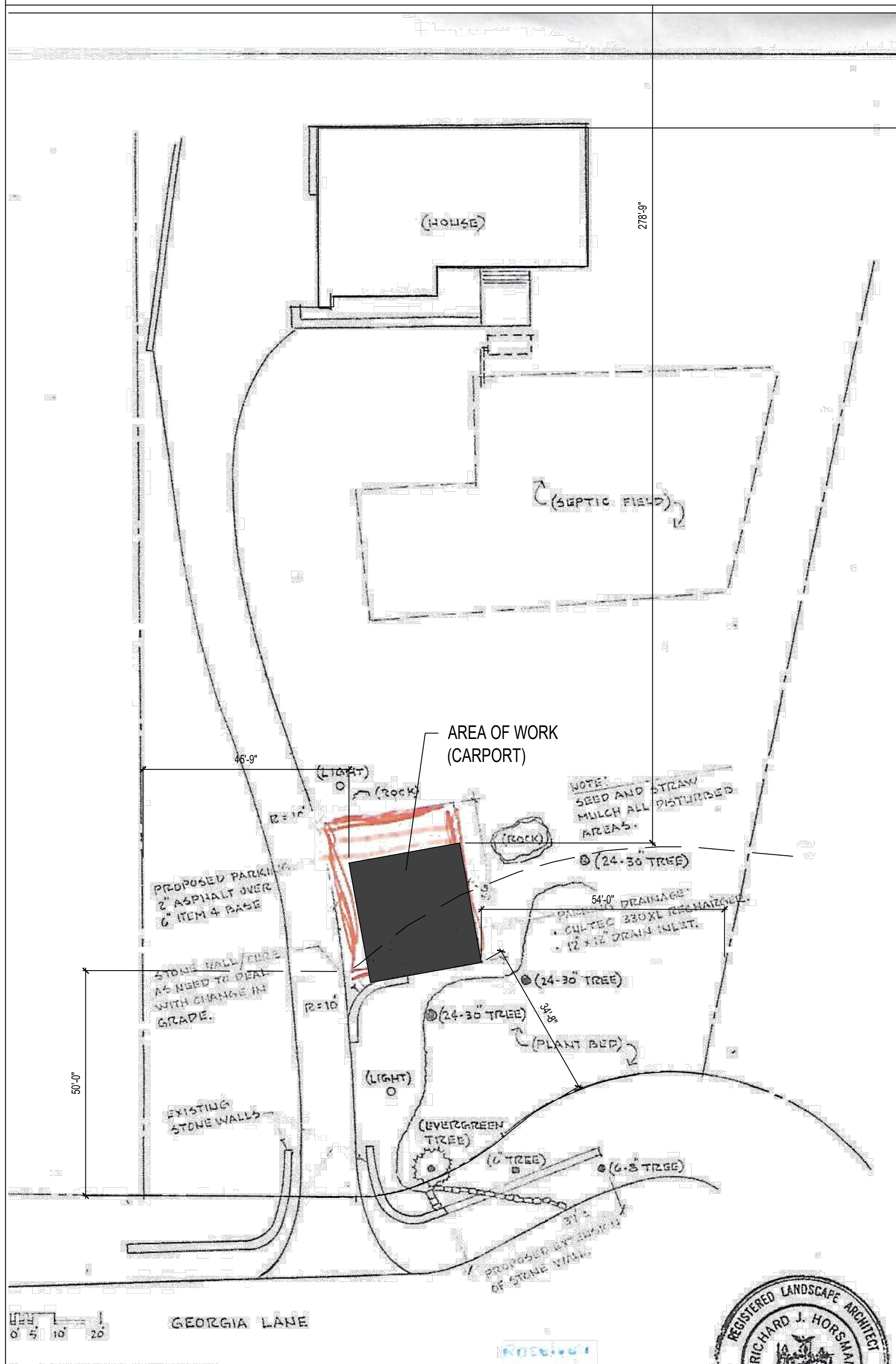


POWCHIK RESIDENCE
17 GEORGIA LANE
CROTON ON HUDSON NY 10520

SITE PLAN

SCALE 1"=30'-0"

SURVEY AS PROVIDED BY HOME OWNE



ZONING DATA

TOWN ZONING REQUIREMENTS				
ZONE:	RA-40			
SETBACKS	ALLOWED	EXISTING	PROPOSED	
LOT SIZE	40,000SQFT	54,866 SQFT	1.26 ACRE	54,866 SQFT 1.26 ACRE
LOT WIDTH	150.0' MIN	160.9'		160.9'
LOT DEPTH	200.0' MIN	353.65'		353.65'
SETBACKS				
FRONT	N/A	N/A		34'-8"
REAR	5'-0"	N/A		287'-9"
1 SIDE	5'-0"	N/A		45'-6"
BOTH SIDES				
MAX HEIGHT	15'-0"	N/A		12'-0"

DESIGN CRITERIA

THIS PROJECT WAS DESIGNED USING THE CURRENT NYS BUILDING CODE (2020 NYS RESIDENTIAL BUILDING CODE)

TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA									
GROUND SNOW LOAD	SEISMIC DESIGN CATEGORY	WIND SPEED (MPH) REGION	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP.	ICE SHEILD UNDERLAYMENT REQUIRED	FLOOD HAZARDS
			WEATHERING	FROST LINE DEPTH	TERMITE	DECAY			FIRM MAP DEC 1999
			SEVERE	3'-6"	MODERATE TO HEAVY	SLIGHT TO MODERATE			HEATING DEGREE DAYS
30LB/FT	C	115					7	YES	5750

PROPOSED PROJECT SHALL COMPLY WITH THE FOLLOWING

TABLE R602.3(1)

FASTENERS SCHEDULE FOR STRUCTURAL ME

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

TABLE 1607.1

MINIMUM UNIFORMLY DISTRIBUTED LIVE LOAD:

SMOKE DETECTORS:
SMOKE DETECTORS SHALL BE INSTALLED AS PER THE RESIDENTIAL NEW YORK STATE
BUILDING CODE SUPPLEMENT SECTION AJ504

R905.2.5 FASTENERS
FASTENERS FOR ASPHALT SHINGLES SHALL BE GALVANIZED STEEL, STAINLESS STEEL, ALUMINUM OR COPPER ROOFING NAILS, MIN. 12 GAGE SHANK W/ A MIN. 3/8" HEAD ASTM F1667, OF A LENGTH TO PENETRATE THROUGH THE ROOFING MATERIAL AND A MIN. OF 3/4" INTO THE ROOF SHEATHING. WHERE THE ROOF SHEATHING IS LESS THAN 3/4" THICK, THE FASTENERS SHALL PENETRATE THROUGH THE SHEATHING. FASTENERS SHALL COMPLY WITH ASTM F 1667.

R905.2.6 ATTACHMENT
ASPHALT ROOF SHINGLES SHALL HAVE A MIN. OF SIX FASTENERS PER SHINGLE WHERE THE ROOF IS IN ONE OF THE FOLLOWING CATEGORIES - THE BASIC WIND SPEED PER R301.2(4) IS 110 MPH OR GREATER AND THE EAVE IS 20' OR HIGHER ABOVE GRADE .

R905.2.7 ICE SHIELD
ALL ROOF EAVES SHALL BE PROVIDED WITH ICE SHIELD MEMBRANE FROM EDGE TO 24"
PAST INSIDE WALL.

SECTION R302 TABLE 302.1 ALL CONSTRUCTION WITH-IN 5'-0" OF PROPERTY LINE TO BE 1HF
RATED BEYOND 5'-0" NO RATING IS REQUIRED

PROPOSED PROJECT SHALL COMPLY WITH THE FOLLOWING ADDITIONAL SECTIONS OF 2020 NYS RESIDENTIAL BUILDING CODE

<u>SECTION R403.3.4</u>	<u>SECTION R406.3.2</u>
TERMITE SHIELD	VAPOR BARRIER
<u>SECTION 303.1</u>	<u>SECTION R403.1.6</u>
LIGHT & VENT	ANCHOR BOLTS
<u>SECTION R310</u>	<u>SECTION R406</u>
EMERGENCY ESCAPE	WATERPROOFING & DAMPPROOFING
<u>SECTION 905.1.2</u>	<u>SECTION R1609.1.1</u>
ICE SHIELD	WIND-BORNE DEBRIS

IF LEDGE ROCK IS ENCOUNTERED FOOTING ARE TO BE PINNED TO THE LEDGE WITH (3) 6" #4 REBAR WITH 3' MIN EMBEDMENT INTO THE STONE

DECK FRAMING SHALL COMPLY WITH NYS R507 2020 NYS RESIDENTIAL CODE & (FIGURE 507.2.1(2), 507.2.3 (1), 507.2.3 (2))

LOADING

THIS CARPORT HAS BEEN DESIGNED FOR
LIVE LOAD 40 LBS/SQFT
DEAD LOAD 10 LBS/SQFT
SOIL BEARING 3,000 LBS/ SQFT (ASSUMED)

ALL WORK SHALL CONFORM TO THESE DRAWINGS, THE NEW YORK
STATE BUILDING CODE AND ANY OTHER APPLICABLE CODES OR
ORDINANCE THAT MAY APPLY TO THIS PROJECT

ALL DECK FRAMING LUMBER TO BE PRESSURE TREATED
SOUTHERN YELLOW PINE (#2 OR BETTER)

ALL CONCRETE FOOTINGS SHALL CONFORM TO ACI 318.77, AND DEVELOP A STRENGTH OF 3,000PSI BEARING IN 28 DAYS

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS
EXISTING & PROPOSED, ANY DISCREPANCY SHALL BE REPORTED
IMMEDIATELY TO THE ARCHITECT

DRAWING LIST

- | | |
|-----|-------------------------|
| A-1 | COVER SHEET |
| A-2 | GENERAL NOTES & DETAILS |
| A-3 | CONSTRUCTION PLANS |

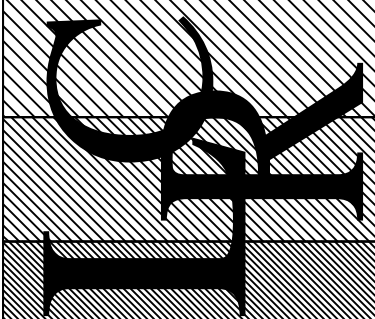
NOTES:

ALL ELECTRICAL WORK IS TO BE PERFORMED BY A LICENSED ELECTRICIAN
LIGHTING FIXTURES NOTED ARE TO BE SUPPLIED BY OWNER & INSTALLED BY
G.C.

IT IS A VIOLATION FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION

BASED UPON NFIP FIRM MAP THE PROJECT IS IN THE 'X' FLOOD ZONE

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REVISION	DATE	ISSUE
	7/22/2024	ISSUED FOR OWNER REVIEW

PROJECT NAME
PROPOSED CARPORT FOR THE:
POWCHIK RESIDENCE
17 GEORGIA LANE
CROTON-ON-HUDSON NY 10520

COVER SHEET

DATE	7/16/2024
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SCALE	AS NOTED
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DRAWING NUMBER

A-1

FASTENER SCHEDULE FOR STRUCTURAL MEMBERS TABLE R602.3(1)		
DESCRIPTION OF BUILDING ELEMENTS	NUMBER & TYPE OF FASTENER a, b, c, d	SPACING OF FASTENERS
JOIST TO SILL OR GIRDER, TOE NAIL	3-8d	-
1"x6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2-8d 2 STAPLES, 1-3/4	-
2" SUBFLOOR TO JOIST OR GIRDER, BLIND & FACE NAIL	2-16d	-
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d	16" O.C.
TOP OR SOLE PLATE TO STUD, END NAIL	2-16d	-
STUD TO SOLE PLATE, TOE NAIL	3-8d OR 2-16d	-
DOUBLE STUDS, FACE NAIL	10d	24" O.C.
DOUBLE TOP PLATES, FACE NAIL	10d	24" O.C.
SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANELS	3-16d	16" O.C.
DOUBLE TOP PLATES, MINIMUM 48-INCH OFFSET OF END JOINTS, FACE NAIL IN LAPPED AREA	8-16d	-
BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOE NAIL	3-8d	-
RIM JOIST TO TOP PLATE, TOE NAIL	8d	6" O.C.
TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS, FACE NAIL	2-10d	-
BUILT-UP HEADER, TWO PIECES WITH 1/2" SPACER	16d	16" O.C. ALONG EACH EDGE
CONTINUED HEADER, TWO PIECES	16d	16" O.C. ALONG EACH EDGE
CEILING JOISTS TO PLATE, TOE NAIL	3-8d	-
CONTINUOUS HEADER TO STUD, TOE NAIL	4-8d	-
CEILING JOIST, LAPS OVER PARTITIONS, FACE NAIL	3-10d	-
CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL	3-10d	-
RAFTER TO PLATE, TOE NAIL	2-16d	-
1" BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8d 2 STAPLES, 1-3/4	-
1"x6" SHEATHING TO EACH BEARING, FACE NAIL	2-8d 2 STAPLES, 1-3/4	-
1"x8" SHEATHING TO EACH BEARING, FACE NAIL	2-8d 3 STAPLES, 1-3/4	-
WIDER THAN 1"x8" SHEATHING TO EACH BEARING, FACE NAIL	3-8d 4 STAPLES, 1-3/4	-
BUILT-UP CORNER STUDS	10d	24" O.C.
BUILT-UP GIRDERS AND BEAMS, 2-INCH LUMBER LAYERS	10d	NAIL EACH LAYER AS FOLLOWS: 32" O.C. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AND AT EACH SPLICE.
2" PLANKS	2-16d	AT EACH BEARING
ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS: TOE NAIL FACE NAIL	4-16d 3-16d	- -
RAFTER TIES TO RAFTERS, FACE	3-8d	-
WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND WALL SHEATHING TO FRAMING, AND PARTICLEBOARD WALL SHEATHING TO FRAMING		
5/8" - 1/2"	8d COMMON NAIL (SUBFLOOR, WALL) 8d COMMON NAIL (ROOF)†	6 12g
15/32" - 1"	8d COMMON NAIL	6 12g
1 1/8" - 1 1/2"	10d COMMON NAIL OR 8d DEFORMED NAIL	6 12

FASTENER SCHEDULE FOR STRUCTURAL MEMBERS			
TABLE R602.3(1) continued			
DESCRIPTION OF BUILDING MATERIALS	DESCRIPTION OF FASTENERS b, c, d, e	SPACING OF FASTENERS	
		EDGES (INCHES) i	INTERMEDIATE SUPPORTS (INCHES) c, e
OTHER WALL SHEATHING h			
$\frac{1}{2}$ " REGULAR CELLULOSIC FIBERBOARD SHEATHING	1 $\frac{1}{2}$ " GALVANIZED ROOFING NAIL 6d COMMON NAIL STAPLE 16 GA., 1 $\frac{1}{2}$ " LONG	3	6
$\frac{1}{2}$ " STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1 $\frac{1}{2}$ " GALVANIZED ROOFING NAIL 8d COMMON NAIL STAPLE 16 GA., 1 $\frac{1}{2}$ " LONG	3	6
$\frac{5}{8}$ " STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1 $\frac{1}{2}$ " GALVANIZED ROOFING NAIL 8d COMMON NAIL STAPLE 16 GA., 1 $\frac{1}{2}$ " LONG	3	6
$\frac{1}{2}$ " GYPSUM SHEATHING	1 $\frac{1}{2}$ " GALVANIZED ROOFING NAIL; 6d COMMON NAIL; STAPLE GALVANIZED, 1 $\frac{1}{2}$ " LONG; 1 $\frac{1}{2}$ " SCREWS, TYPE W OR S	4	8
$\frac{5}{8}$ " GYPSUM SHEATHING	1 $\frac{1}{2}$ " GALVANIZED ROOFING NAIL; 8d COMMON NAIL; STAPLE GALVANIZED, 1 $\frac{1}{2}$ " LONG; 1 $\frac{1}{2}$ " SCREWS, TYPE W OR S	4	8
WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING			
$\frac{1}{2}$ " AND LESS	6d DEFORMED NAIL OR 8d COMMON NAIL	6	12
$\frac{1}{2}$ " - 1"	8d COMMON NAIL OR 8d DEFORMED NAIL	6	12
1 $\frac{1}{8}$ " - 1 $\frac{1}{2}$ "	10d COMMON NAIL OR 8d DEFORMED NAIL	6	12

FOR SII: 1 INCH = 25.4mm, 1 FOOT = 304.8mm, 1 MILE PER HOUR = 1.609km/h

- a. ALL NAILS ARE SMOOTH-COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED. NAILS USED FOR FRAMING AND SHEATHING CONNECTIONS SHALL HAVE MINIMUM AVERAGE BENDING YIELD STRENGTHS AS FOLLOWS: 80ksi (551Mpa) FOR SHANK DIAMETER OF 0.192" (20d COMMON NAIL), 90ksi (620Mpa) FOR SHANK DIAMETERS LARGER THAN 0.177" AND 100ksi (689Mpa) FOR SHANK DIAMETERS OF 0.142" OR LESS.
- b. STAPLES ARE 16 GAGE WIRE AND HAVE A MINIMUM 1/8" INCH ON DIAMETER CROWN WIDTH.
- c. NAILS SHALL BE SPACED AT NOT MORE THAN 6 INCHES ON CENTER AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES OR GREATER.
- d. 4-FOOT-BY-8-FOOT OR 4-FOOT-BY-9-FOOT PANELS SHALL BE APPLIED VERTICALLY.
- e. SPACING OF FASTENERS NOT INCLUDED IN THIS TABLE SHALL BE BASED ON TABLE R602.3(1).
- f. FOR REGIONS HAVING BASIC WIND SPEED OF 110mph OR GREATER, 8d DEFORMED NAILS SHALL BE USED FOR ATTACHING PLYWOOD AND WOOD STRUCTURAL PANEL ROOF SHEATHING TO FRAMING WITHIN MINIMUM 48 INCH DISTANCE FROM GABLE END WALLS, IF MEAN ROOF HEIGHT IS MORE THAN 25 FEET, UP TO 35 FEET MAXIMUM.
- g. FOR REGIONS HAVING BASIC WIND SPEED OF 110mph OR LESS, NAILS FOR ATTACHING WOOD STRUCTURAL PANEL ROOF SHEATHING TO GABLE END WALL FRAMING SHALL BE SPACED 6 INCHES ON CENTER. WHEN BASIC WIND SPEED IS GREATER THAN 100mph, NAILS FOR ATTACHING PANEL ROOF SHEATHING TO INTERMEDIATE SUPPORTS SHALL BE SPACED 6 INCHES ON CENTER FOR MINIMUM 48 INCH DISTANCE FROM RIDGES, EAVES AND GABLE END WALLS, AND 4 INCHES ON CENTER TO GABLE END WALL FRAMING.
- h. GYPSUM SHEATHING SHALL CONFORM TO ASTM C 79 AND SHALL BE INSTALLED IN ACCORDANCE WITH GA 253. FIBERBOARD SHEATHING SHALL CONFORM TO ASTM C 208.
- i. SPACING OF FASTENERS ON FLOOR SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND AT ALL FLOOR PERIMETERS ONLY. SPACING OF FASTENERS ON ROOF SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND AT ALL ROOF PLANE PERIMETERS. BLOCKING OF ROOF OR FLOOR SHEATHING PANEL EDGES PERPENDICULAR TO THE FRAMING MEMBERS SHALL NOT BE REQUIRED EXCEPT AT INTERSECTION OF ADJACENT ROOF PLANES. FLOOR AND ROOF PERIMETER SHALL BE SUPPORTED BY FRAMING MEMBERS OR SOLID BLOCKING.

GENERAL NOTES

- GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND VERIFY LOCAL REQUIREMENTS WITH LOCAL BUILDING OFFICIALS.
- ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION AND PRIOR TO ORDERING MATERIALS.
- RECORD ARCHITECT / ENGINEER OR DESIGN CONSULTANTS ARE NOT TO FIELD SUPERVISE OR INSPECT THIS PROJECT.
- ALL CONCRETE SHALL BE MIXED AND PLACED IN ACCORDANCE WITH THE LATEST A.C.I. 3500 PSI MIN. AT 28 DAY TEST (A.C.I. 319-63).
- ALL FOUNDATIONS AND FOOTINGS SIZED FOR BEARING ON UNDISTURBED SOIL AT MINIMUM BEARING CAPACITY OF (2) TONS PER SQ. FT. MINIMUM OF 3' COVER.
- ALL WOOD FRAMING, INCLUDING JOISTS, BEAMS, POSTS, STUDS ETC. TO BE DOUGLAS FIR CONSTRUCTION GRADE OR BETTER @ 161200 PSI.
- WOOD SILLS ON SLAB TO BE (2) 2x6 CCA WOLMINIZED LUMBER W/ 1/2" DIA. ANCHOR BOLTS 4'-0" O.C.
- ELECTRIC WORK TO BE IN ACCORDANCE W/ N.E.C. AND TO BE CERTIFIED BY THE BOARD OF FIRE UNDERWRITERS.
- NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE AND COMPLY WITH W/ NYS 2020 RESIDENTIAL BUILDING CODE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FILE FOR AND OBTAIN ALL REQUIRED APPROVALS AND PERMITS FROM ANY AND ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS PROJECT.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH THE RESIDENTIAL CODE OF NEW YORK STATE AND ALL OTHER APPLICABLE CODES, LAWS, RULES AND REGULATIONS IN THE CONSTRUCTION OF THIS PROJECT.
- ALL ELECTRICAL OUTLETS, SWITCHES, LIGHTS AND WIRING SHALL BE U.I. CERTIFIED AND INSTALLED IN COMPLIANCE WITH WITH ALL APPLICABLE ELECTRICAL CODES.
- ALL CONCRETE TO BE 3500 PSI. 28 DAY TEST. PROVIDE 1/2" INCH DIAMETER ANCHOR BOLTS SPACED A MAXIMUM OF 6'-0" O.C. ANCHOR BOLTS SHALL ALSO BE LOCATED WITHIN 12" FROM THE ENDS OF EACH PLATE SECTION EXCEPTION FOUNDATION ANCHOR STRAPS, SPACED AS REQUIRED TO PROVIDE EQUIVALENT ANCHORAGE TO 1/2" INCH DIAMETER ANCHOR BOLTS.
- NO CONSTRUCTION OR DEMOLITION SHALL COMMENCE PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.
- THE CONTRACTOR SHALL PROVIDE ALL REQUIRED INSURANCE AND INSURANCE CERTIFICATES.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFE GUARD THE EXISTING RESIDENCE AND CONTENTS AGAINST DAMAGE FROM THE ELEMENTS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL REPAIR ALL EXISTING CONDITIONS DAMAGED DUE TO THE EXECUTION OF THIS WORK TO ITS ORIGINAL CONDITION.
- THE DRAWINGS ARE NOT TO BE SCALED - FOLLOW DIMENSIONS ONLY.
- NO CHANGE WILL BE PERMITTED WITHOUT PRIOR WRITTEN NOTIFICATION OF AND APPROVAL OF THE ARCHITECT/ENGINEER OF RECORD.
- CONTRACTOR SHALL PROVIDE THE OWNER WITH A CERTIFICATE OF OCCUPANCY AND AN ELECTRICAL CERTIFICATE FROM AN APPROVED AGENCY UPON COMPLETION OF THIS PROJECT.

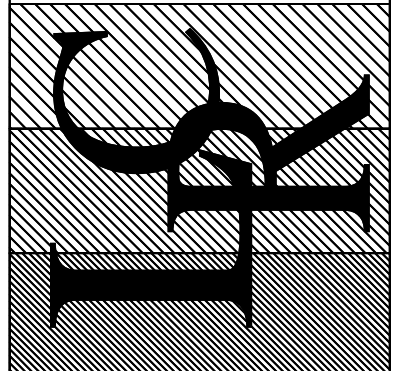
2
A-2

GENERAL NOTES
SCALE: N.T.S.

1
A-2

FASTENER SCHEDULE
SCALE: N.T.S.

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PROJECT NAME

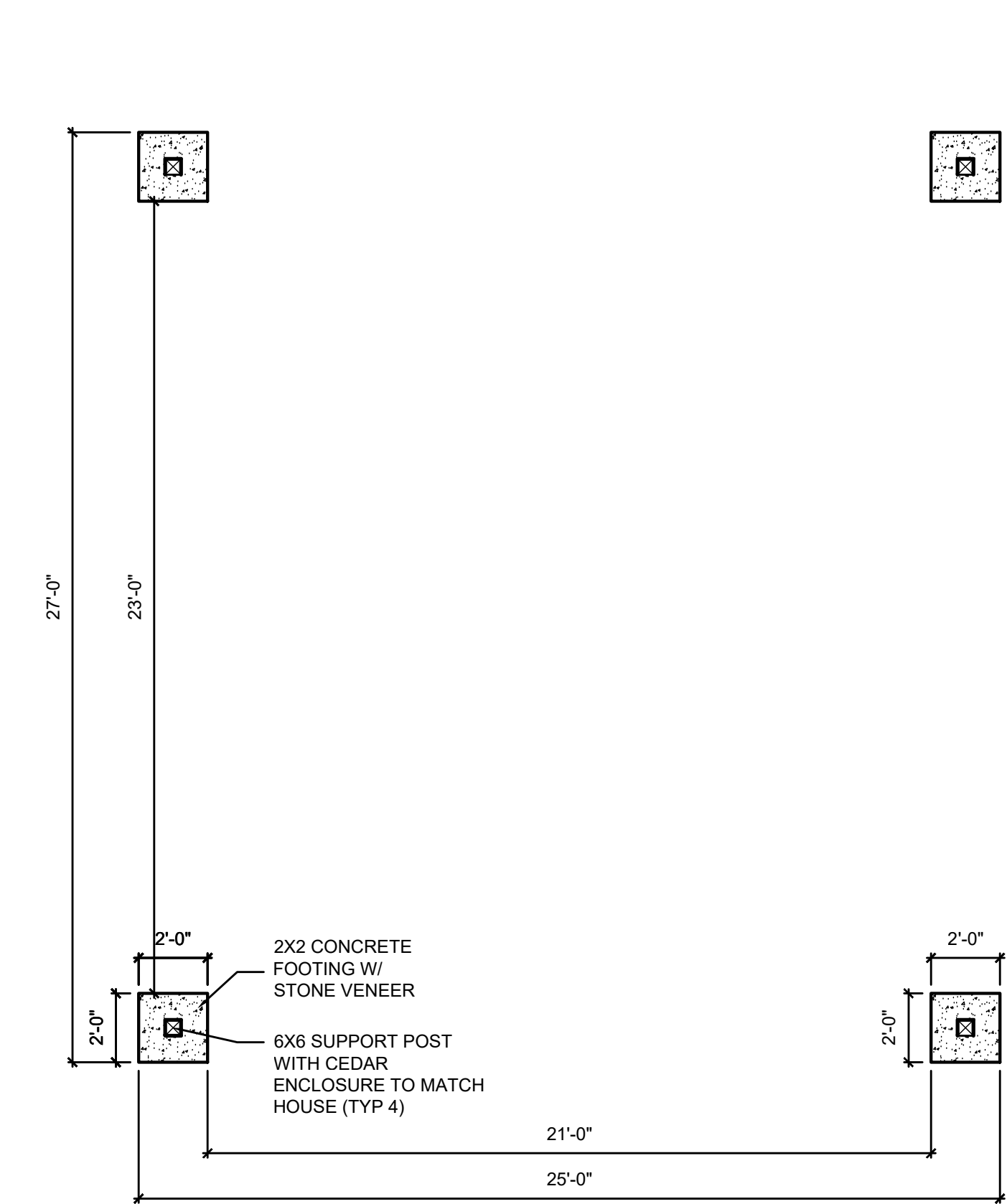
PROPOSED CARPORT FOR THE:
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17 GEORGIA LANE
CROTON-ON-HUDSON NY 10520

DRAWING TITLE

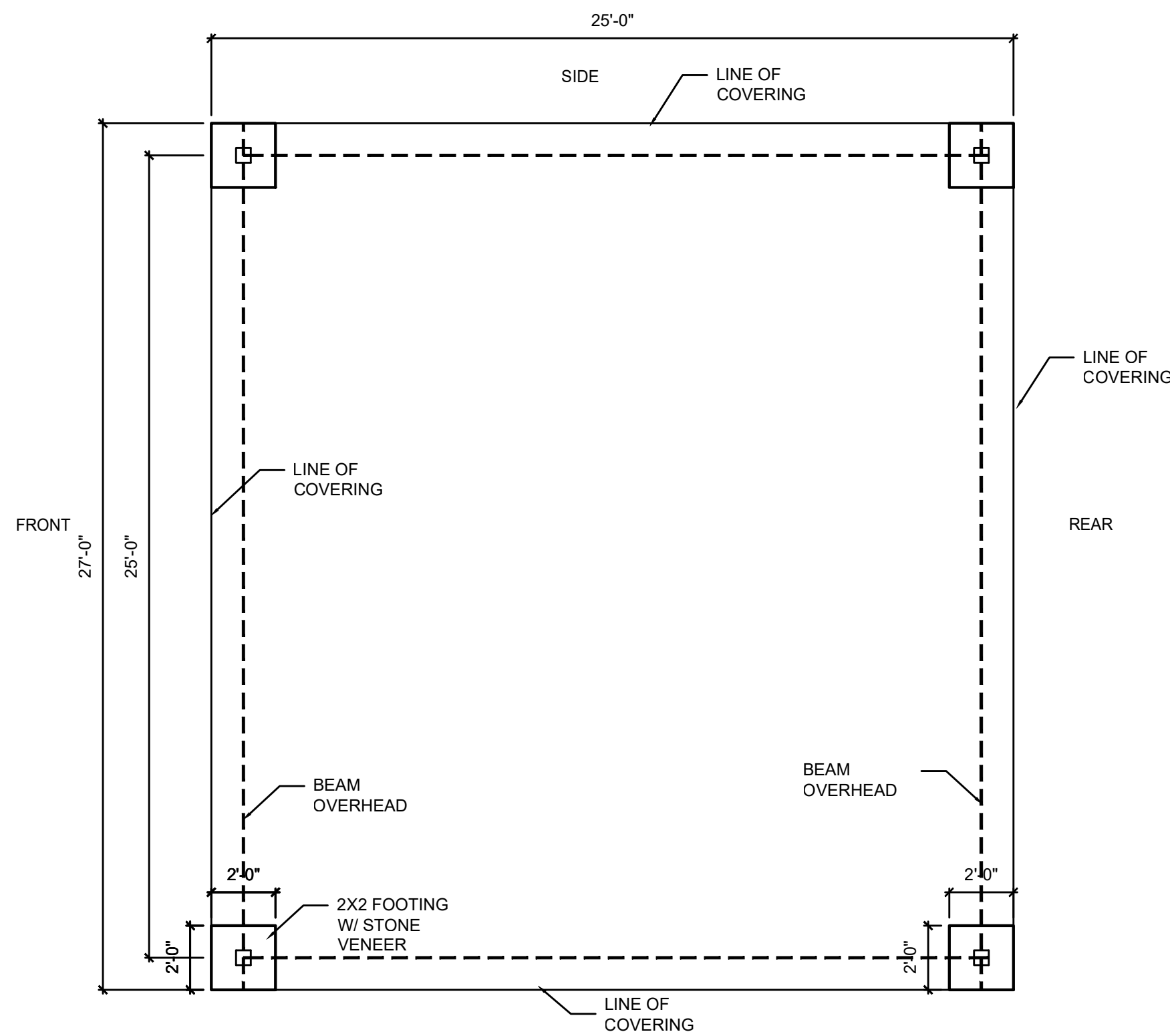
GENERAL NOTES & DETAILS

DATE	4/16/2024
SCALE	AS NOTED
DRAWING NUMBER	A-2

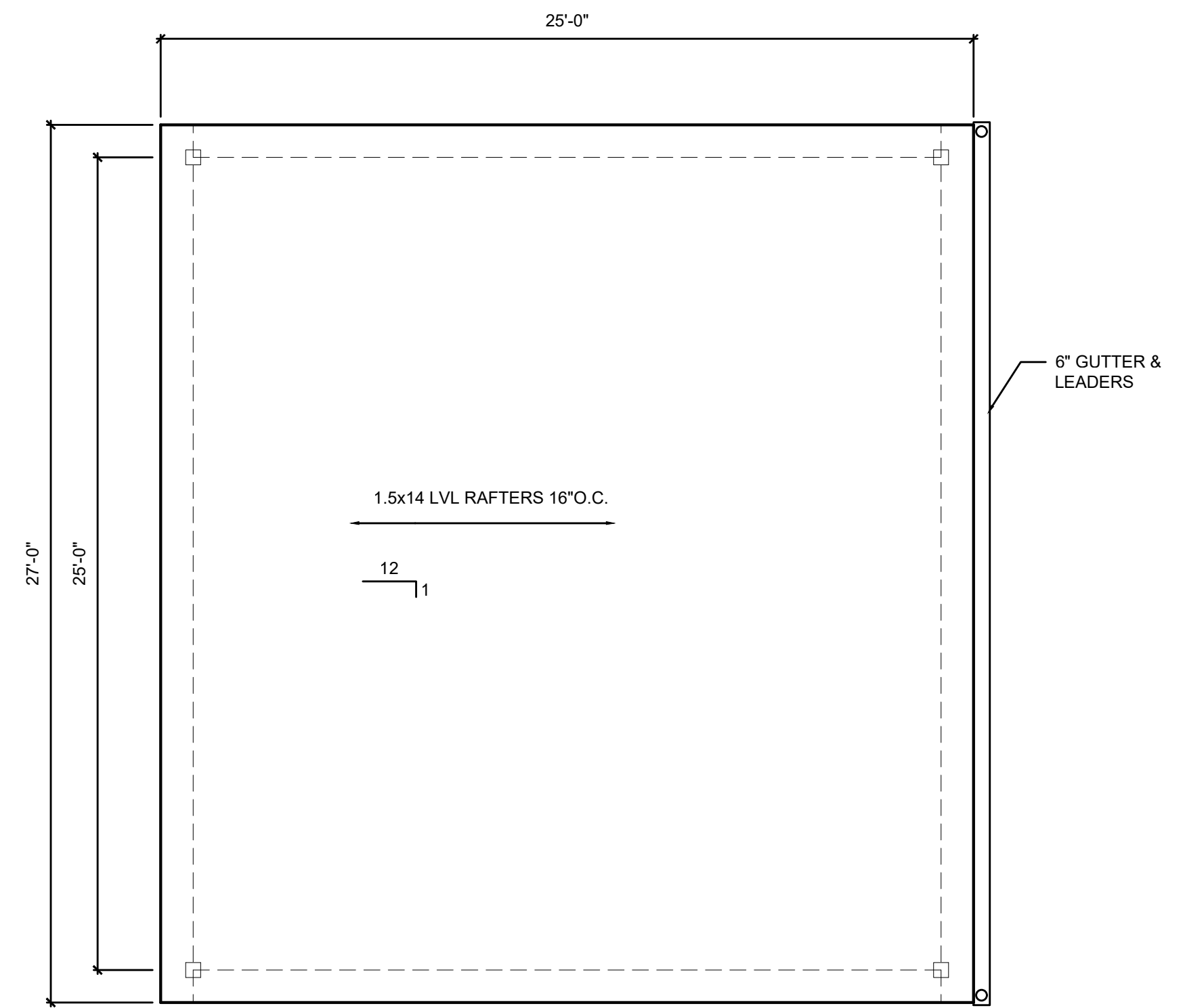
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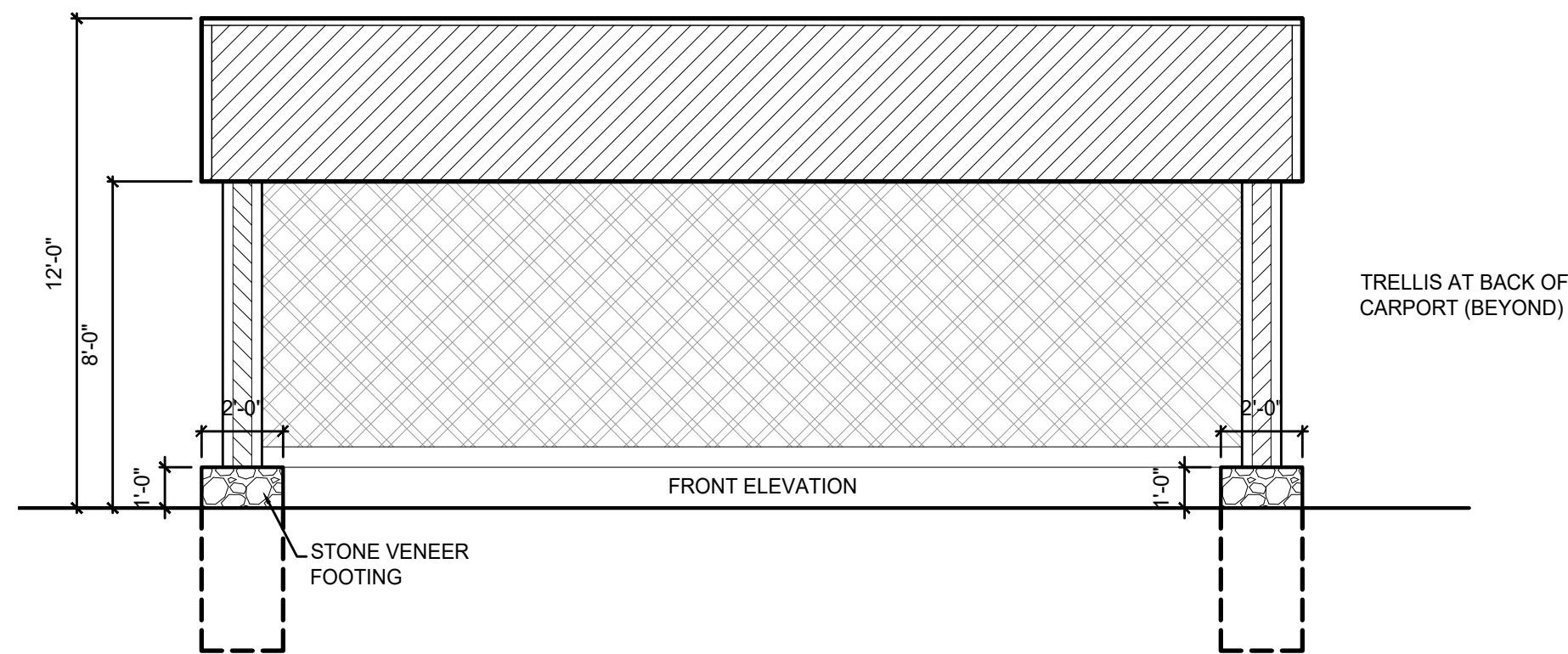
1 FOUNDATION PLAN
SCALE: 1/4"=1'-0"



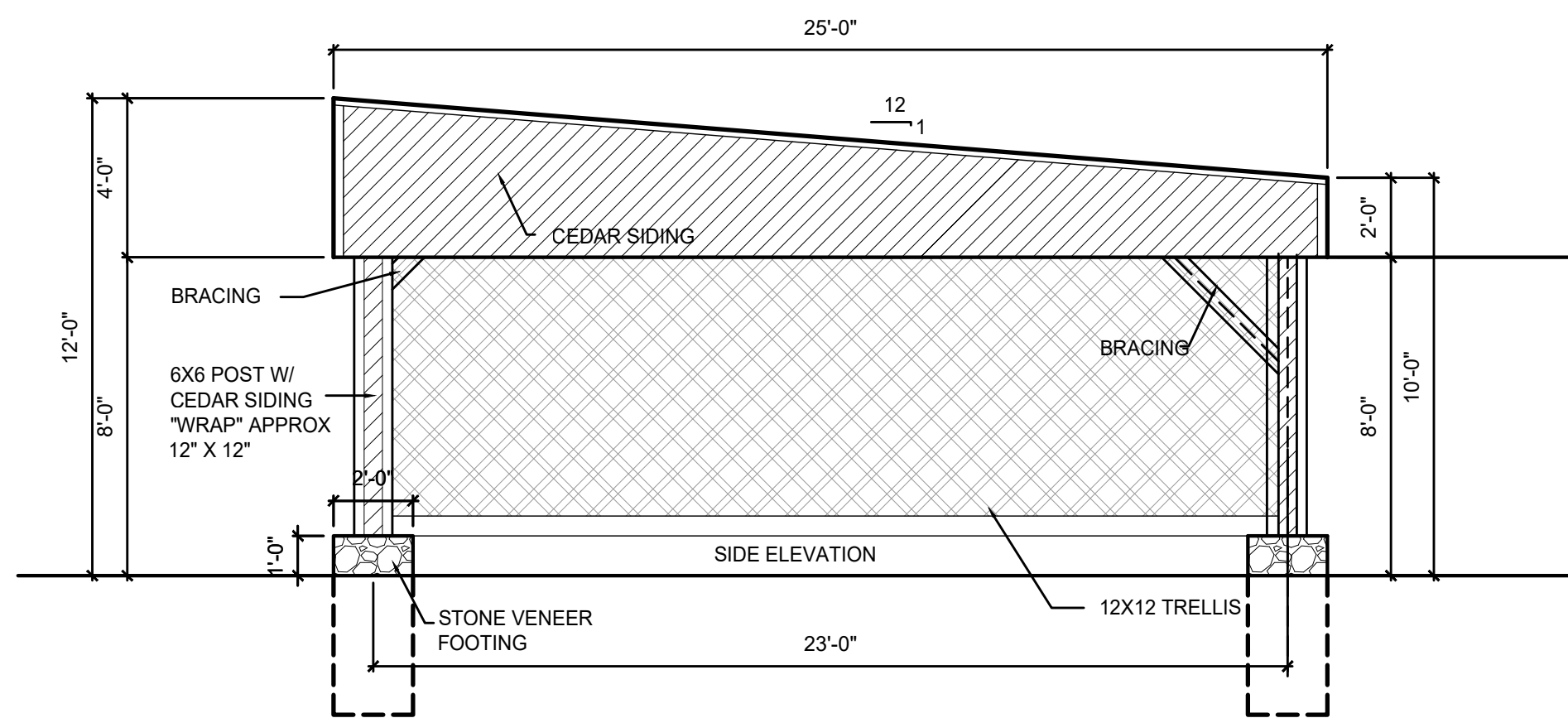
2 CONSTRUCTION PLAN
SCALE: 1/4"=1'-0"



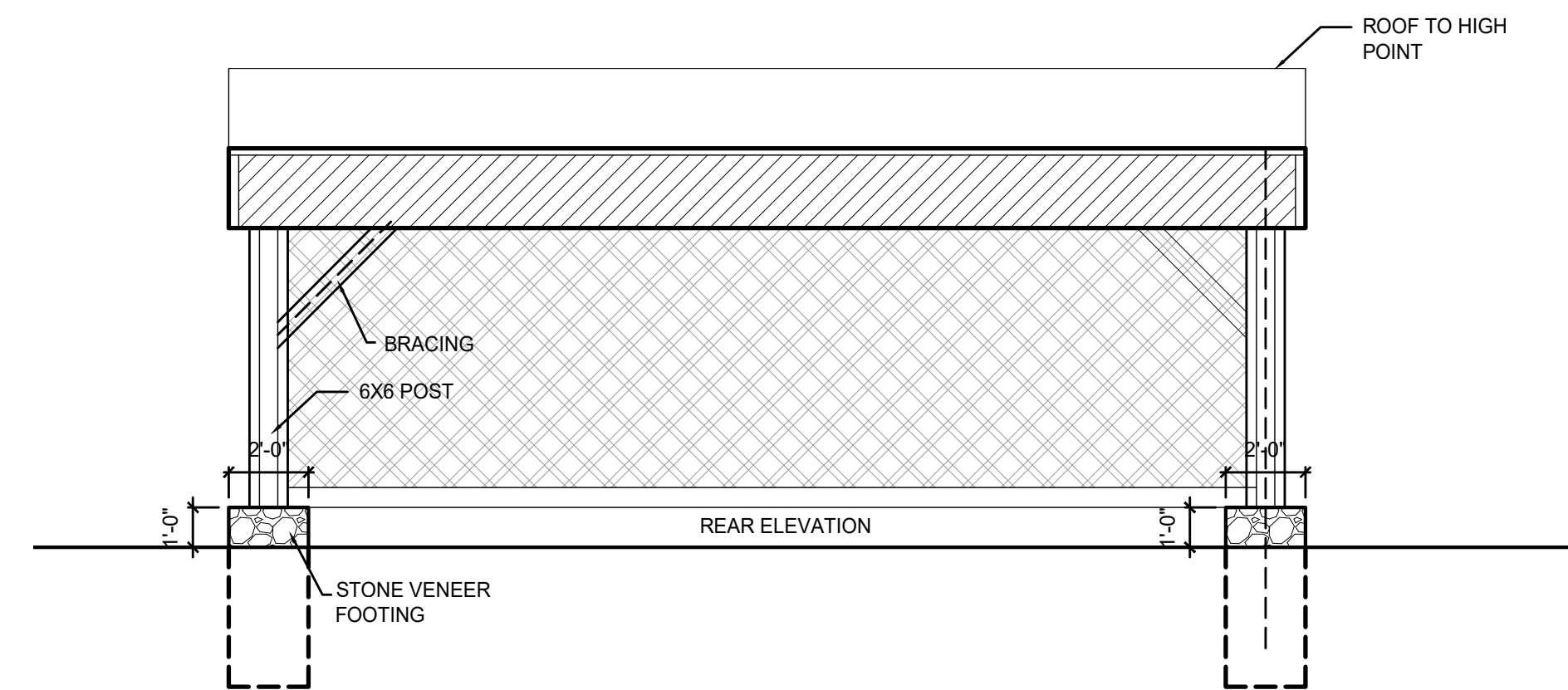
3 ROOF PLAN
SCALE: 1/4"=1'-0"



4 FRONT ELEVATION
SCALE: 1/4"=1'-0"



5 SIDE ELEVATION
SCALE: 1/4"=1'-0"



6 REAR ELEVATION
SCALE: 1/4"=1'-0"

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17 GEORGIA LANE
CROTON-ON-HUDSON NY 10520

DRAWING TITLE
CONSTRUCTION PLANS

DATE	7/16/2024
SCALE	AS NOTED
DRAWING NUMBER	A-3

A-4