

1 CROTON POINT

1 CROTON POINT AVENUE, CROTON-ON-HUDSON, NY 10520



BOARD OF TRUSTEES WORK SESSION ISSUE
09.18.24

PROJECT
**1 CROTON POINT
CONDOMINIUM**

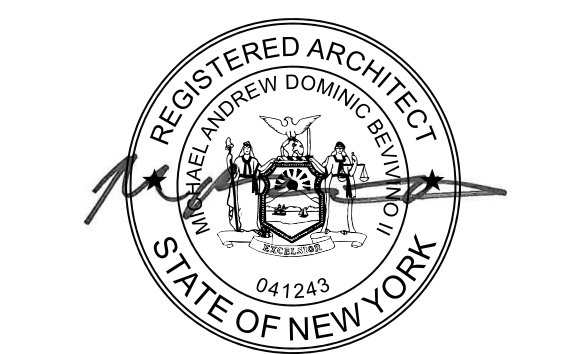
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REVISIONS
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08.06.24 PLANNING BOARD ISSUE
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CROTON, NY 10520**

SEAL

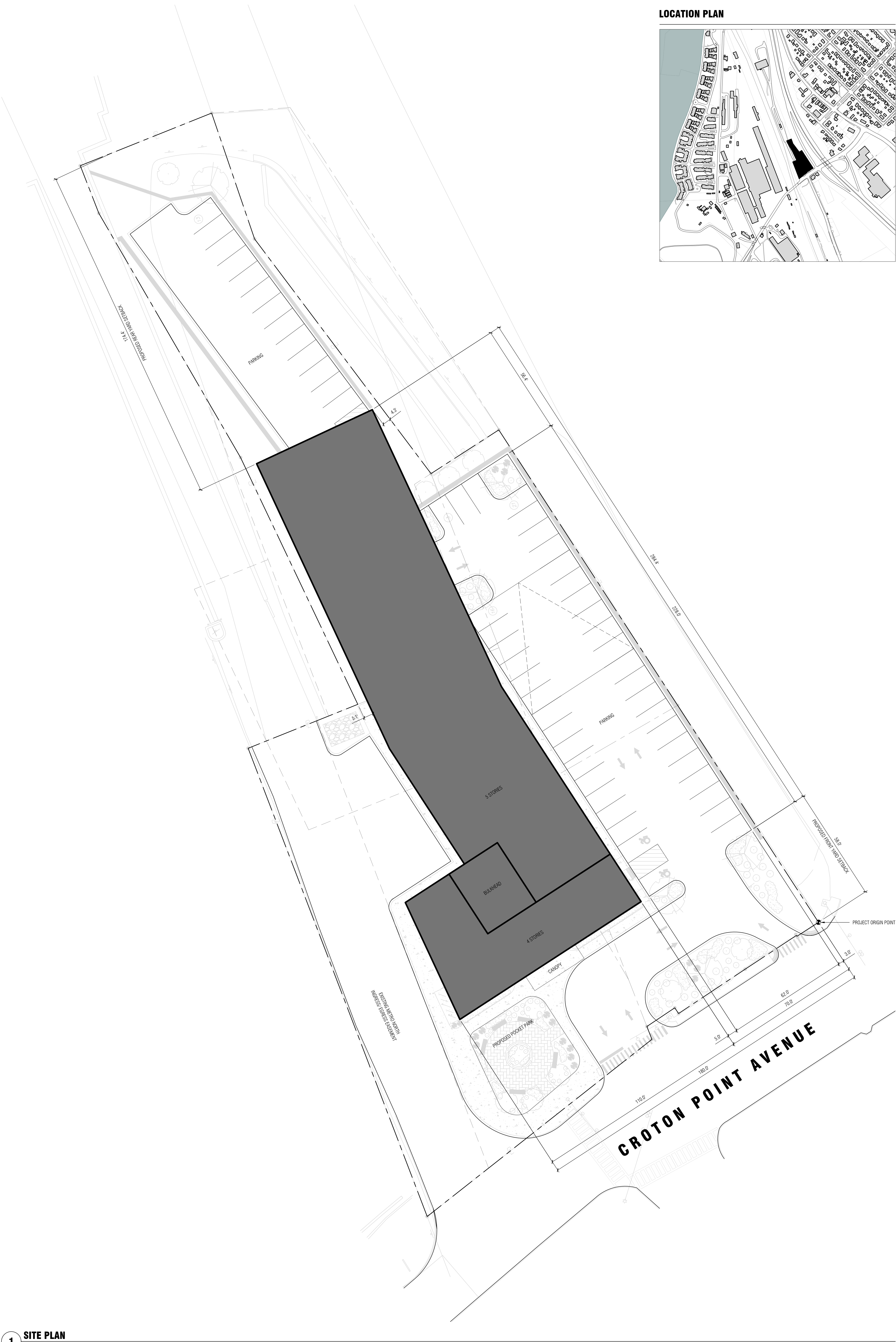


PROJECT No. **23017**

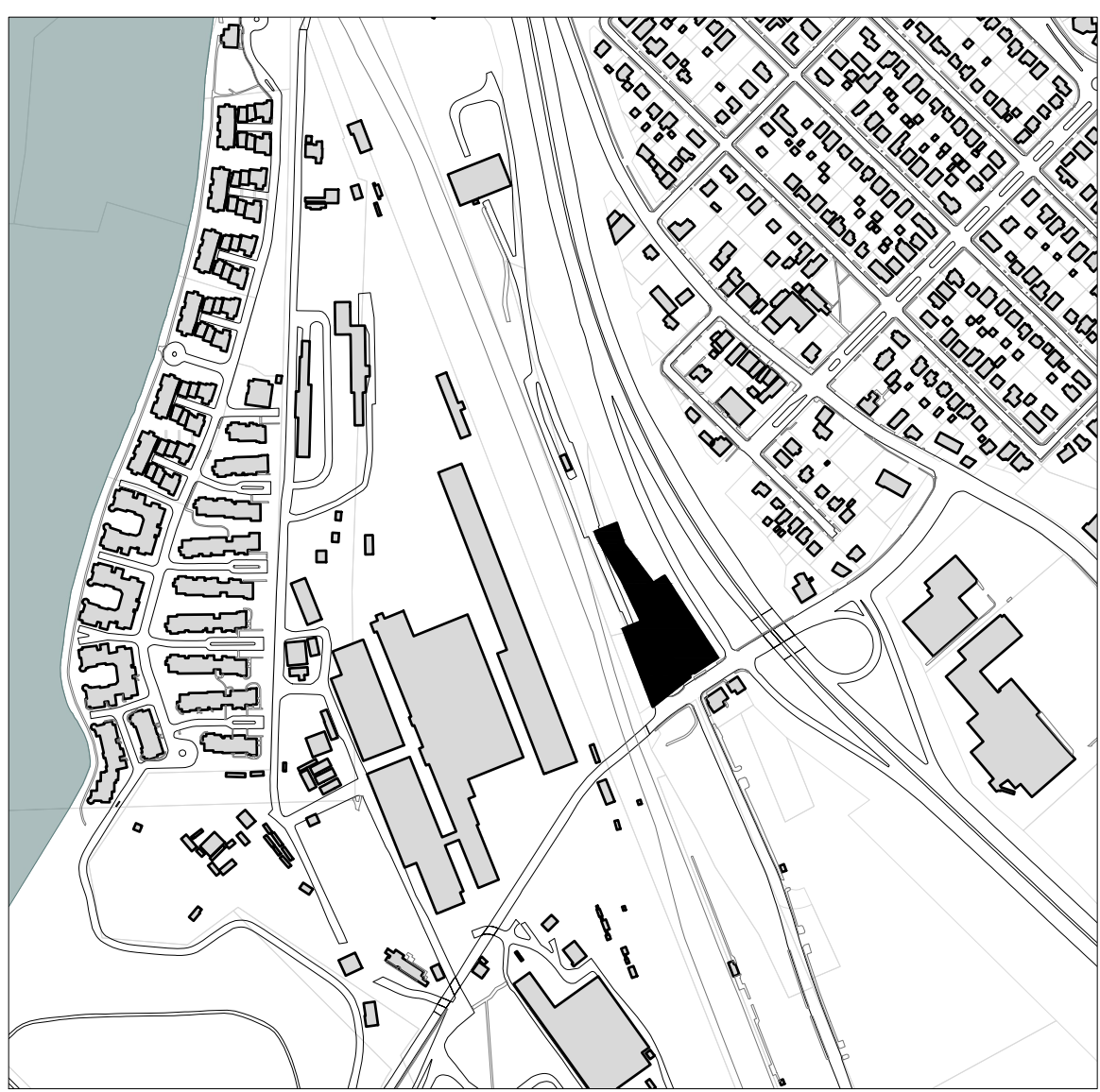
TITLE
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SCALE
NTS

No.
T-001.00



LOCATION PLAN



ZONING COMPLIANCE NOTES

- (a) N/A
- (b) PARKING SPACE REQUIREMENTS ARE CUMULATIVE FOR ALL USES ON ONE LOT
- (c) BUILDING HEIGHT REQUIREMENTS ARE SUBJECT TO BOTH STORY AND FOOT LIMITATIONS
- (d) SETBACKS FOR TRANSIT ORIENTED DEVELOPMENT OF MIXED USE OR MULTI-FAMILY RESIDENTIAL SHALL BE DETERMINED BY THE BOARD OF TRUSTEES AS PART OF THE SPECIAL PERMIT REVIEW BASED UPON THE BEST LAYOUT FOR THE PARTICULAR LOT
- (e) THE BOARD OF TRUSTEES SHALL HAVE THE DISCRETION TO REQUIRE ADDITIONAL PARKING FOR RESIDENTIAL LIMITS

PARKING

FLOOR	TOTAL
REQUIRED	100 spaces
PROPOSED	40 spaces
LOT A	10 spaces
LOT B	13 spaces
GARAGE	47 spaces
TOTAL	100 spaces

UNIT SCHEDULE

FLOOR	UNIT TYPE		
	1-80	2-80	TOTAL
BL1			
3TH	8 units	9 units	17 units
4TH	10 units	12 units	22 units
5TH	10 units	12 units	22 units
6TH	10 units	12 units	22 units
7TH	10 units	12 units	22 units
8TH	10 units	12 units	22 units
9TH	10 units	12 units	22 units
10TH	10 units	12 units	22 units
11TH	10 units	12 units	22 units
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96TH	10 units	12 units	22 units
97TH	10 units	12 units	22 units
98TH	10 units	12 units	22 units
99TH	10 units	12 units	22 units
100TH	10 units	12 units	22 units

ZONING - AREA AND BULK SCHEDULE

	DISTRICT	CODE TEXT SECTION	MINIMUM LOT AREA (sq ft)	MINIMUM LOT WIDTH (ft)	MINIMUM LOT DEPTH (ft)	MINIMUM YARDS (ft)			FLOOR AREA RATIO	MAXIMUM HEIGHT (stories ft)	BUILDING HEIGHT RATIO	REQUIRED OFF-STREET PARKING
						FRONT	SIDE ONE/BOTH	REAR				
REQUIRED	TODU	LL No. 14	10,000 sq ft	-	-	(a)	(a)	(a)	1.20	5 stories	-	1 space per unit
EXISTING			76,821 sq ft	-	-	-	-	-	-	-	-	-
PROPOSED			no change	-	-	56	4.9/9.4	174	1.10	5 stories/58 ft	-	1 space per unit
COMPLIANCE			complies	n/a	n/a	complies	complies	complies	complies	n/a	-	complies

FLOOR AREA SCHEDULE

FLOOR	GROSS FLOOR AREA SUBTOTALS					MEP	PARKING	GROSS FLOOR AREA	ZONING FLOOR AREA
	RESIDENTIAL	CORE/ CORRIDOR	LOBBY/ MAIL	INDOOR AMENITY					
BL1		1,076 sq ft						1,076 sq ft	0 sq ft
3TH	13,580 sq ft	2,941 sq ft		1,103 sq ft				17,624 sq ft	13,580 sq ft
4TH	18,752 sq ft	3,153 sq ft						21,905 sq ft	18,752 sq ft
5TH	18,752 sq ft	3,153 sq ft						21,905 sq ft	18,752 sq ft
2ND	18,752 sq ft	3,153 sq ft						21,905 sq ft	18,752 sq ft
1ST	14,488 sq ft	2,669 sq ft	2,278 sq ft	1,839 sq ft	2,698 sq ft	19,020 sq ft	21,905 sq ft	14,488 sq ft	0 sq ft
CELLAR	84,324 sq ft	16,144 sq ft	2,278 sq ft	2,942 sq ft	3,118 sq ft	19,020 sq ft	127,827 sq ft	84,324 sq ft	66%

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SEAL



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PROJECT No. 23017

TITLE

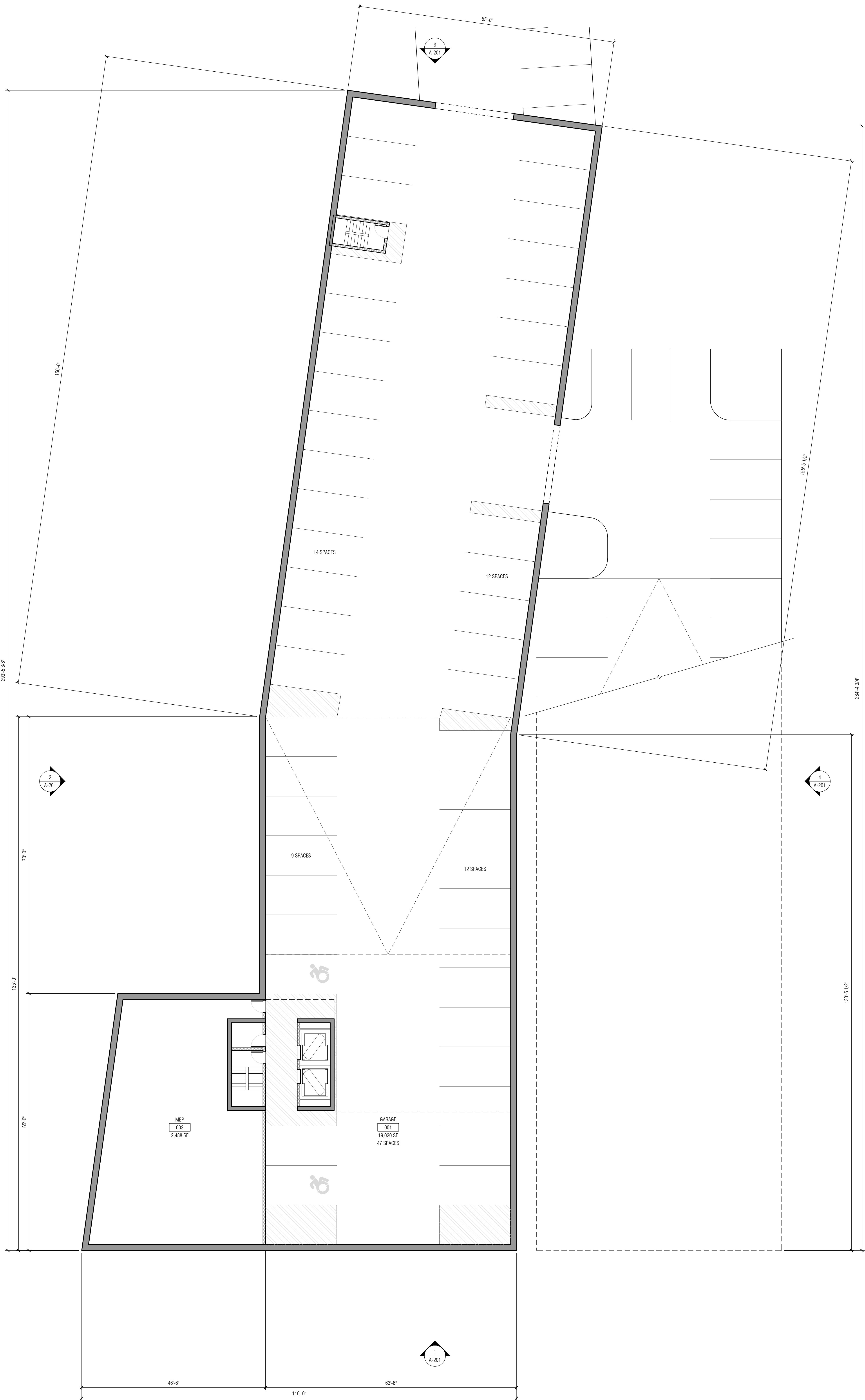
BASEMENT FLOOR PLAN

SCALE

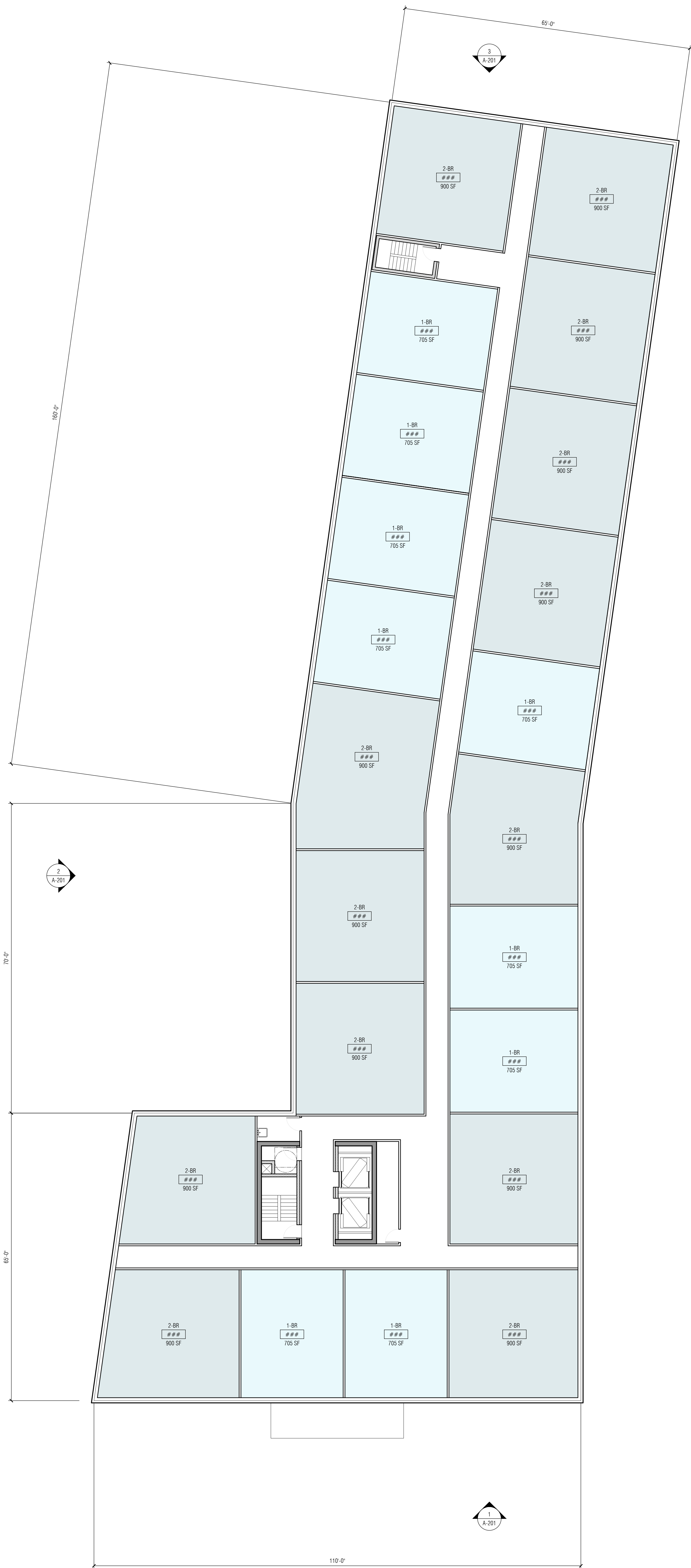
3/32" = 1'-0"

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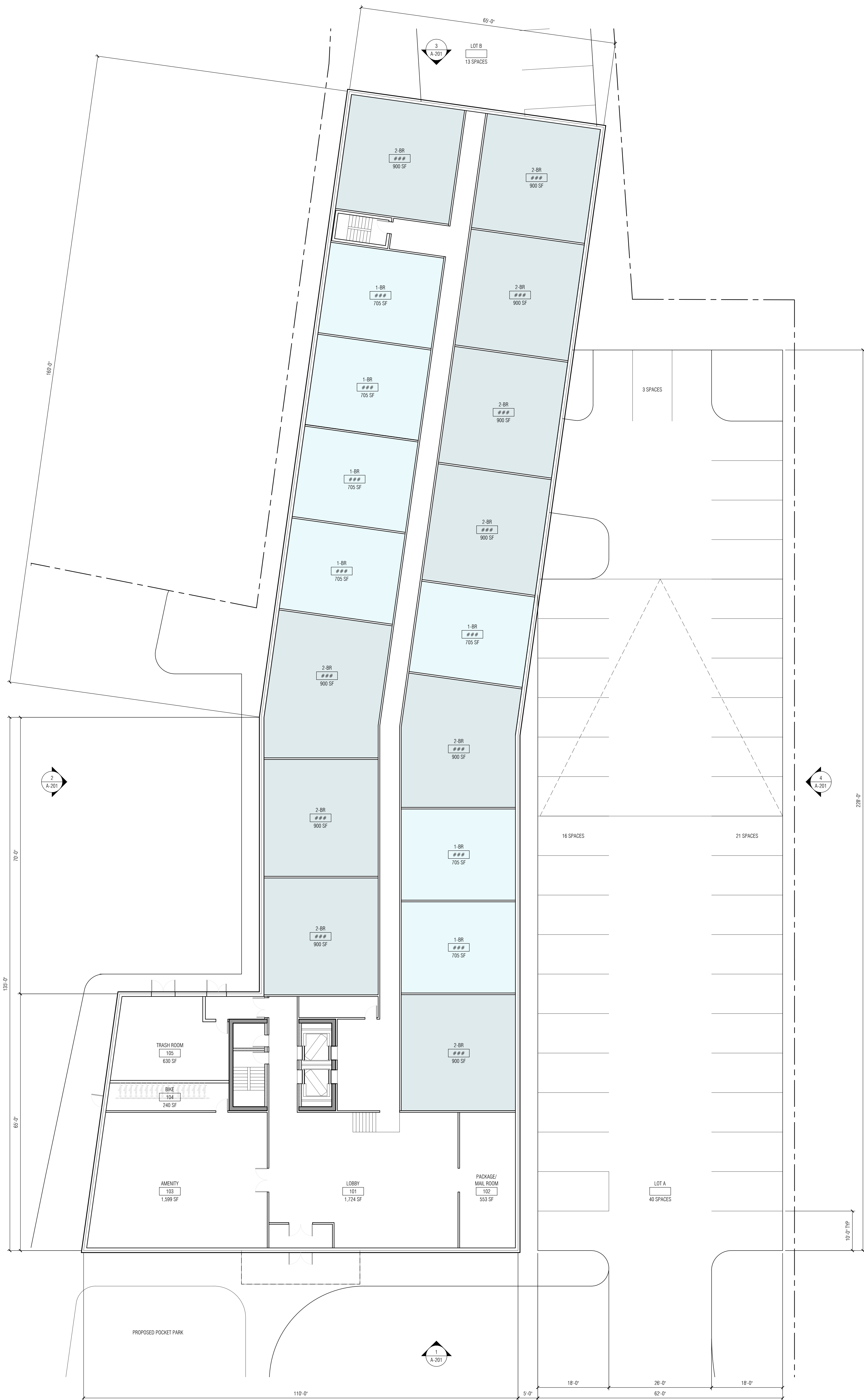
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1 BASEMENT FLOOR PLAN
3/32" = 1'-0"



2 2ND - 4TH FLOOR PLAN
3/32" = 1'-0"



1 1ST FLOOR PLAN
3/32" = 1'-0"

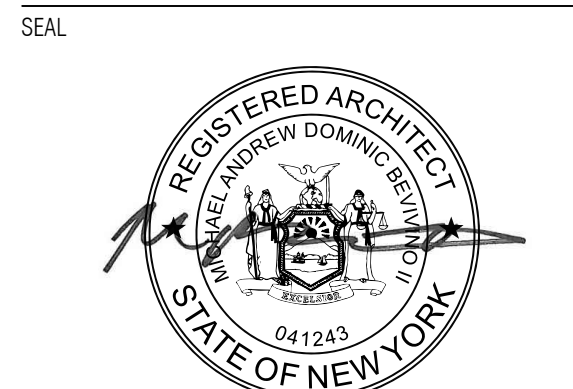
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CONDOMINIUM**

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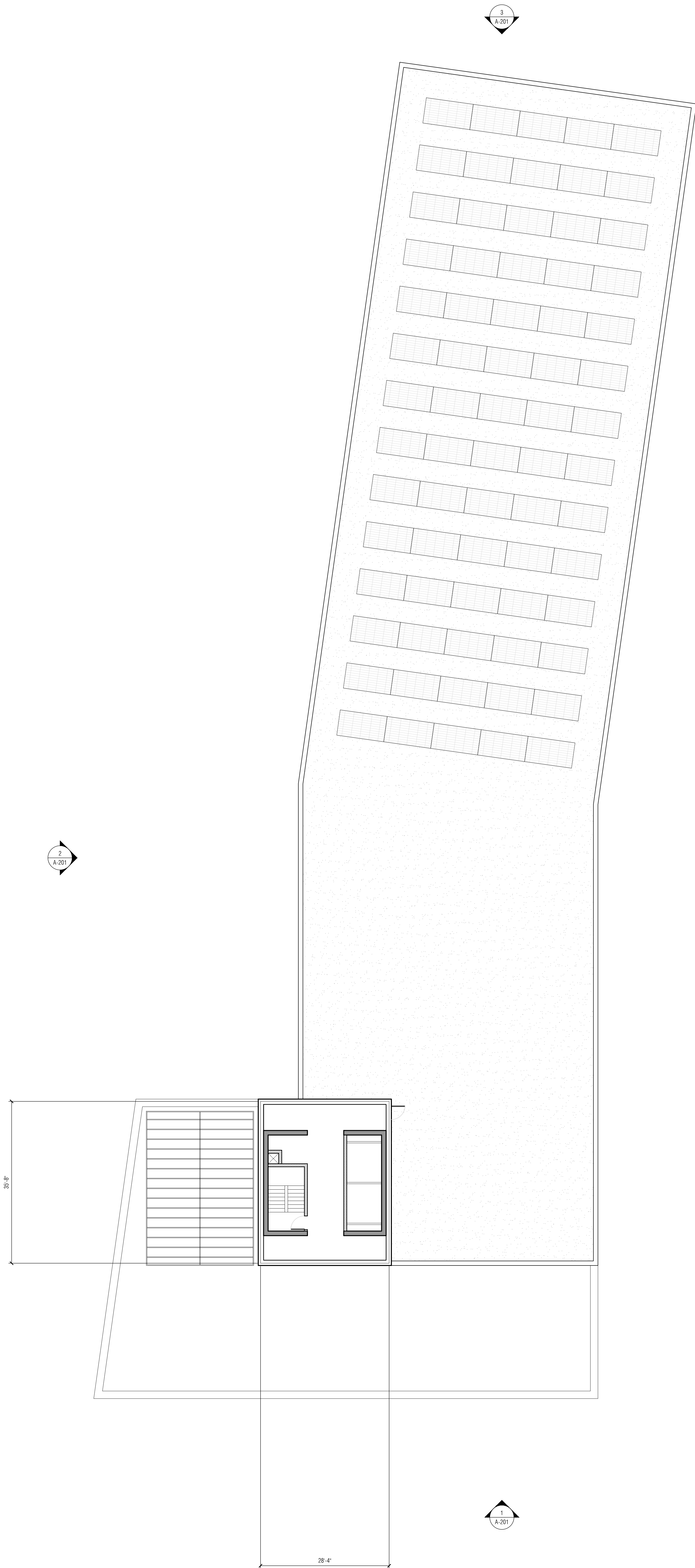
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CROTON, NY 10520**



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PROJECT No. **23017**
TITLE
**1ST FLOOR PLAN
2ND - 4TH FLOOR PLAN**

SCALE
3/32" = 1'-0"

No. **A-101.00**



2 ROOF PLAN
3/32" = 1'-0"



1 5TH FLOOR PLAN
3/32" = 1'-0"

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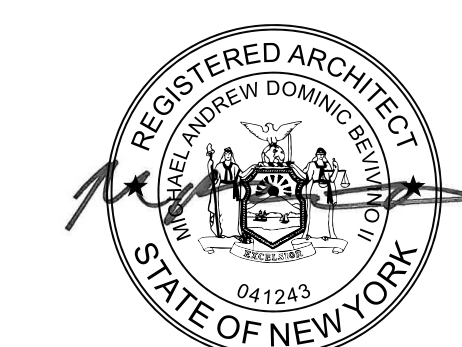
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CROTON, NY 10520**

SEAL



PROJECT No. **23017**

TITLE
**5TH FLOOR PLAN
ROOF PLAN**

SCALE
3/32" = 1'-0"

No.

A-105.00



4 EXTERIOR ELEVATION - EAST (RIGHT)
3/32" = 1'-0"



2 EXTERIOR ELEVATION - WEST (LEFT)
3/32" = 1'-0"



3 EXTERIOR ELEVATION - NORTH (REAR)
3/32" = 1'-0"



1 EXTERIOR ELEVATION - SOUTH (FRONT)
3/32" = 1'-0"



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CONDOMINIUM**

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