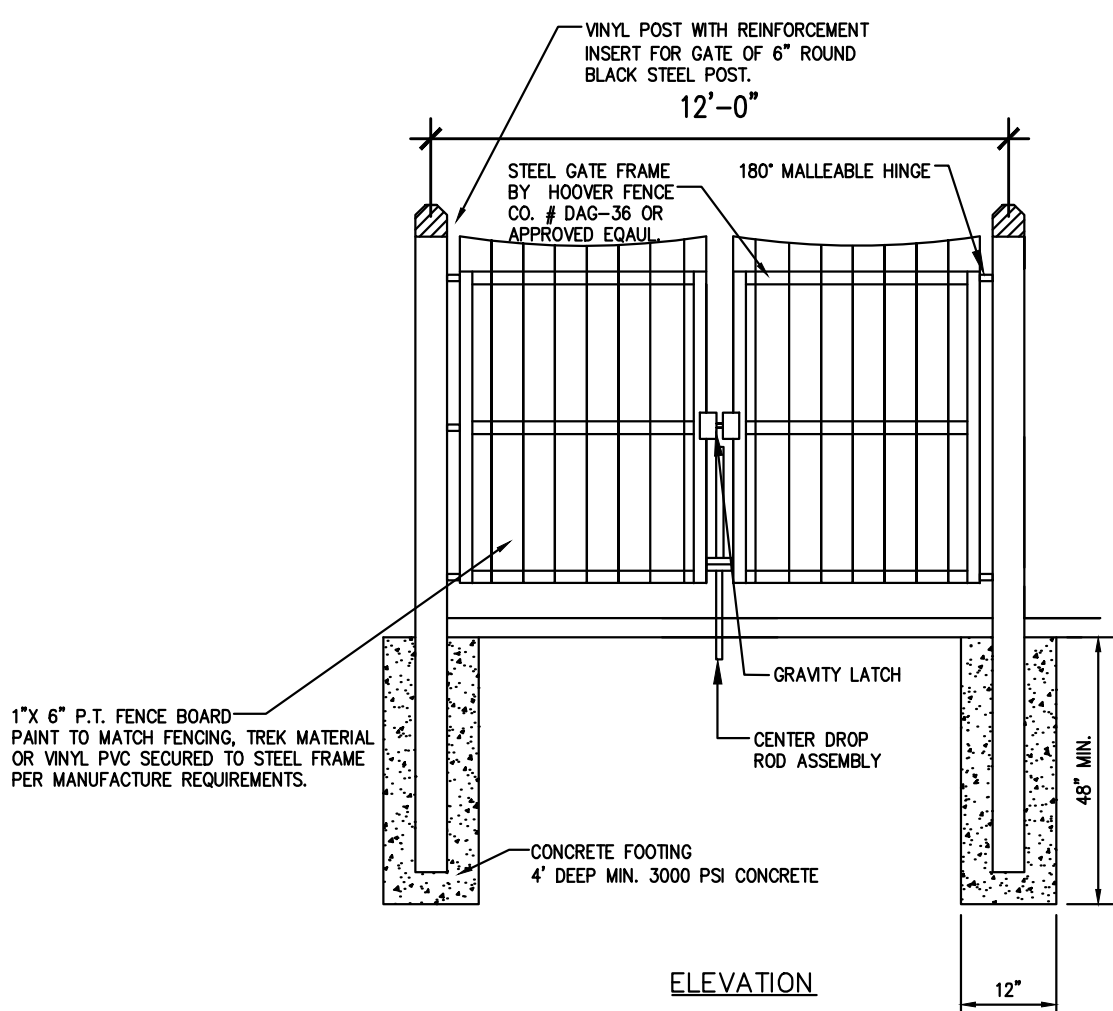
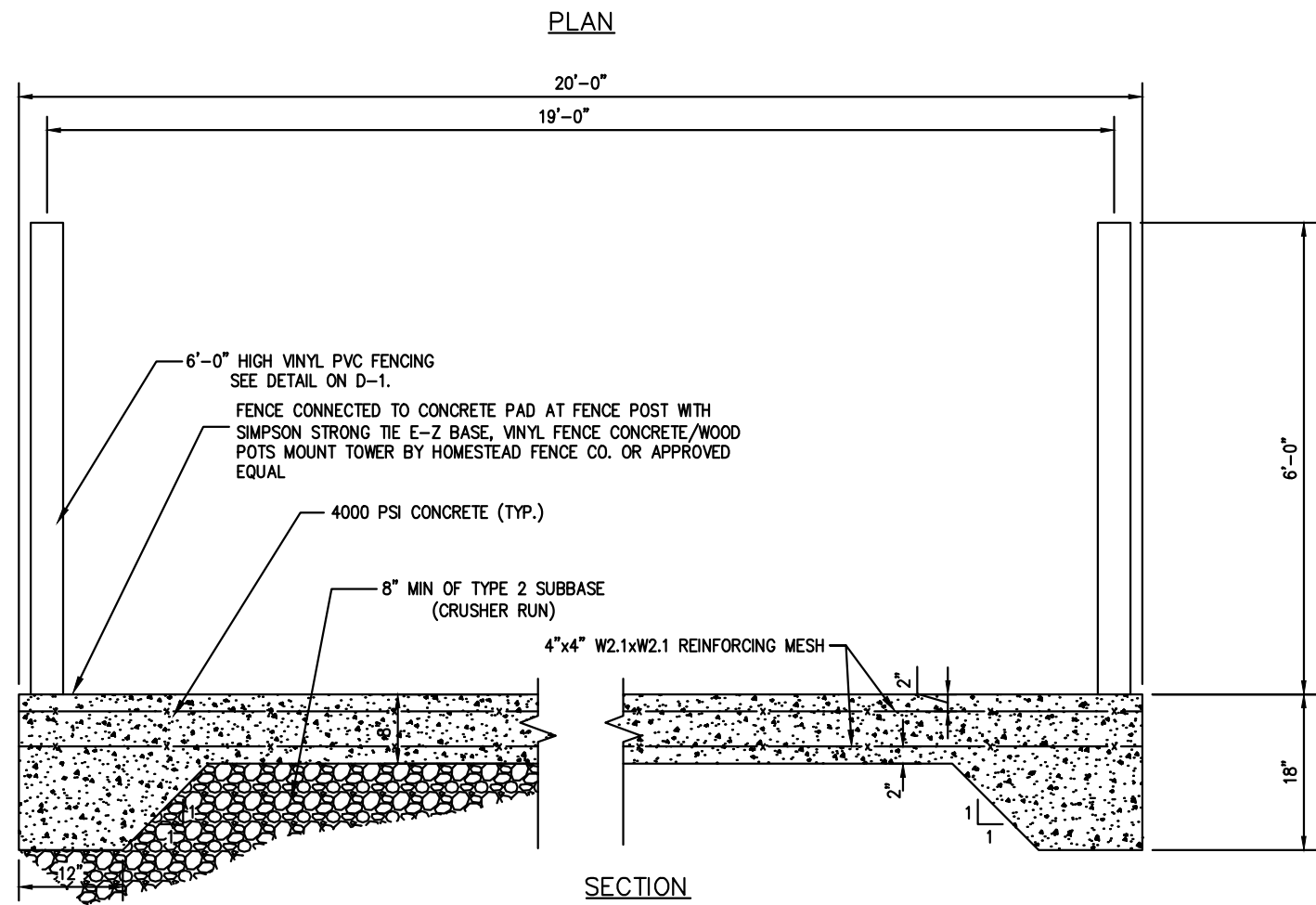
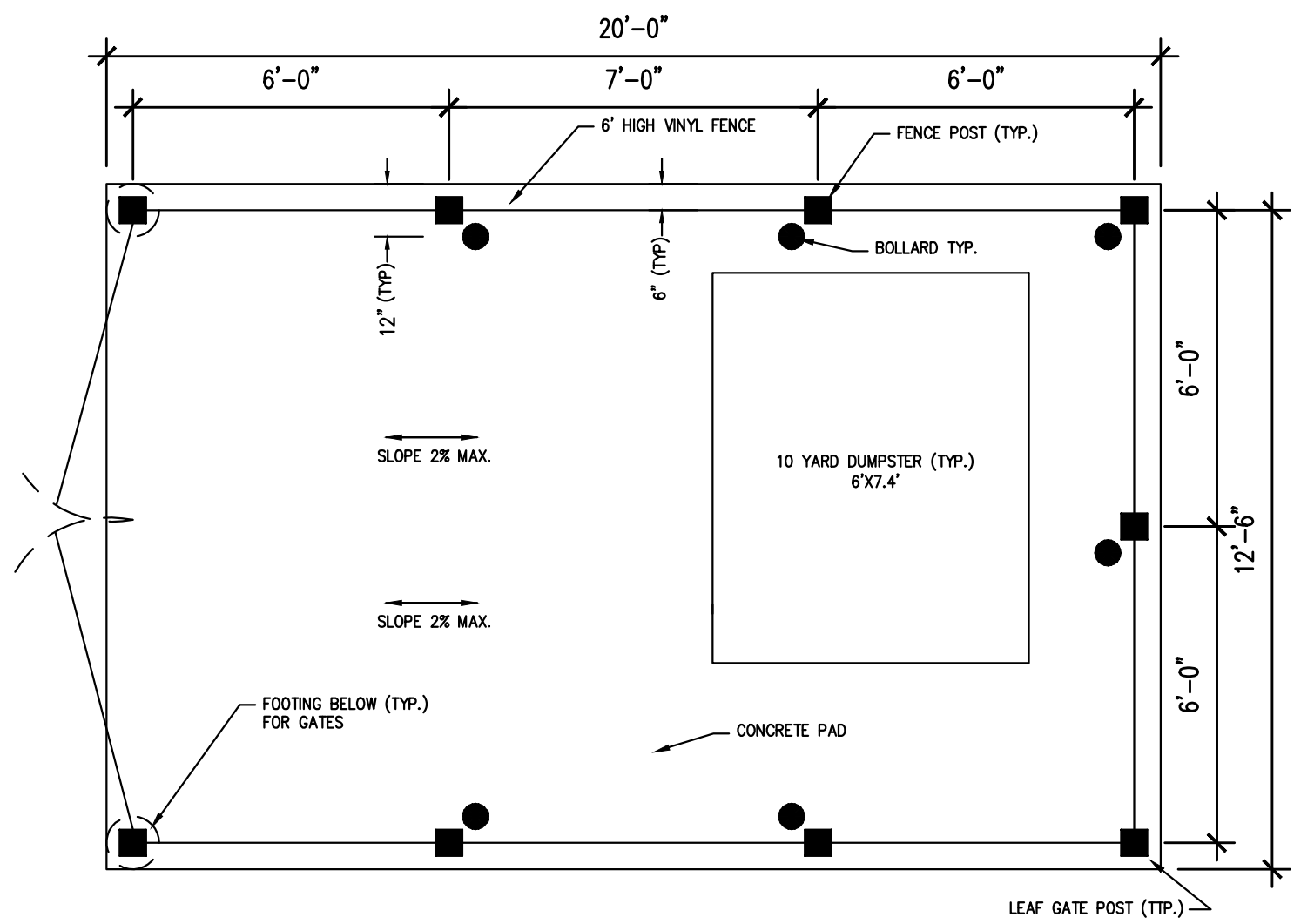
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Checked by:
No. of Sheet(s): 1 of 10

Job No. / DOB Sticker:

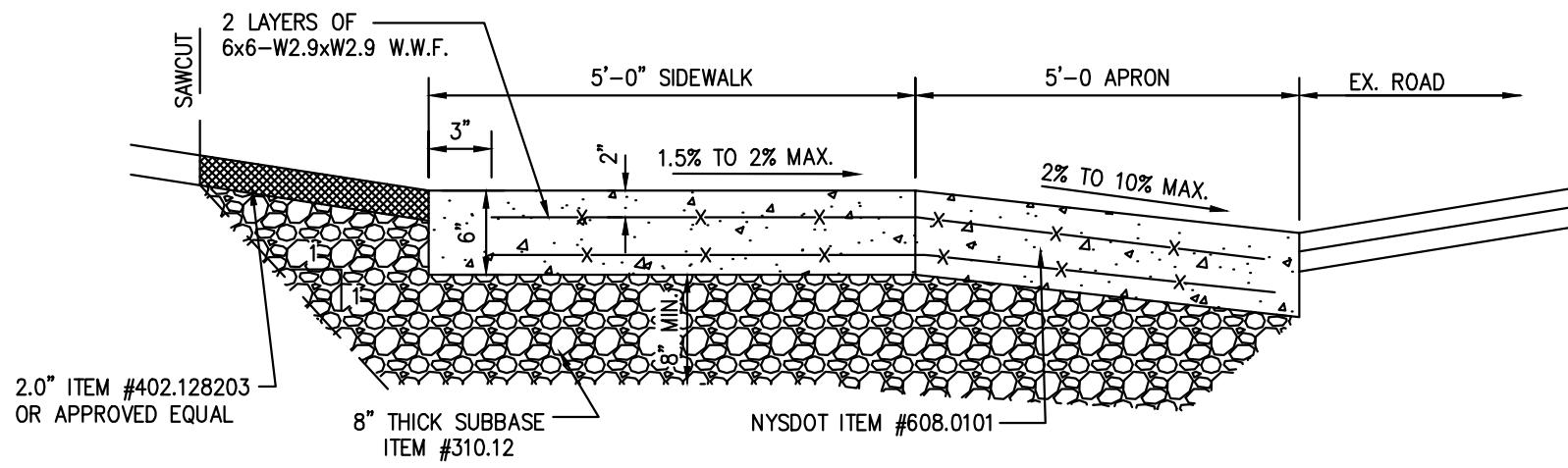
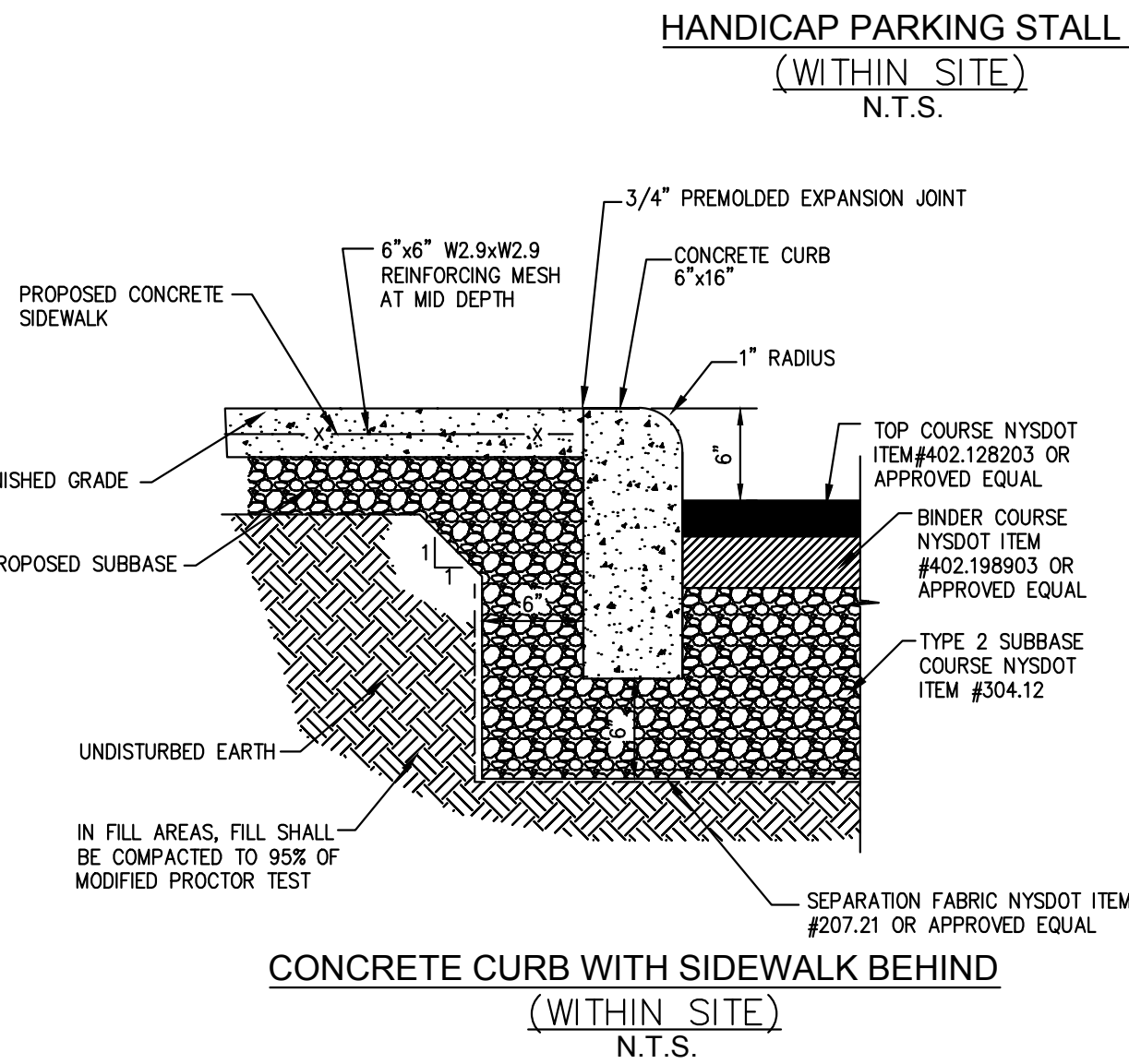
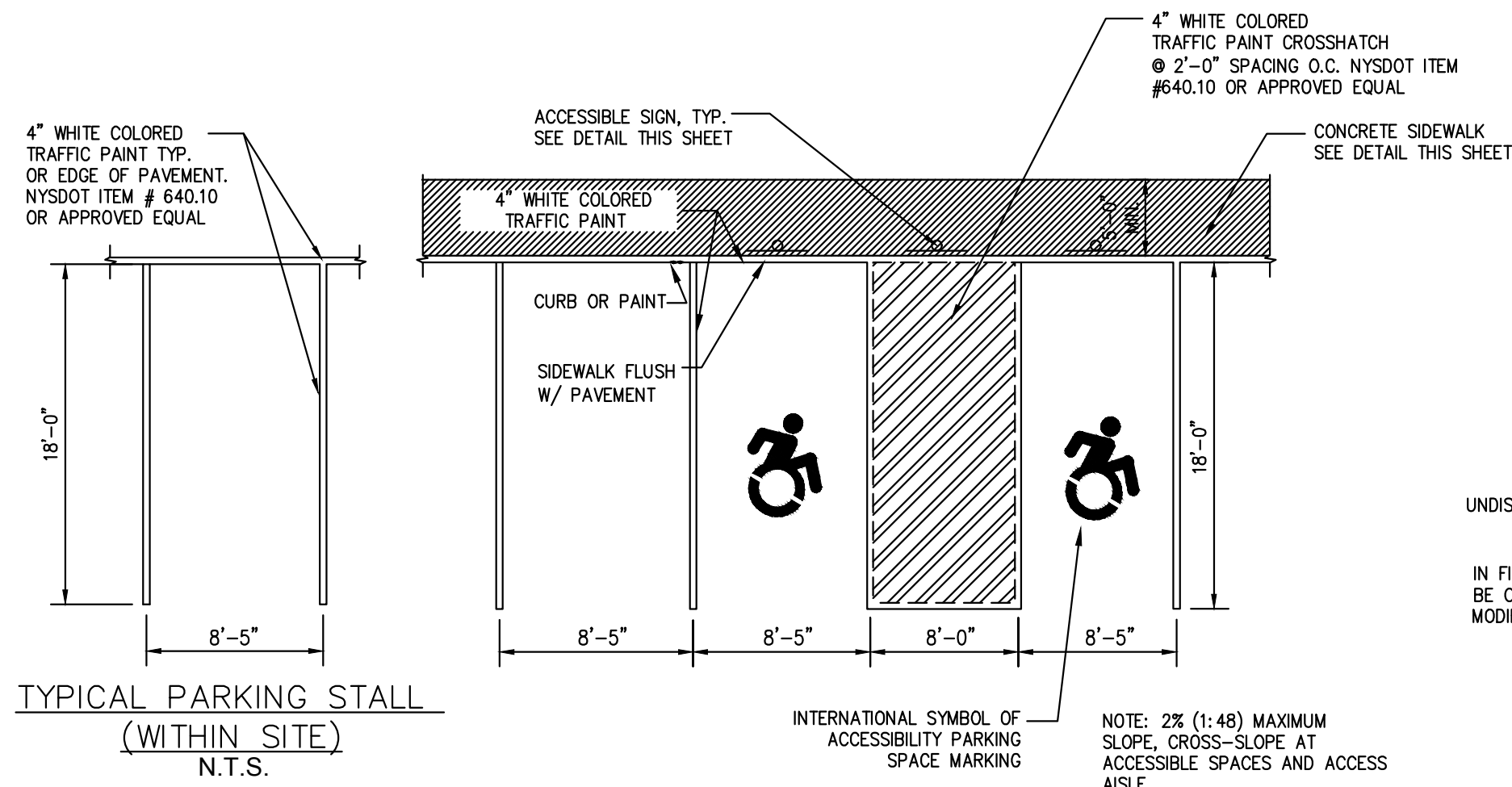
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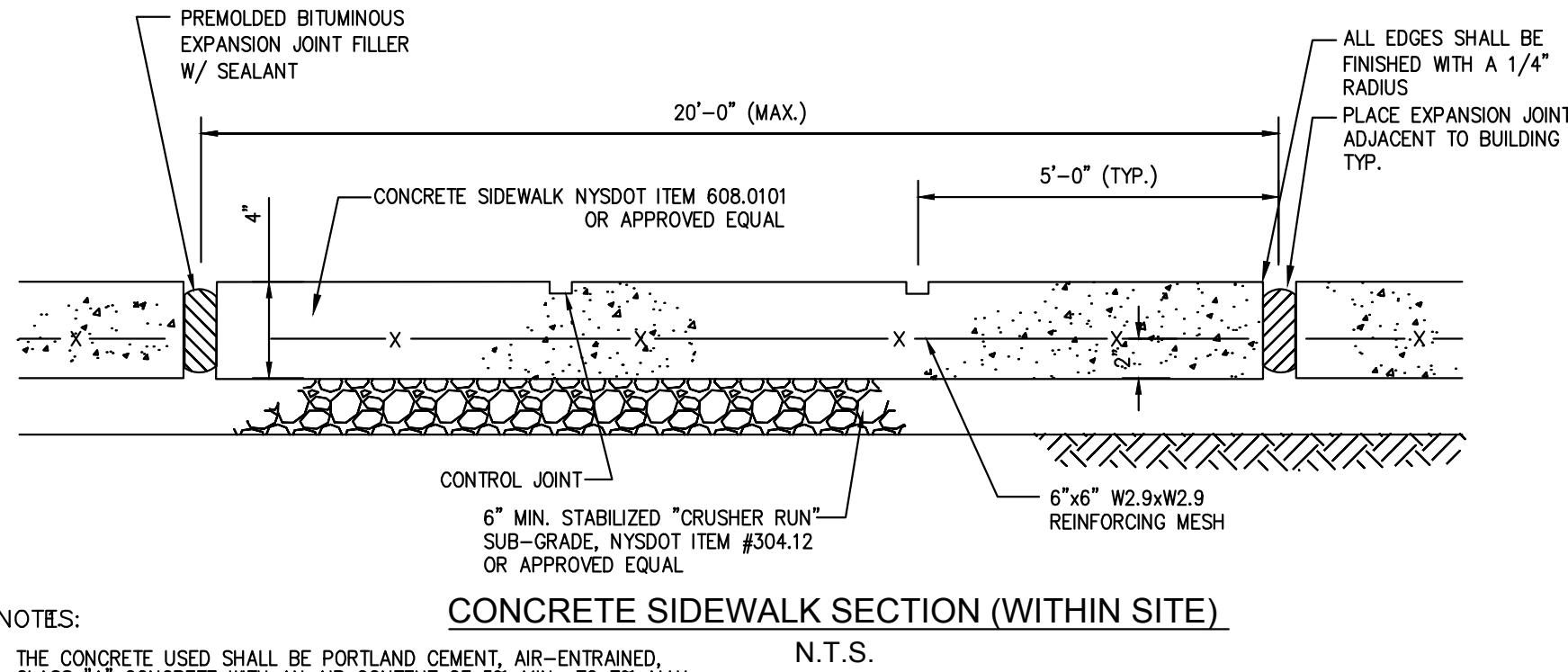
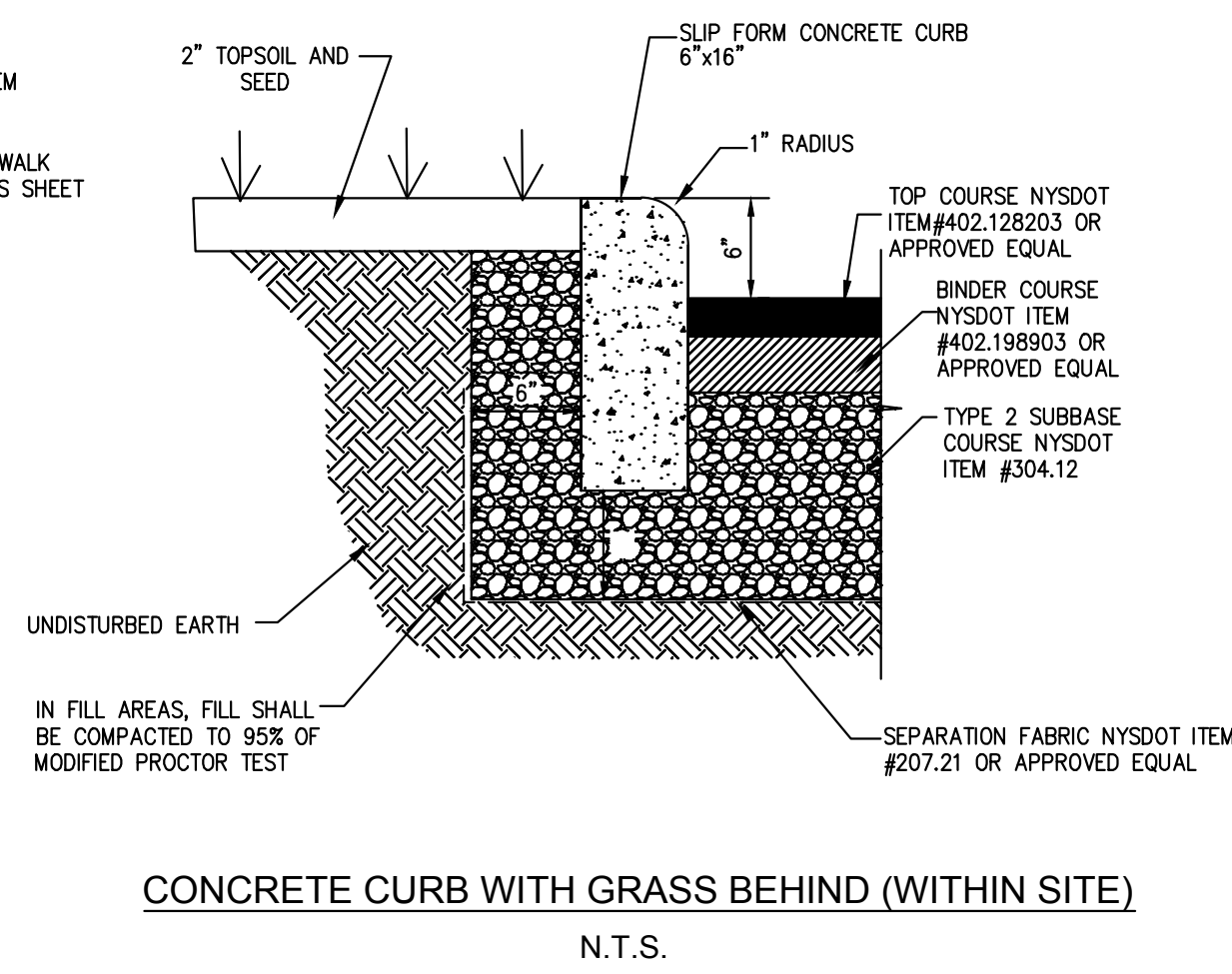
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DOUBLE DUMPSTER ENCLOSURE
N.T.S.

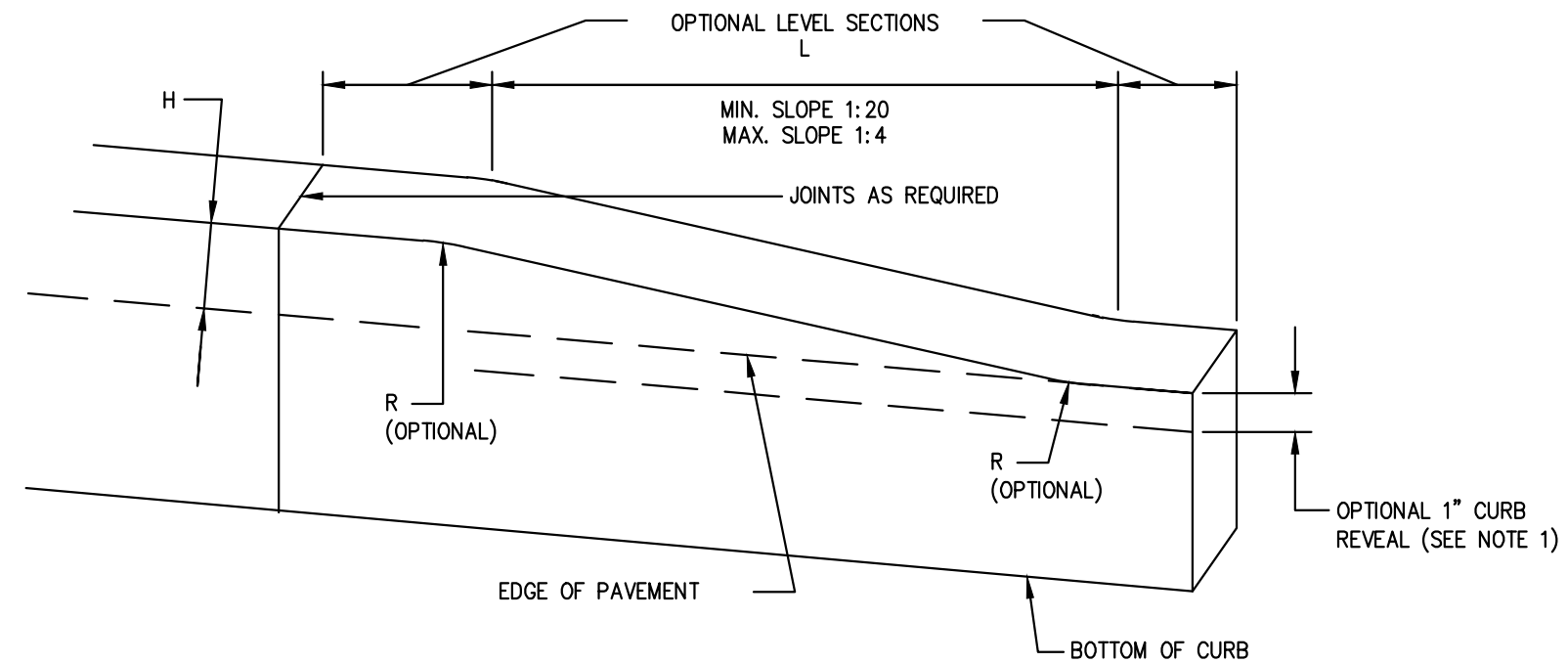


NYSOT CONCRETE DRIVEWAY APRON
N.T.S.



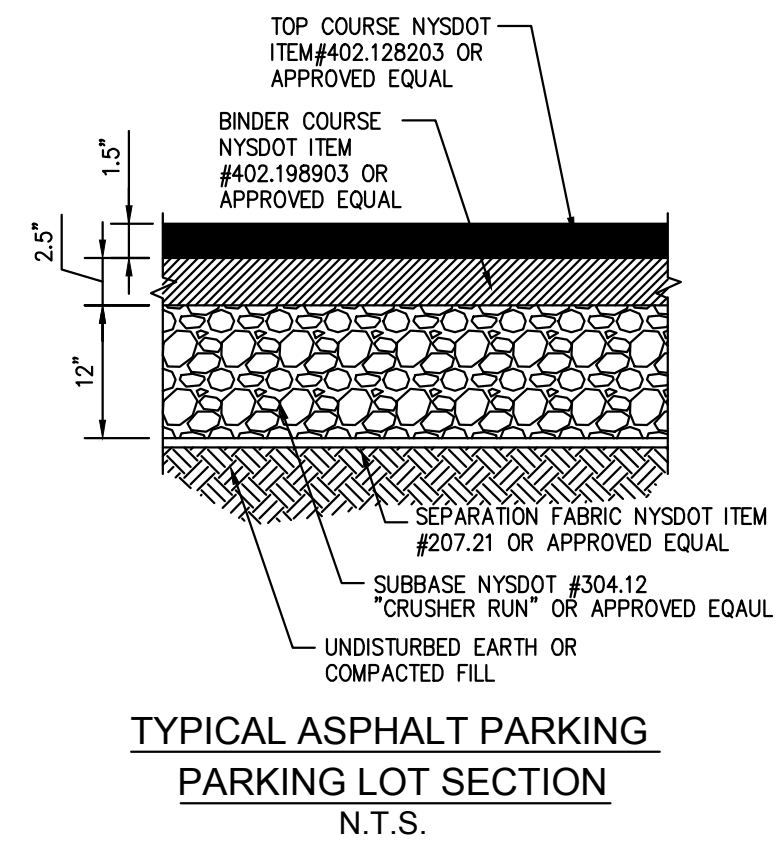
- NOTES:
- THE CONCRETE USED SHALL BE PORTLAND CEMENT, AIR-ENTRAINED, CLASS "A" CONCRETE WITH AN AIR CONTENT OF 5% MIN. TO 7% MAX., AND A SLUMP OF THREE INCHES, MIN., TO FIVE INCHES, MAX.
 - ALL CONCRETE SIDEWALK REPLACEMENT SHALL BE TO FULL PANEL LIMITS, PARTIAL PANEL REPLACEMENT SHALL NOT BE ALLOWED.
 - ALL CURBING SHALL BE RESET OR REPLACED IN KIND AS REQUIRED, CONSISTENT IN EVERY RESPECT WITH CITY SPECIFICATION.
 - ALL SIDEWALKS SHALL BE FINISHED WITH A MAGNESIUM FLOAT FINISH UNLESS DIRECTED OTHERWISE BY THE CITY.

CURB TRANSITION LENGTHS (L)			
SLOPE	1:4	1:12	1:20
4"	16"	48"	80"
6"	24"	72"	120"



- NOTES:
- USE 1" REVEAL AND CONTINUE CURB ACROSS DRIVEWAY ENTRANCES ONLY IF SHOWN ON DRIVEWAY DETAILS OR SPECIFIED IN CONTRACT DOCUMENTS, OR DIRECTED BY THE ENGINEER.

CONCRETE CURB TRANSITION DETAIL (WITHIN SITE)
N.T.S.



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Project Info.:
ENLARGEMENT
352 S RIVERSIDE AVENUE, NY 10520

Drawing Title:

DETAILS

Drawing No.: **D-001.00**

NOTE: Drawing may be printed at reduced scale

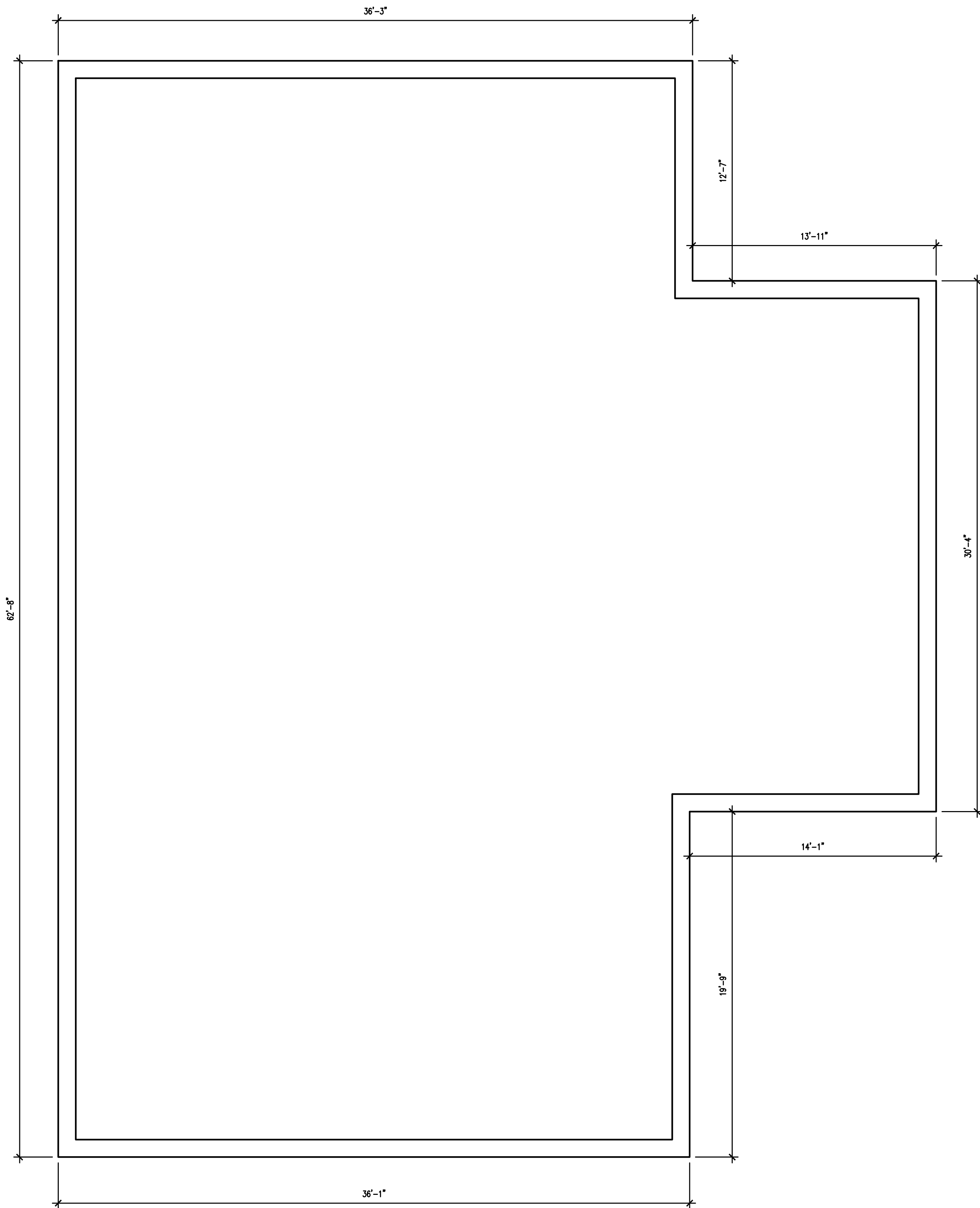
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Signature:



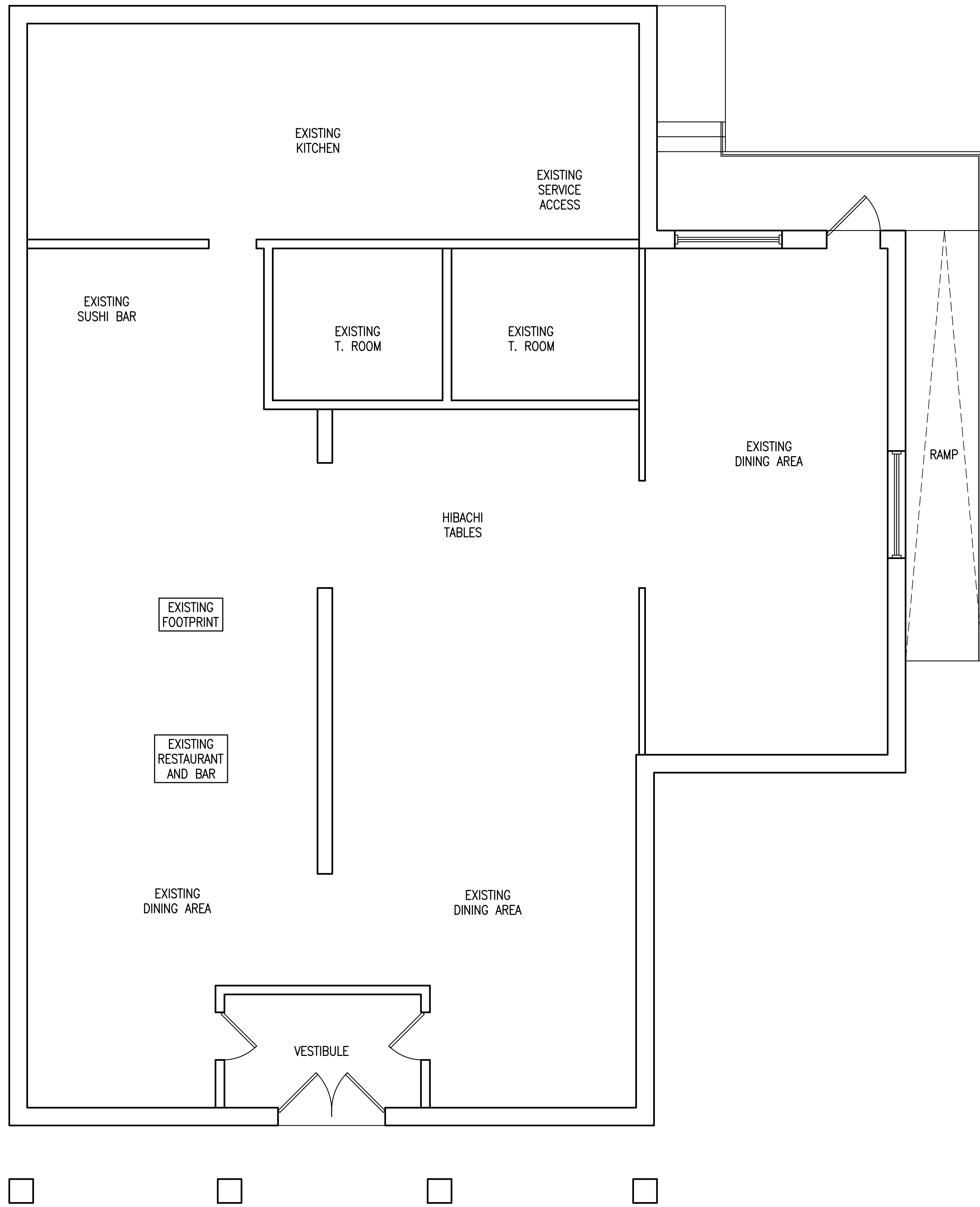
Drawn by: HT
Checked by:
No. of Sheet(s): 3 of 10

Job No. / DOB Sticker:

D.O.B APPROVAL STAMP



EXISTING/DEMO CELLAR FLOOR PLAN
SCALE: 1/4" = 1'-0"



EXISTING/DEMO 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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Project Info.:

ENLARGEMENT
352 S RIVERSIDE AVENUE, NY 10520

Drawing Title:

EXISTING /DEMO FLOOR PLANS

Drawing No.:

DM-001.00

NOTE: Drawing may be printed at reduced scale

Seal / Stamp: 

Drawn on: 3.13.2023

Signature:

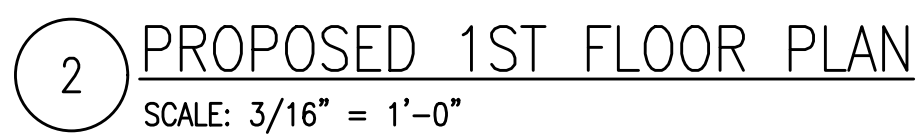
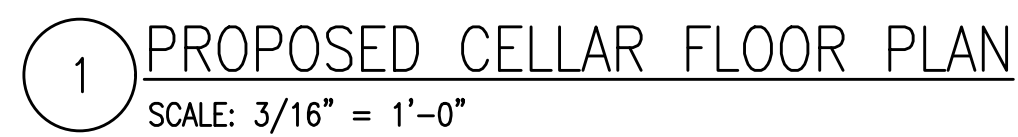
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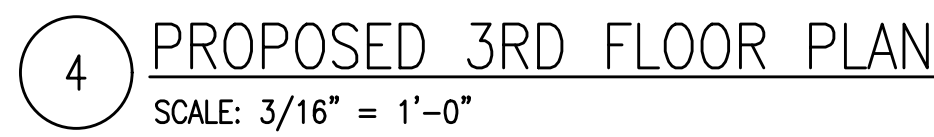
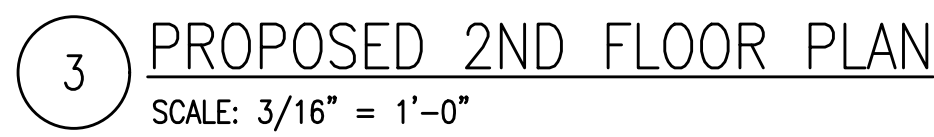
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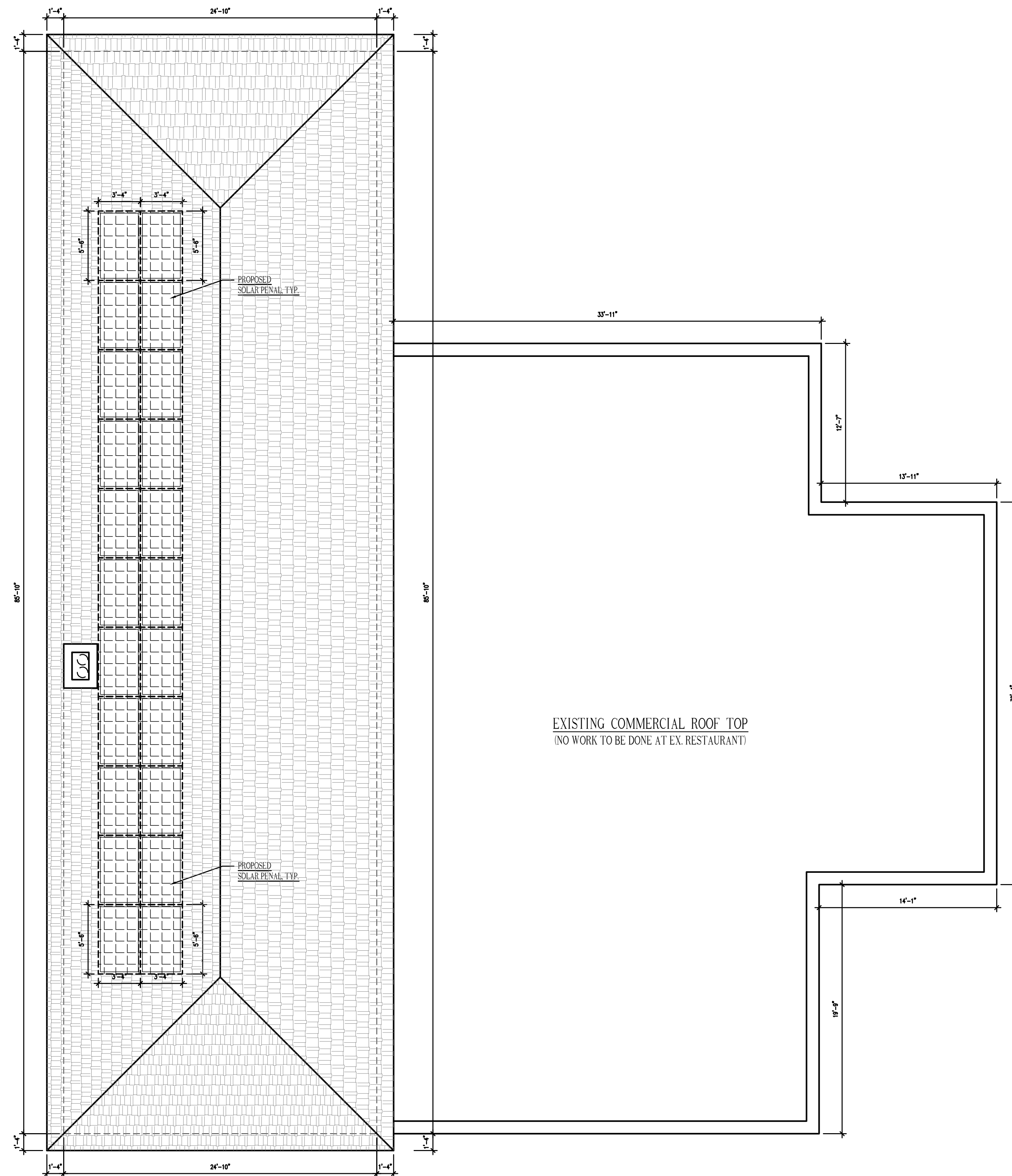
D.O.B APPROVAL STAMP



D.O.B APPROVAL STAMP



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No.:	Date:	Revision:
Project Info.:		
ENLARGEMENT		
352 S RIVERSIDE AVENUE, NY 10520		
Drawing Title:		
PROPOSED FLOOR PLANS		
Drawing No.:		
A-002.00		
NOTE: Drawing may be printed at reduced scale		
Seal / Stamp:	Drawn on: 3.13.2023	
	Signature:	
	Drawn by: HT	
	Checked by:	
No. of Sheet(s):		6 of 10
Job No. / DOB Sticker:		
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5 PROPOSED ROOF FLOOR PLAN
SCALE: 3/16" = 1'-0"

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Project Info.:

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Drawing Title:

PROPOSED FLOOR PLANS

Drawing No.:

A-003.00

NOTE: Drawing may be printed at reduced scale

Seal / Stamp:



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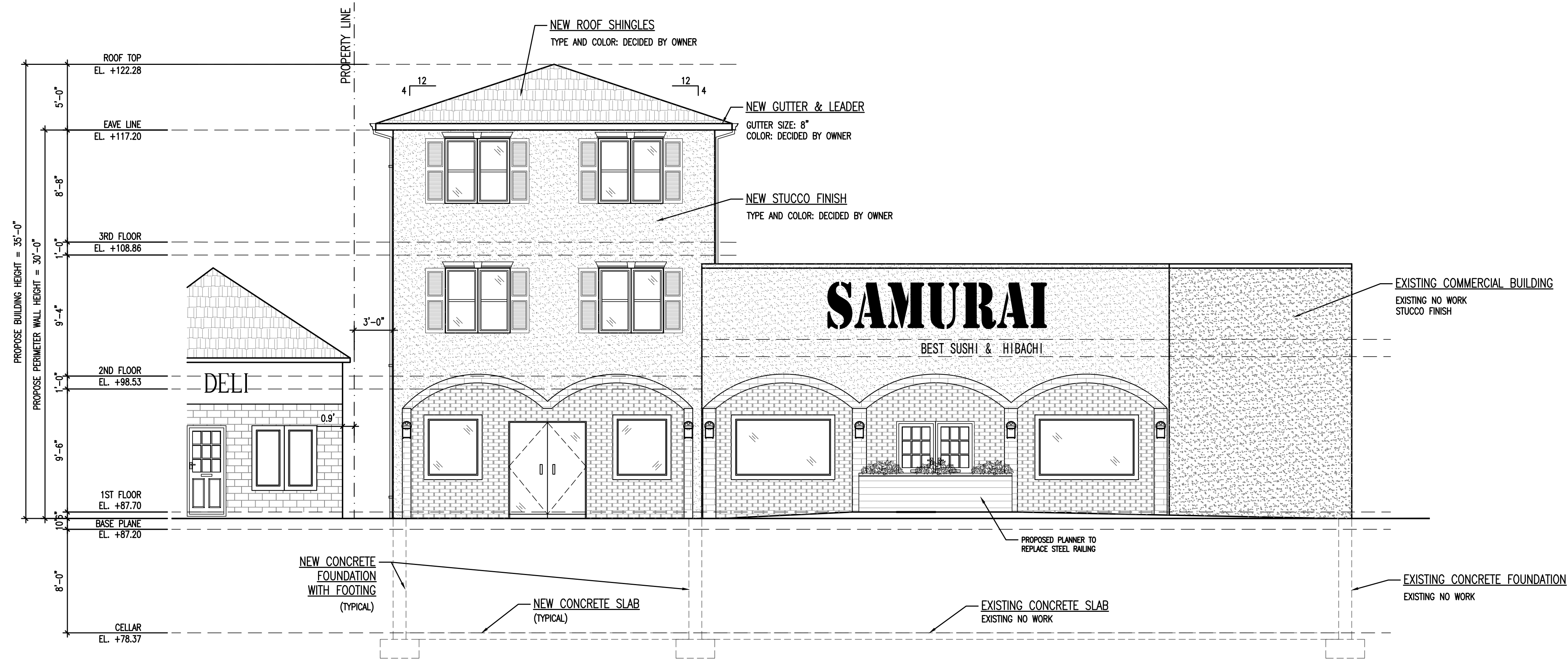
Drawn by: HT

Checked by:

No. of Sheet(s):
7 of 10

Job No. / DOB Sticker:

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FRONT BUILDING ELEVATION (NORTHEAST)
SCALE: 3/16" = 1'-0"



SIDE BUILDING ELEVATION (SOUTHEAST)
SCALE: 3/16" = 1'-0"

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Drawing Title:

PROPOSED ELEVATIONS

Drawing No.:

A-004.00

NOTE: Drawing may be printed at reduced scale

Seal / Stamp:

Signature:

Drawn on: 3.13.2023

Signature:

Drawn by: HT

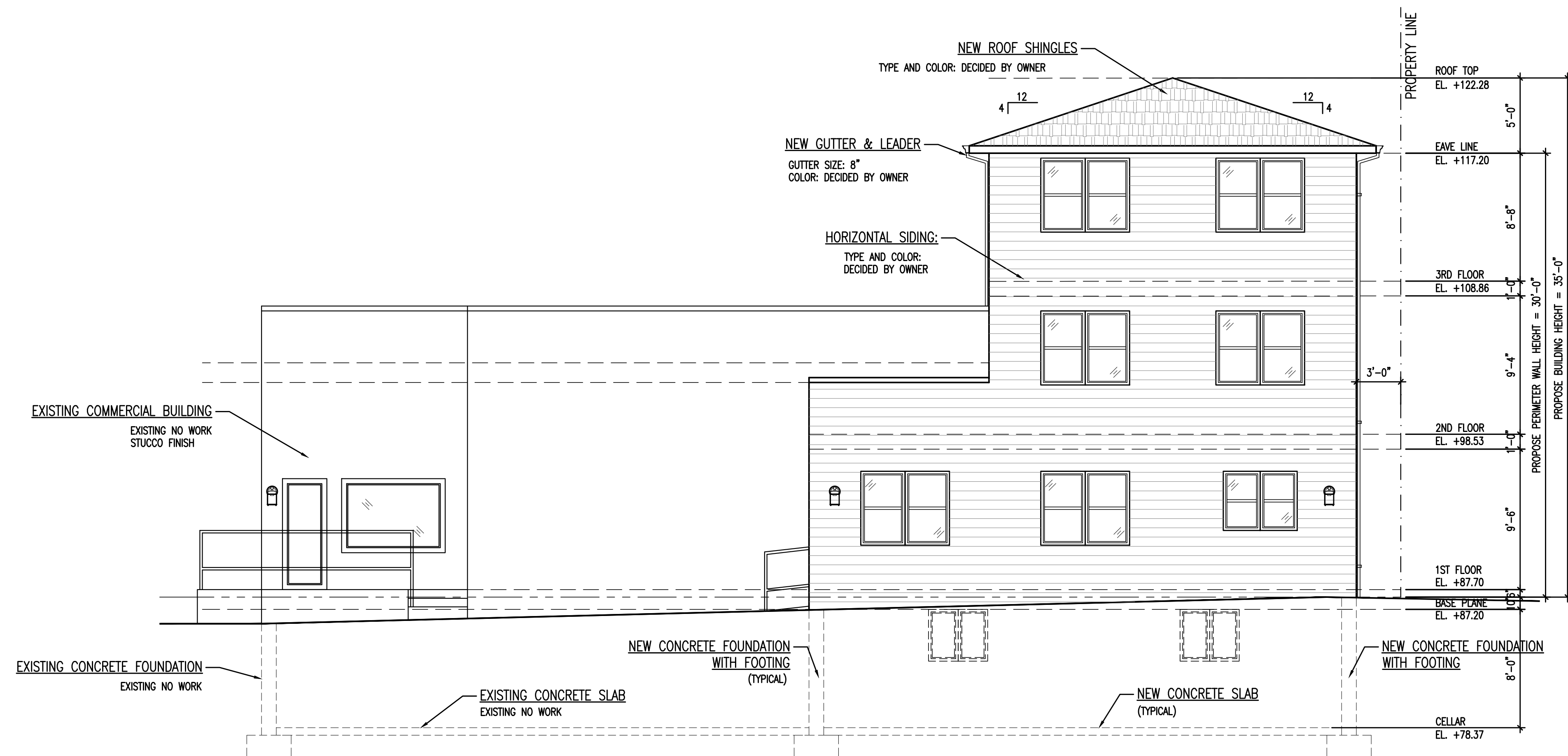
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No. of Sheet(s):

8 of 10

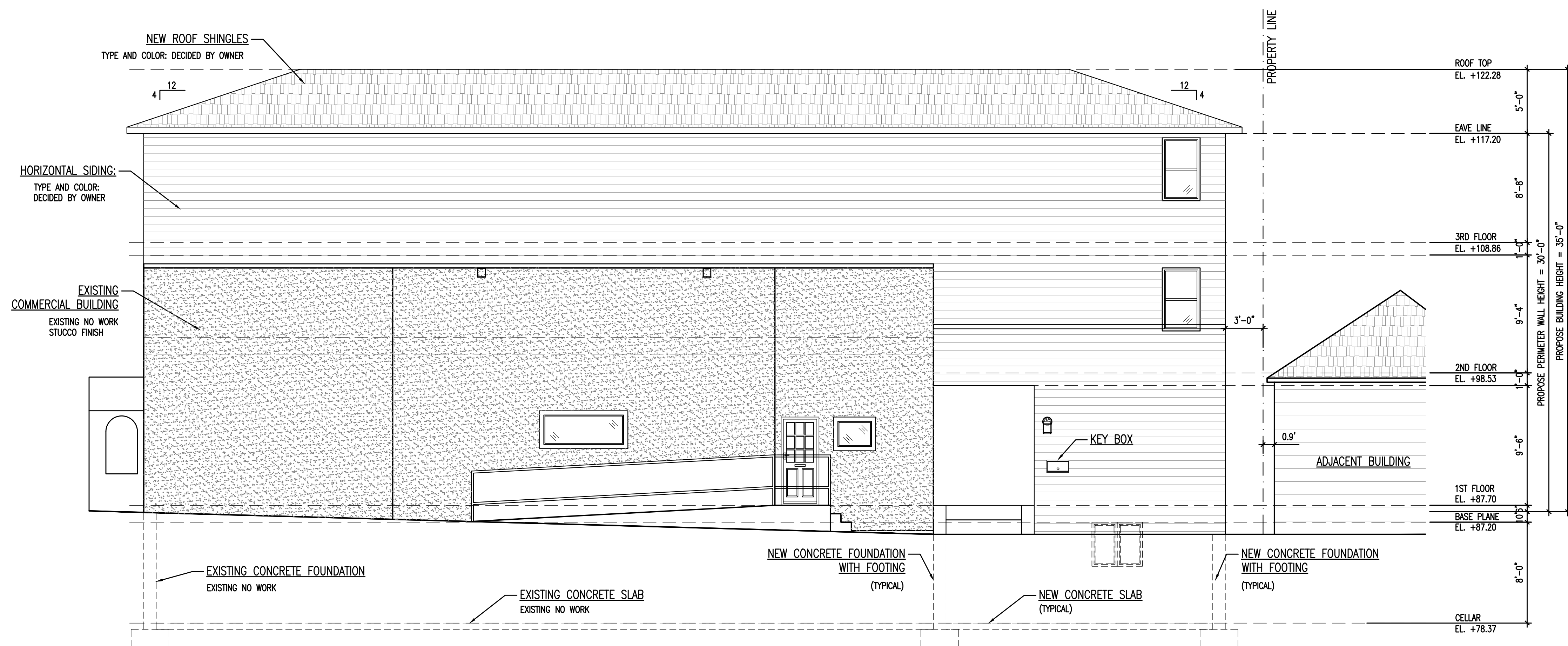
Job No. / DOB Sticker:

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REAR BUILDING ELEVATION (SOUTHWEST)

SCALE: $3/16" = 1'-0"$



FRONT BUILDING ELEVATION (NORTHWEST)

SCALE: $3/16" = 1'-0"$

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Drawing Title:

PROPOSED ELEVATIONS

Drawing No.:

A-005.00

NOTE: Drawing may be printed at reduced scale

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Signature: _____

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No. of Sheet(s):

9 of 10

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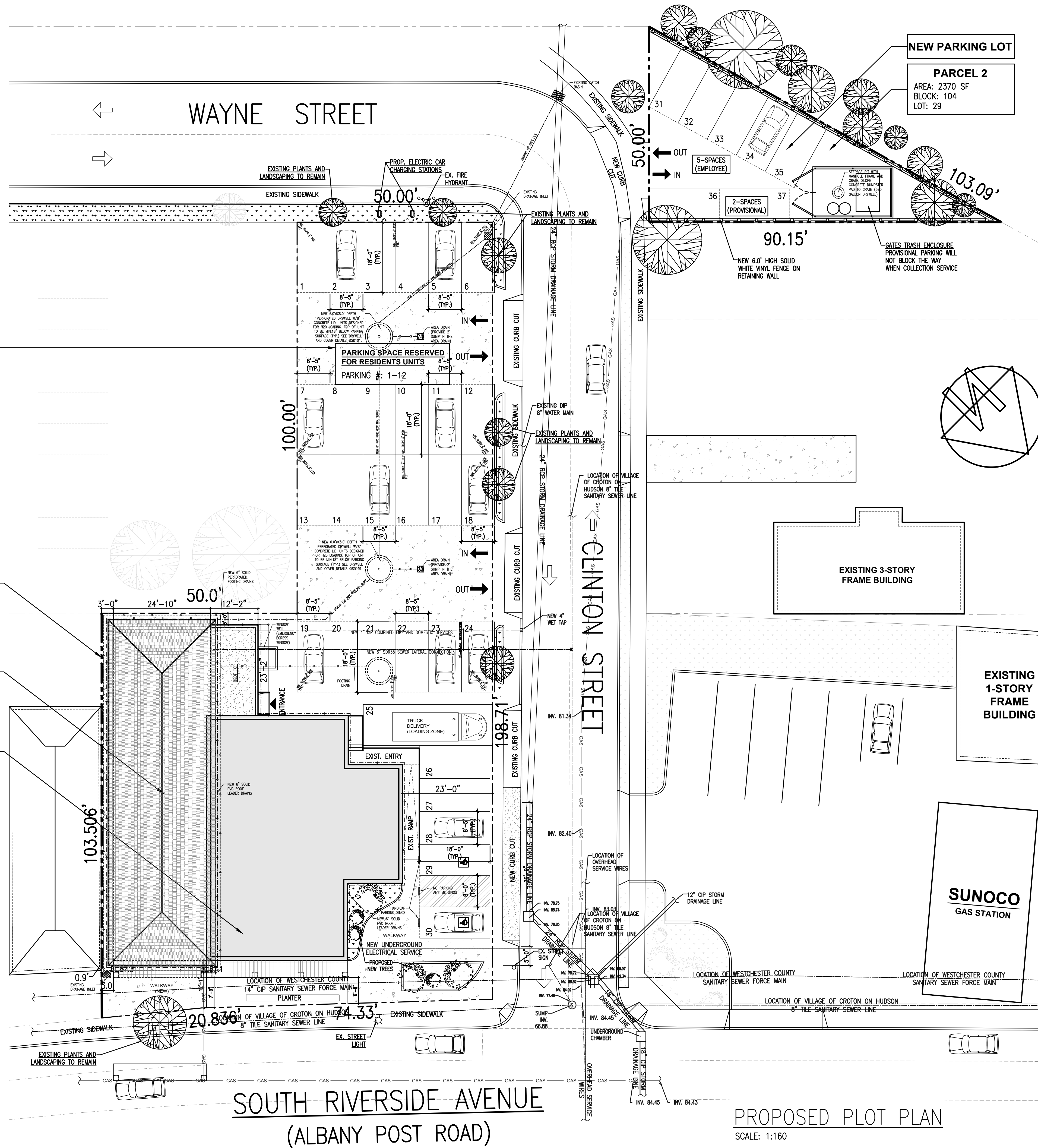
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No.:	Date:	Revision:
Project Info.:		
ENLARGEMENT 352 S RIVERSIDE AVENUE, NY 10520		
Drawing Title:		
BUILDING RENDERING		
Drawing No.:		
A-006.00		
NOTE: Drawing may be printed at reduced scale		
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	Signature:	
	Drawn by:	HT
	Checked by:	
	No. of Sheet(s):	10 of 10
Job No. / DOB Sticker:		
D.O.B APPROVAL STAMP		

EXISTING PARKING LOT
NEW PAINTED STRIPING AND ARROWS AT EXISTING ASPHALT PAVING ALL LINES (MARKINGS) TO BE U.S.D.O.T. APPROVED REFLECTIVE PAINT

PARCEL 1
AREA: 15,105 SF
BLOCK: 103
LOT: 1, 2, 3, 4, 23, 24

PROPOSED 3 STORY WITH CELLAR
USE: COMMERCIAL & RESIDENTIAL
AREA: 6487.9 SF

EXISTING 1 STORY WITH CELLAR
USE: COMMERCIAL & RESTAURANT & BAR
AREA: 2690.5 SF



LEGEND	
	ZONING LOT LINE
	FOOT DRAINAGE LINE
	ROOF DRAINAGE LINE
	STORM SEWER LINE
	SANITARY SEWER LINE
	WATER MAIN LINE
	OVERHEAD SERVICE WIRES
	GAS SERVICE LINE
	AREA DRAIN
	DRAINAGE INLET
	DRYWELL(S)
	SCRUBS
	PLANTINGS/TREES
	FIRE HYDRANT
	CATCH BASIN

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No.	Date	Revision
01	07/12/2023	Updated site plan for Village Examiner Review (3 trees)
02	12/02/2023	Updated site element (sewer & water lines)

Project Info.:
ENLARGEMENT
352 S RIVERSIDE AVENUE, NY 10520

Drawing Title:
**EXISTING/PROPOSED
SITE DEVELOPMENT PLAN**

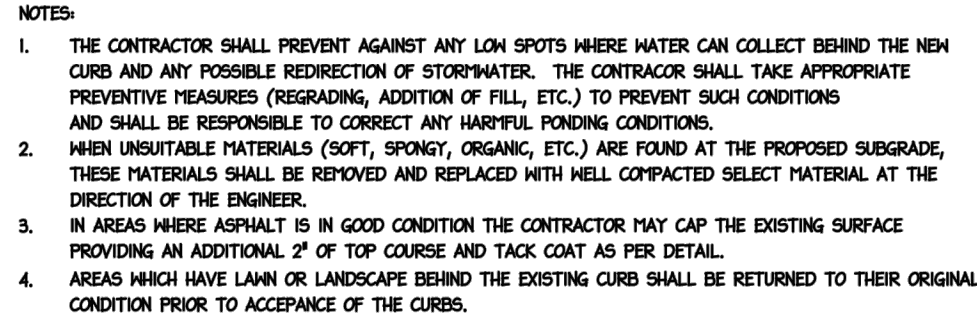
Drawing No.: **SD-100.00**

NOTE: Drawing may be printed at reduced scale

Seal / Stamp:	Drawn on: 07.06.2023
	Signature:
	Drawn by: V.L.
	Checked by:
	No. of Sheet(s): 1 of 2

Job No. / DOB Sticker:

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WATER MAINS PASSING UNDER SEWERS SHALL HAVE A VERTICAL CLEARANCE OF 10' MIN. BETWEEN THE SEWER AND THE WATER MAIN AND SHALL BE SUPPORTED AS DIRECTED BY THE ENGINEER. TO THE EXTENT FEASIBLE, JOINTS IN THE WATER MAIN SHALL BE KEPT AS FAR AS POSSIBLE FROM THE SEWER. WHERE AN 10' SEPARATION CANNOT BE OBTAINED DUE TO FIELD CONDITIONS, SEPARATE APPROVAL OF THE WESTCHESTER COUNTY HEALTH DEPT. SHALL BE REQUIRED.

* WHEN ASPHALT CONCRETE IS USED, IT SHALL CONSIST OF BASE, BINDER, AND TOP COURSES. THE TOTAL PAVEMENT THICKNESS SHALL MATCH EXISTING, UNLESS OTHERWISE REQUIRED BY THE REGION.

* WHEN "W" IS LESS THAN 10" CONTROLLED LOW STRENGTH BACKFILL MATERIAL SHALL BE USED. WHEN "W" IS 10" OR MORE, BACKFILL SHALL BE WITH SELECT GRANULAR MATERIAL FROM THE BOTTOM OF THE TRENCH TO THE BOTTOM OF THE SUBBASE COURSE. PLACEMENT SHALL BE AS DESCRIBED IN SECTION 200, EARTHWORK OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION CURRENT SPECIFICATIONS AND ADDENDA.

NOTES:

1. MANHOLE STEPS SHALL BE CAST IRON NEWBAM NO. R-1961-0 OR CASTELL FOUNDRY NO. 2699-1 OR POLYPROPYLENE COATED STEEL (SEE SPECIFICATIONS) OR APPROVED EQUAL.
2. UNLESS OTHERWISE SPECIFIED, SANITARY SEWER MANHOLES SHALL HAVE LETTERS "SEWER" AND STORM DRAIN MANHOLES SHALL HAVE LETTERS "DRAIN" CAST ON COVER. THE COVERS SHALL HAVE VENT HOLES.
3. MANHOLES WITH DEPTH (h) 12' OR GREATER SHALL BE FIVE (5) FEET IN DIAMETER.
4. MANHOLES SHALL MEET OR EXCEED A.S.T.M. AND O.S.H.A. REQUIREMENTS.
5. SEE "NOTES PERTAINING TO MANHOLES" ON THIS DRAWING.

RUBBER BOOT CONNECTION SECURED
STAINLESS STEEL STRAPPING ACP CO
A-LOK OR APPROVED EQUAL. (REQUIR
SANITARY SEWER MANHOLES ONLY)

APPROVED COMPACT
FOUNDATION COURSE

SUMP DETAILS
SCALE: N.T.S.

SECTION A-A
SCALE: N.T.S.

SECTION B-B
SCALE: N.T.S.

SECTION OF FRAME
SCALE: N.T.S.

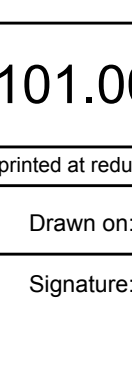
SECTION OF COVER
SCALE: N.T.S.

**MACHINE BEARING RIM
FOR 1½" TO A SMOOTH
PLANE SURFACE**

DRYWELL SECTION / DETAIL
SCALE: N.T.S.

PLAN

SECTION B-B

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No.:	Date:	Revision:
Project Info.:		
ENLARGEMENT		
352 S RIVERSIDE AVENUE, NY 10520		
Drawing Title:		
PROPOSED SITE DETAILS		
Drawing No.:		
SD-101.00		
NOTE: Drawing may be printed at reduced scale		
Seal / Stamp:	Drawn on:	07.06.2023
	Signature:	
	Drawn by:	V.L.
	Checked by:	
	No. of Sheet(s):	2 of 2
Job No. / DOB Sticker:		
D.O.B APPROVAL STAMP		