

1 CROTON POINT

1 CROTON POINT AVENUE, CROTON-ON-HUDSON, NY 10520



PLANNING BOARD ISSUE
08.06.24

PROJECT

1 CROTON POINT
CONDOMINIUM

ärkøtekchør

TEAM

SPONSOR/DEVELOPER

WSP DEVELOPMENT LLC
480 NORTH BEDFORD ROAD, CHAPPAQUA, NY 10514
T: 914.347.3333

CONTRACTOR

GRIFFIN CONSTRUCTION LLC
480 NORTH BEDFORD ROAD, CHAPPAQUA, NY 10514
T: 914.347.3333

ARCHITECT

ÄRKØTEKCHØR
6 AMERICO CIRCLE, OSSING NY 10562
T: 914.902.3800

GEOTECHNICAL ENGINEER

SESI CONSULTING ENGINEERS
959 ROUTE 46E, FLOOR 3, SUITE 300, PARSONS, NJ 07654
T: 862.702.2719

CIVIL ENGINEER

INSTE ENGINEERING
3 GARRETT PLACE, CAMEL, NY 10512
T: 845.225.9690

ENVIRONMENTAL ENGINEER

KSQ CONSULTING
500 MAIN STREET, ARMONK, NY 10504
T: 914.273.2323

REVISIONS

07.17.24	VILLAGE BOARD SPECIAL PERMIT APPLICATION
08.06.24	PLANNING BOARD ISSUE

ADDRESS

1 CROTON POINT AVENUE
CROTON, NY 10520



© ÄRKØTEKCHØR ARCHITECTURE OPC

PROJECT No. 23017

TITLE

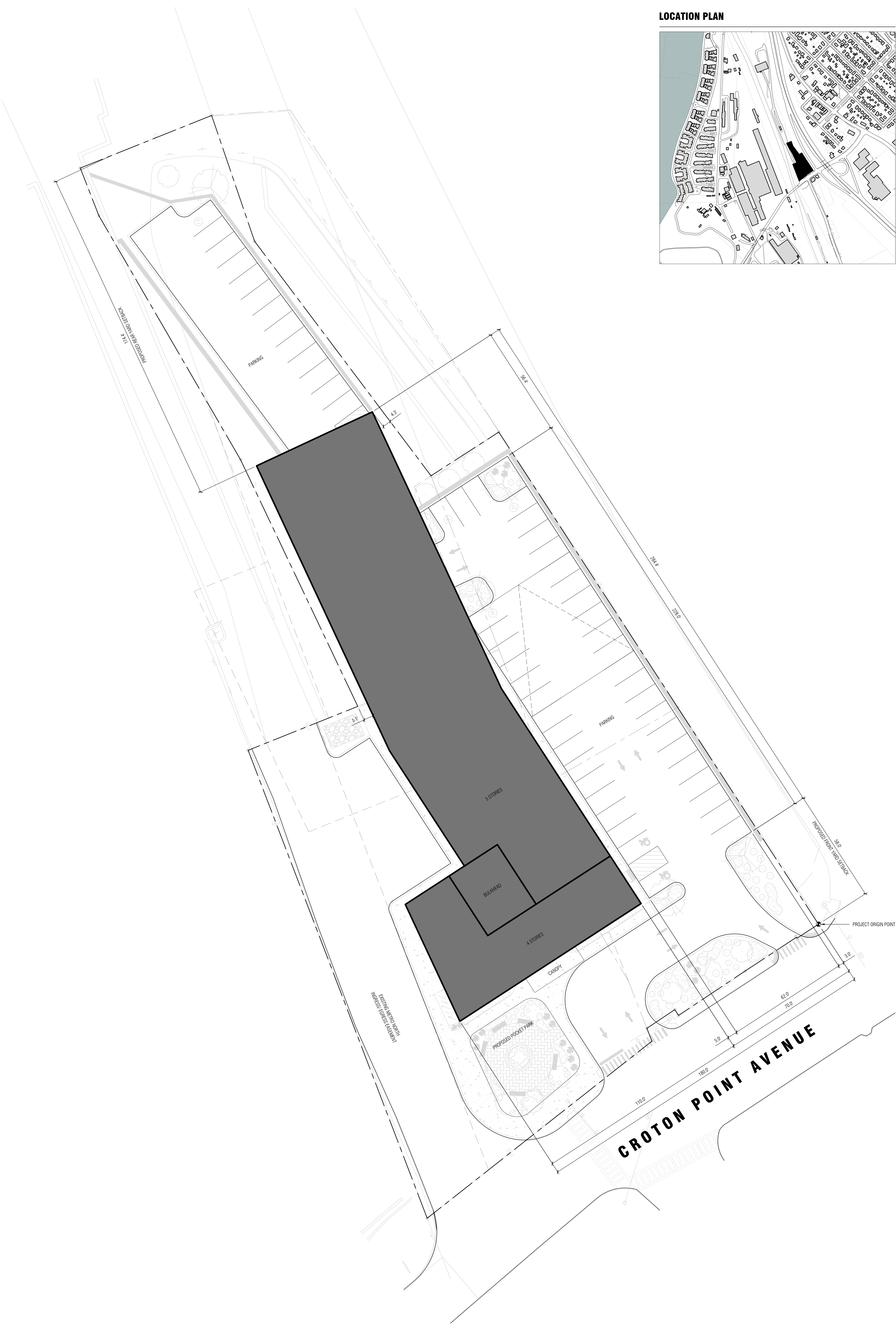
TITLE SHEET

SCALE

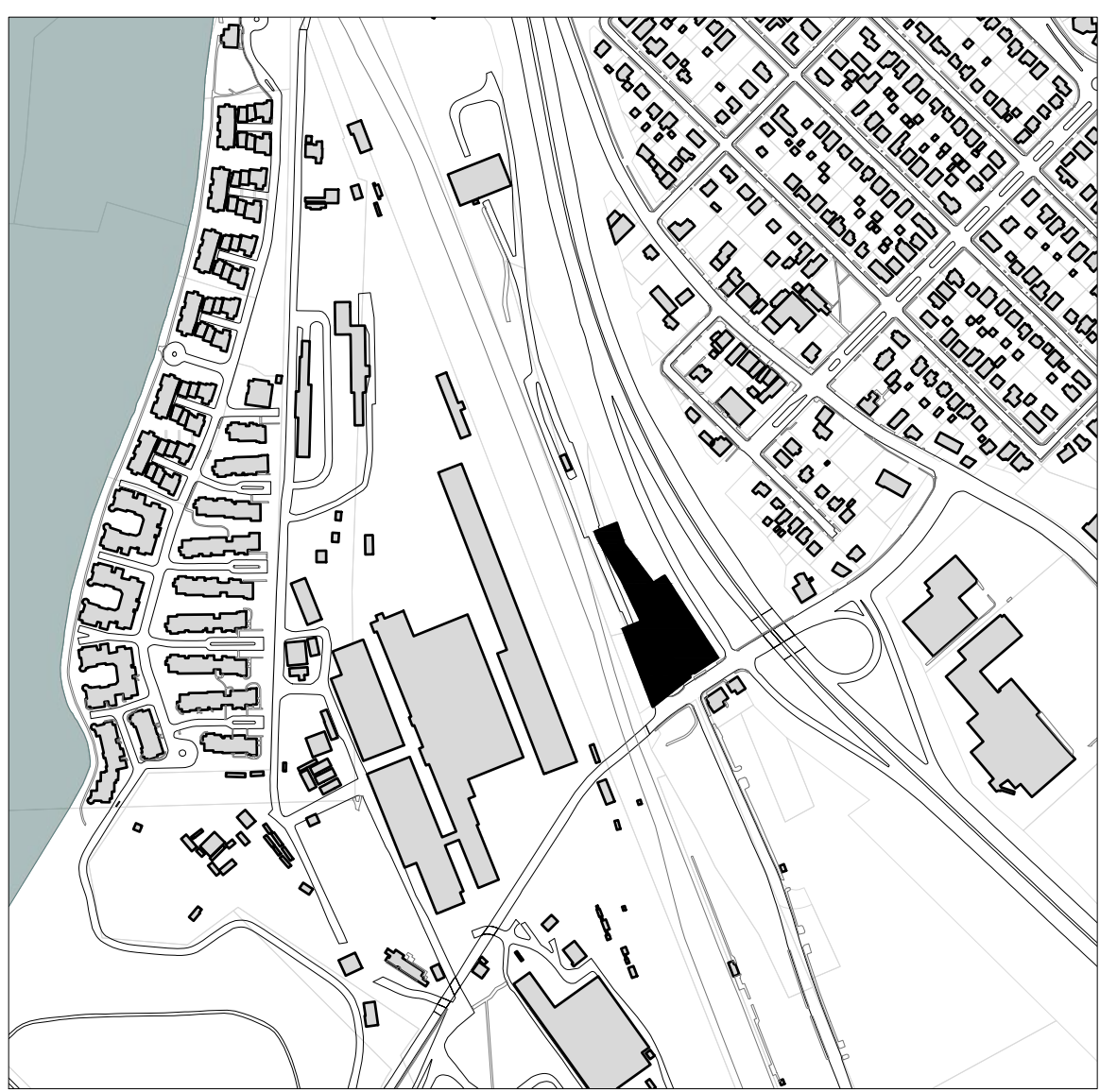
NTS

No.

T-001.00



LOCATION PLAN



ZONING COMPLIANCE NOTES

- (a) N/A
- (b) PARKING SPACE REQUIREMENTS ARE CUMULATIVE FOR ALL USES ON ONE LOT
- (c) BUILDING HEIGHT REQUIREMENTS ARE SUBJECT TO BOTH STORY AND FOOT LIMITATIONS
- (d) SETBACKS FOR TRANSIT ORIENTED DEVELOPMENT OF MIXED USE OR MULTI-FAMILY RESIDENTIAL SHALL BE DETERMINED BY THE BOARD OF TRUSTEES AS PART OF THE SPECIAL PERMIT REVIEW BASED UPON THE BEST LAYOUT FOR THE PARTICULAR LOT
- (e) THE BOARD OF TRUSTEES SHALL HAVE THE DISCRETION TO REQUIRE ADDITIONAL PARKING FOR RESIDENTIAL LIMITS

PARKING

FLOOR	TOTAL
REQUIRED	100 spaces
PROPOSED	40 spaces
LOT A	10 spaces
LOT B	13 spaces
GARAGE	47 spaces
TOTAL	100 spaces

UNIT SCHEDULE

FLOOR	UNIT TYPE		
	1-80	2-80	TOTAL
BL1			
3TH	8 units	9 units	17 units
4TH	10 units	12 units	22 units
5TH	10 units	12 units	22 units
6TH	10 units	12 units	22 units
7TH	10 units	12 units	22 units
8TH	10 units	12 units	22 units
9TH	10 units	12 units	22 units
10TH	10 units	12 units	22 units
11TH	10 units	12 units	22 units
12TH	10 units	12 units	22 units
13TH	10 units	12 units	22 units
14TH	10 units	12 units	22 units
15TH	10 units	12 units	22 units
16TH	10 units	12 units	22 units
17TH	10 units	12 units	22 units
18TH	10 units	12 units	22 units
19TH	10 units	12 units	22 units
20TH	10 units	12 units	22 units
21TH	10 units	12 units	22 units
22TH	10 units	12 units	22 units
23TH	10 units	12 units	22 units
24TH	10 units	12 units	22 units
25TH	10 units	12 units	22 units
26TH	10 units	12 units	22 units
27TH	10 units	12 units	22 units
28TH	10 units	12 units	22 units
29TH	10 units	12 units	22 units
30TH	10 units	12 units	22 units
31TH	10 units	12 units	22 units
32TH	10 units	12 units	22 units
33TH	10 units	12 units	22 units
34TH	10 units	12 units	22 units
35TH	10 units	12 units	22 units
36TH	10 units	12 units	22 units
37TH	10 units	12 units	22 units
38TH	10 units	12 units	22 units
39TH	10 units	12 units	22 units
40TH	10 units	12 units	22 units
41TH	10 units	12 units	22 units
42TH	10 units	12 units	22 units
43TH	10 units	12 units	22 units
44TH	10 units	12 units	22 units
45TH	10 units	12 units	22 units
46TH	10 units	12 units	22 units
47TH	10 units	12 units	22 units
48TH	10 units	12 units	22 units
49TH	10 units	12 units	22 units
50TH	10 units	12 units	22 units
51TH	10 units	12 units	22 units
52TH	10 units	12 units	22 units
53TH	10 units	12 units	22 units
54TH	10 units	12 units	22 units
55TH	10 units	12 units	22 units
56TH	10 units	12 units	22 units
57TH	10 units	12 units	22 units
58TH	10 units	12 units	22 units
59TH	10 units	12 units	22 units
60TH	10 units	12 units	22 units
61TH	10 units	12 units	22 units
62TH	10 units	12 units	22 units
63TH	10 units	12 units	22 units
64TH	10 units	12 units	22 units
65TH	10 units	12 units	22 units
66TH	10 units	12 units	22 units
67TH	10 units	12 units	22 units
68TH	10 units	12 units	22 units
69TH	10 units	12 units	22 units
70TH	10 units	12 units	22 units
71TH	10 units	12 units	22 units
72TH	10 units	12 units	22 units
73TH	10 units	12 units	22 units
74TH	10 units	12 units	22 units
75TH	10 units	12 units	22 units
76TH	10 units	12 units	22 units
77TH	10 units	12 units	22 units
78TH	10 units	12 units	22 units
79TH	10 units	12 units	22 units
80TH	10 units	12 units	22 units
81TH	10 units	12 units	22 units
82TH	10 units	12 units	22 units
83TH	10 units	12 units	22 units
84TH	10 units	12 units	22 units
85TH	10 units	12 units	22 units
86TH	10 units	12 units	22 units
87TH	10 units	12 units	22 units
88TH	10 units	12 units	22 units
89TH	10 units	12 units	22 units
90TH	10 units	12 units	22 units
91TH	10 units	12 units	22 units
92TH	10 units	12 units	22 units
93TH	10 units	12 units	22 units
94TH	10 units	12 units	22 units
95TH	10 units	12 units	22 units
96TH	10 units	12 units	22 units
97TH	10 units	12 units	22 units
98TH	10 units	12 units	22 units
99TH	10 units	12 units	22 units
100TH	10 units	12 units	22 units

ZONING - AREA AND BULK SCHEDULE

	DISTRICT	CODE TEXT SECTION	MINIMUM LOT AREA (sq ft)	MINIMUM LOT WIDTH (ft)	MINIMUM LOT DEPTH (ft)	MINIMUM YARDS (ft)			FLOOR AREA RATIO	MAXIMUM HEIGHT (stories/ft)	BUILDING HEIGHT RATIO	REQUIRED OFF-STREET PARKING
						FRONT	SIDE ONE/ BOTH	REAR				
REQUIRED	TODLU	LL No. 14	10,000 sq ft	-	-	(a)	(a)	(a)	1.20	5 stories	-	1 space per unit
EXISTING			76,821 sq ft	-	-	-	-	-	-	-	-	-
PROPOSED			no change	-	-	56	4.9/ 9.4	174	1.10	5 stories/ 58 ft	-	1 space per unit
COMPLIANCE			complies	n/a	n/a	complies	complies	complies	complies	n/a	-	complies

FLOOR AREA SCHEDULE

FLOOR	GROSS FLOOR AREA SUBTOTALS						GROSS FLOOR AREA	ZONING FLOOR AREA
	RESIDENTIAL	CORE/ CORRIDOR	LOBBY/ MAIL	INDOOR AMENITY	MEP	PARKING		
BL1		1,076 sf					1,076 sf	0 sf
5TH	13,580 sf	2,941 sf		1,103 sf			17,624 sf	13,580 sf
4TH	18,752 sf	3,153 sf					21,905 sf	18,752 sf
3RD	18,752 sf	3,153 sf					21,905 sf	18,752 sf
2ND	18,752 sf	3,153 sf					21,905 sf	18,752 sf
1ST	14,488 sf	2,669 sf	2,278 sf	1,839 sf	630 sf		21,905 sf	14,488 sf
CELLAR					2,488 sf	19,020 sf	21,508 sf	0 sf
	84,324 sf	16,144 sf	2,278 sf	2,042 sf	3,118 sf	19,020 sf	127,827 sf	84,324 sf
								66%

PROJECT

1 CROTON POINT
CONDOMINIUM

ärkøtekchør

TEAM

SPONSOR/ DEVELOPER
WSP DEVELOPMENT LLC
480 NORTH BEDFORD ROAD, CHAPPAQUA, NY 10514
T: 914.347.3333

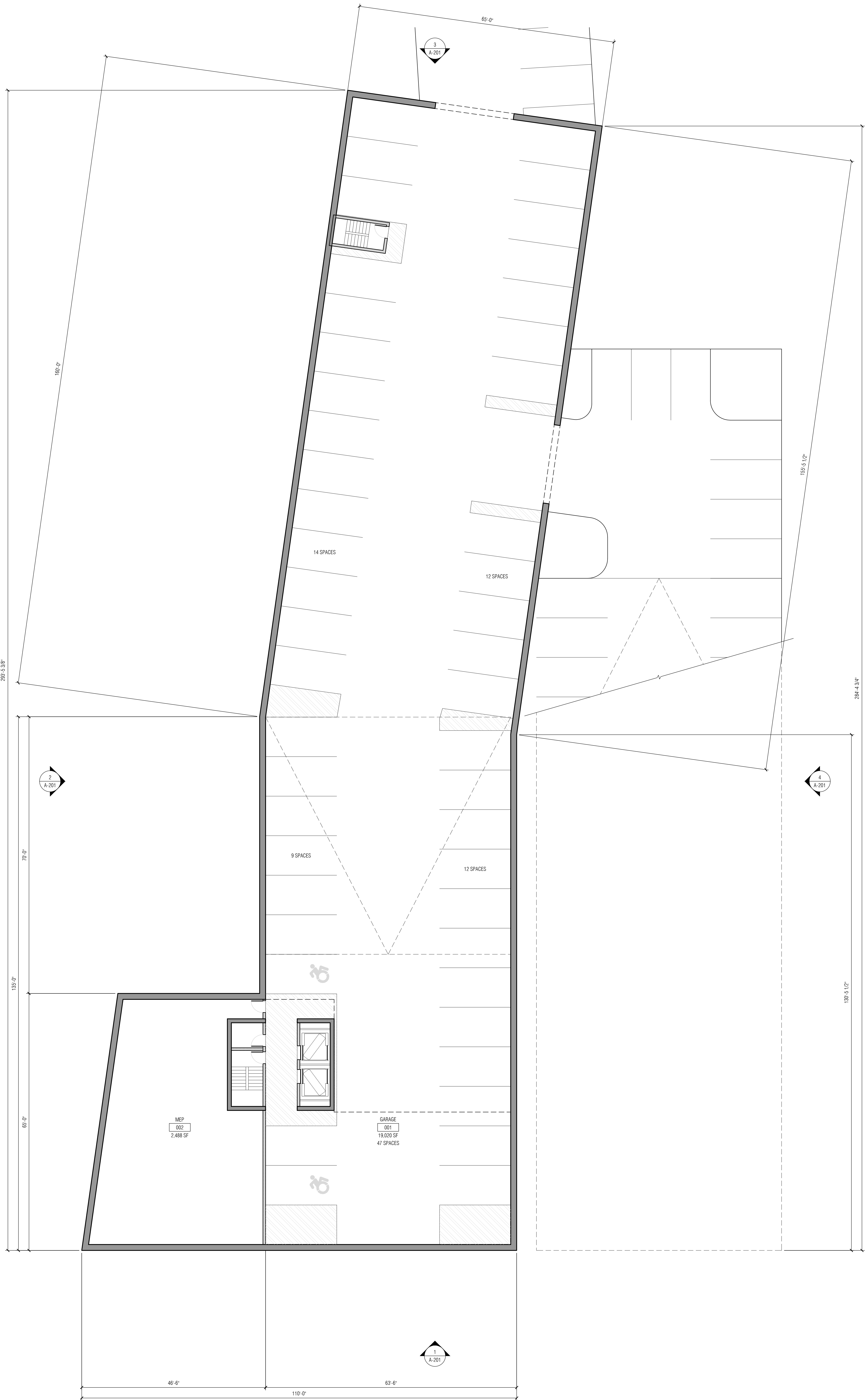
CONTRACTOR
GRIFFIN CONSTRUCTION LLC
480 NORTH BEDFORD ROAD, CHAPPAQUA, NY 10514
T: 914.347.3333

ARCHITECT
ARKETEKCHØR
6 AMERICO CIRCLE, OSSING NY 10562
T: 914.702.2500

GEOTECHNICAL ENGINEER
SESI CONSULTING ENGINEERS
959 ROUTE 46E, FLOOR 3, SUITE 300, PARSONS, NJ 07054
T: 862.702.2719

CIVIL ENGINEER
INSTE ENGINEERING
3 GARRETT PLACE, CAMEL, NY 10512
T: 845.225.9690

ENVIRONMENTAL ENGINEER
KSCJ CONSULTING
500 MAIN STREET, ARMONK, NY 10504
T: 914.273.2323



REVISIONS

07.17.24 VILLAGE BOARD SPECIAL PERMIT APPLICATION
08.06.24 PLANNING BOARD ISSUE

ADDRESS

1 CROTON POINT AVENUE
CROTON, NY 10520

SEAL



© ARKETEKCHØR ARCHITECTURE OPC

PROJECT No.

23017

TITLE

BASEMENT FLOOR PLAN

SCALE

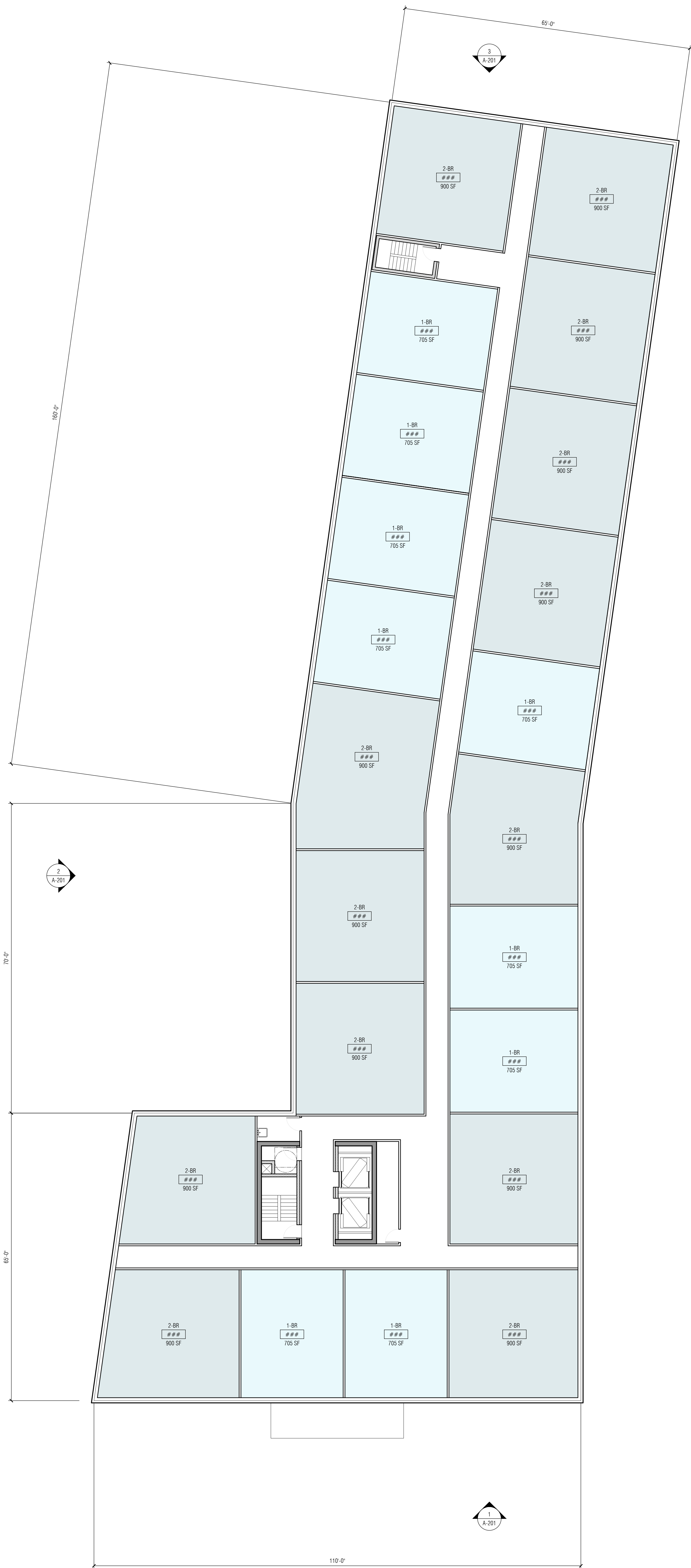
3/32" = 1'-0"

No.

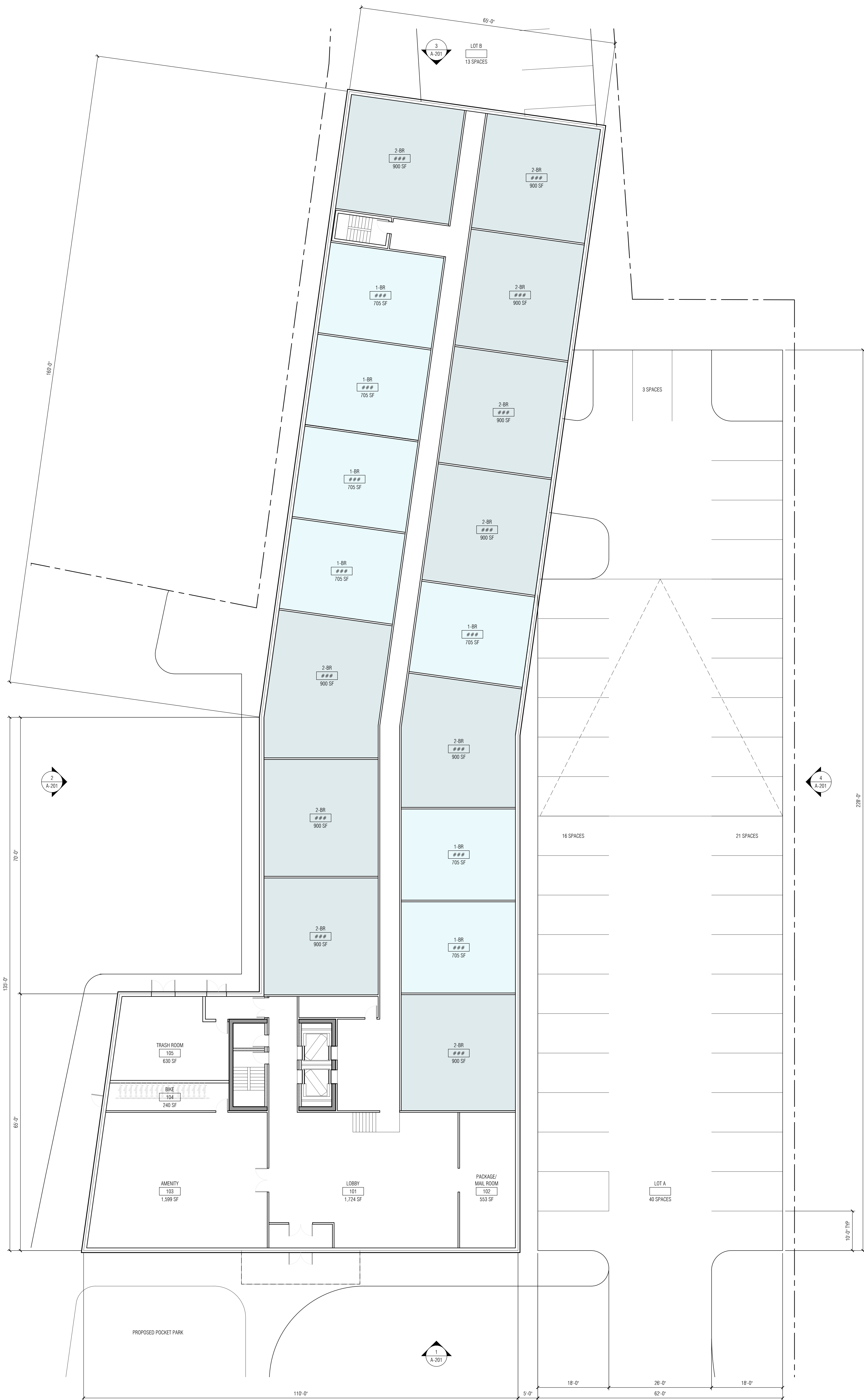
A-100.00

1 BASEMENT FLOOR PLAN

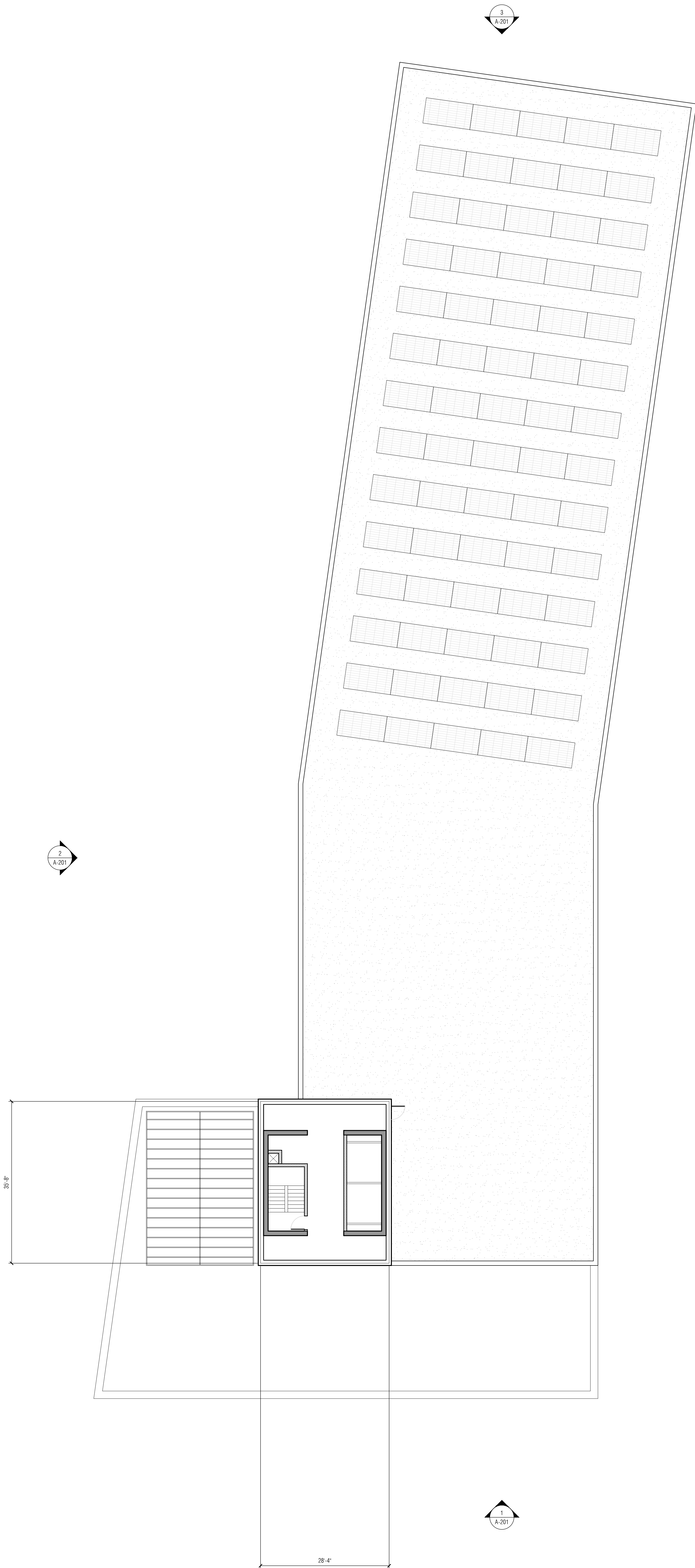
3/32" = 1'-0"



2 2ND - 4TH FLOOR PLAN
3/32" = 1'-0"



1 1ST FLOOR PLAN
3/32" = 1'-0"



2 ROOF PLAN
3/32" = 1'-0"



1 5TH FLOOR PLAN
3/32" = 1'-0"

PROJECT
**1 CROTON POINT
CONDOMINIUM**

ärkøtekchør

TEAM

SPONSOR/ DEVELOPER
WSP DEVELOPMENT LLC
480 NORTH BEDFORD ROAD, CHAPPAQUA, NY 10514
T: 914.347.3333

CONTRACTOR
GRIFPIN CONSTRUCTION LLC
480 NORTH BEDFORD ROAD, CHAPPAQUA, NY 10514
T: 914.347.3333

ARCHITECT
ARKETEKCHØR
6 AMERICO CIRCLE, OSSING NY 10562
T: 914.902.3586

GEOTECHNICAL ENGINEER
SESI CONSULTING ENGINEERS
959 ROUTE 90E, FLOOR 3, SUITE 300, PARSONS PARK, NJ 07054
T: 862.702.5719

CIVIL ENGINEER
INSTE ENGINEERING
3 GARRETT PLACE, CARMEL, NY 10512
T: 845.225.9690

ENVIRONMENTAL ENGINEER
KSCJ CONSULTING
500 MAIN STREET, ARMONK, NY 10504
T: 914.273.2323

REVISIONS
07.17.24 VILLAGE BOARD SPECIAL PERMIT APPLICATION
08.06.24 PLANNING BOARD ISSUE

ADDRESS

**1 CROTON POINT AVENUE
CROTON, NY 10520**

SEAL



© ARKETEKCHØR ARCHITECTURE OPC

PROJECT No.

23017

TITLE

**5TH FLOOR PLAN
ROOF PLAN**

SCALE

3/32" = 1'-0"

No.

A-105.00

PROJECT

1 CROTON POINT
CONDOMINIUM

ärkøtekchør

TEAM

SPONSOR/DEVELOPER
WSP DEVELOPMENT LLC
480 NORTH BEDFORD ROAD, CHAPPAQUA, NY 10514
T: 914.347.3333

CONTRACTOR
GRIFFIN CONSTRUCTION LLC
480 NORTH BEDFORD ROAD, CHAPPAQUA, NY 10514
T: 914.347.3333

ARCHITECT
ARKTEKCHØR
6 AMERICA CIRCLE, OSSING NY 10562
T: 914.702.3586

GEOTECHNICAL ENGINEER
SESI CONSULTING ENGINEERS
959 ROUTE 40E, FLOOR 3, SUITE 300, PARSONS, NJ 07054
T: 862.702.2719

CIVIL ENGINEER
INSTE ENGINEERING
3 GARRETT PLACE, CARMEL, NY 10512
T: 845.225.9690

ENVIRONMENTAL ENGINEER
KSCJ CONSULTING
500 MAIN STREET, ARMONK, NY 10504
T: 914.273.2323

LEGEND

- | | | | |
|---|--------------------|----|--------------|
| 1 | BRICK | 7 | DOOR |
| 2 | CAST STONE | 8 | ENTRY CANOPY |
| 3 | METAL PANEL | 9 | LIGHTING |
| 4 | PARKING | 10 | SOLAR PANELS |
| 5 | STOREFRONT GLAZING | 11 | PERGOLA |
| 6 | OPERABLE WINDOW | 12 | GUARDRAIL |

- | | | |
|-----------|-------------|--------|
| ROOF | EL. 558'-0" | 12'-0" |
| 5TH FLOOR | EL. 540'-0" | 10'-0" |
| 4TH FLOOR | EL. 536'-0" | 10'-0" |
| 3RD FLOOR | EL. 528'-0" | 10'-0" |
| 2ND FLOOR | EL. 516'-0" | 10'-0" |
| 1ST FLOOR | EL. 506'-0" | 10'-0" |
| GRADE | EL. 500'-0" | 13'-0" |
| CELLAR | EL. 493'-0" | 10'-0" |
| SUBCELLAR | EL. 490'-0" | 3'-0" |



4 EXTERIOR ELEVATION - EAST (RIGHT)

3/32" = 1'-0"



2 EXTERIOR ELEVATION - WEST (LEFT)

3/32" = 1'-0"



3 EXTERIOR ELEVATION - NORTH (REAR)

3/32" = 1'-0"



1 EXTERIOR ELEVATION - SOUTH (FRONT)

3/32" = 1'-0"

REVISIONS

07.17.24 VILLAGE BOARD SPECIAL PERMIT APPLICATION
08.06.24 PLANNING BOARD ISSUE

ADDRESS

1 CROTON POINT AVENUE
CROTON, NY 10520

SEAL



© ARKTEKCHØR ARCHITECTURE OPC
PROJECT No. 23017

TITLE
1ST FLOOR PLAN
2ND - 4TH FLOOR PLAN

SCALE
3/32" = 1'-0"

No. A-201.00



TEAM

SPONSOR/DEVELOPER
WSP DEVELOPMENT LLC
480 NORTH BEDFORD ROAD, CHAPPAQUA, NY 10514
T: 914.347.3333

CONTRACTOR
GRIFFIN CONSTRUCTION LLC
480 NORTH BEDFORD ROAD, CHAPPAQUA, NY 10514
T: 914.347.3333

ARCHITECT
ARKETEKCHER
6 AMERICO CIRCLE, OSSING NY 10562
T: 914.922.3838

GEOTECHNICAL ENGINEER
SESI CONSULTING ENGINEERS
959 ROUTE 40E, FLOOR 3, SUITE 300, PARSONS, NJ 07654
T: 862.702.2719

CIVIL ENGINEER
INSTE ENGINEERING
3 GARRETT PLACE, CARMEL, NY 10512
T: 845.225.9690

ENVIRONMENTAL ENGINEER
KSCJ CONSULTING
500 MAIN STREET, ARMONK, NY 10504
T: 914.273.2323

REVISIONS

07.17.24 VILLAGE BOARD SPECIAL PERMIT APPLICATION
08.06.24 PLANNING BOARD ISSUE

ADDRESS
**1 CROTON POINT AVENUE
CROTON, NY 10520**



© ARKETEKCHER ARCHITECTURE, INC.
PROJECT No. **23017**
TITLE
RENDERING

SCALE
NTS

No.
A-901.00