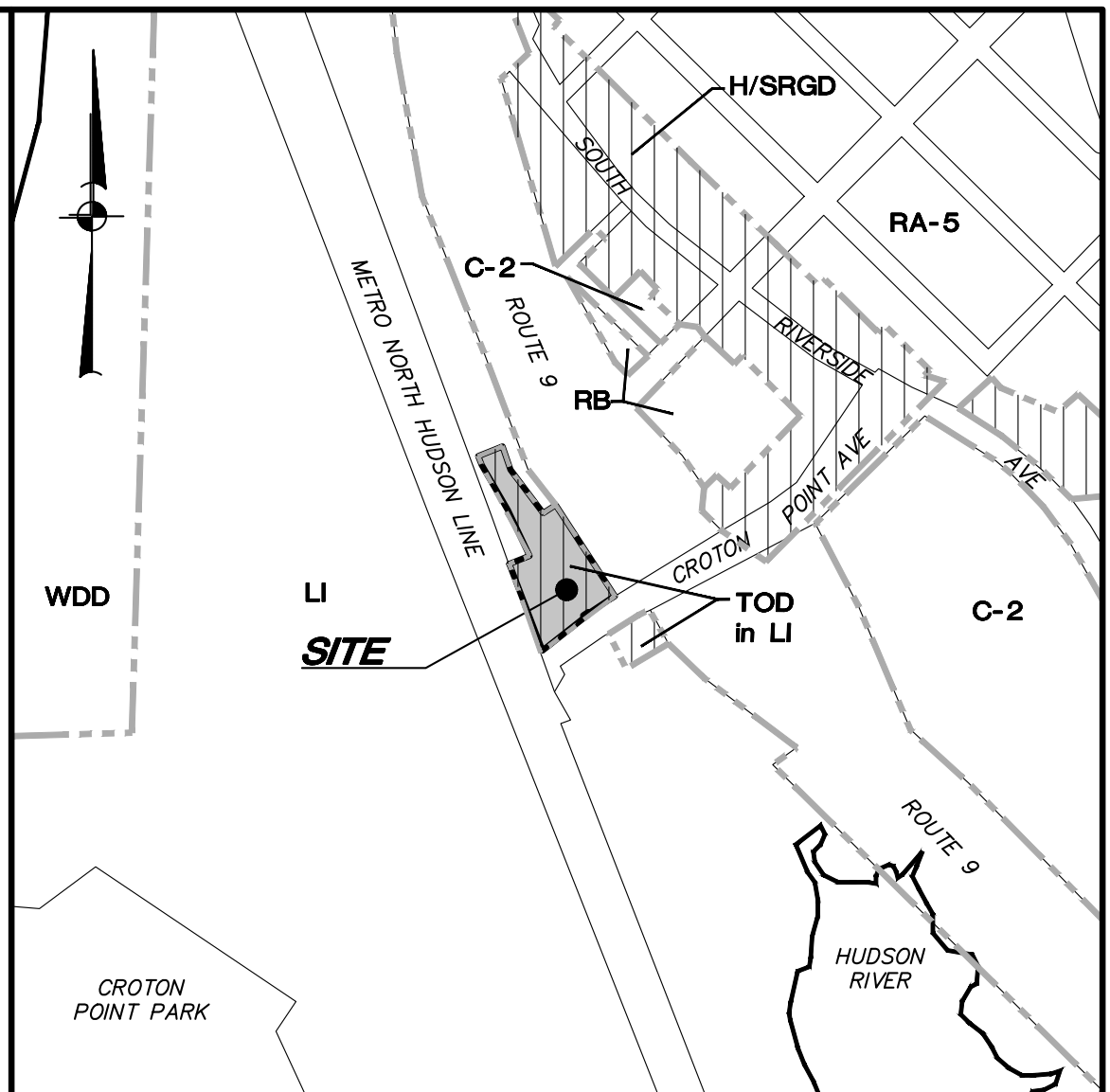




LOCATION MAP SCALE: 1" = 500'±

OWNER (LOTS 3&5):
VILLAGE OF CROTON-ON-HUDSON
1 VAN WYCK STREET
CROTON-ON-HUDSON, NY 10520

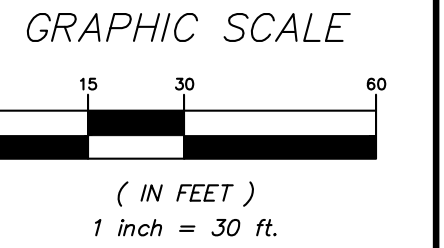
OWNER (LOT 4):
CROTON POINT REALTY, INC.
1 CROTON POINT AVE
CROTON-ON-HUDSON, NY 10520

SPONSOR / DEVELOPER:
WBP DEVELOPMENT, LLC
480 BEDFORD ROAD
CHAPPAQUA, NY 10514-1715

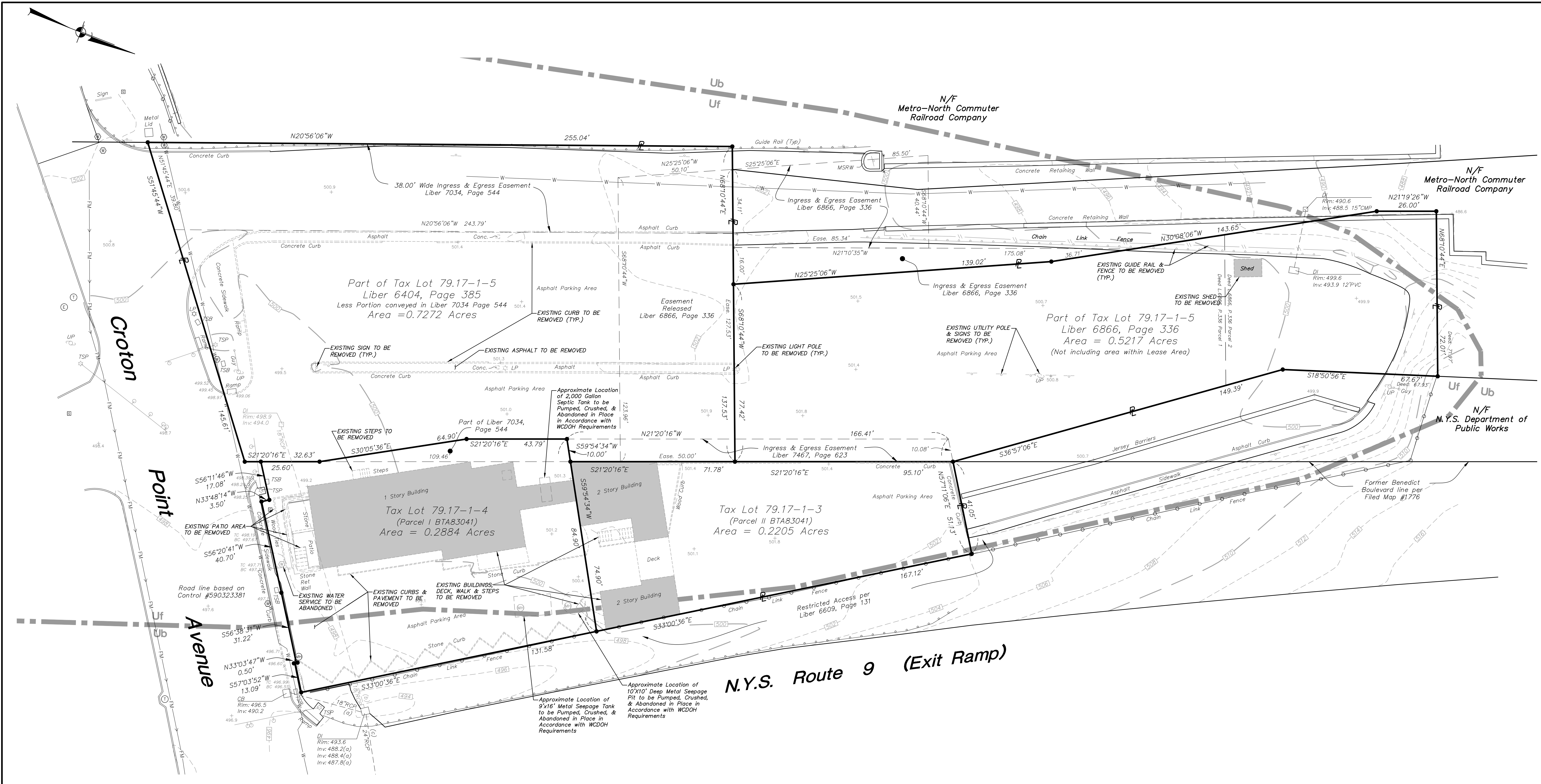
SITE DATA:
Zone: LI-Light Industrial with a
TOD-Transitoriented
Development Overlay
Total Acreage: 1.7578 AC.±
Tax Map Nos.:
1. 79.17-1-3 0.2205 AC.±
2. 79.17-1-4 0.2884 AC.±
3. 79.17-1-5 1.2489 AC.±

- GENERAL NOTES:**
- Property lines, existing conditions and topography shown hereon field located by Insite Engineering, Surveying & Landscape Architecture, P.C. Topographic datum is NAVD 1988.
 - Aerial orthomography shown hereon is taken from Google Earth Pro, dated May 10, 2023.

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING GUIDE RAIL
	EXISTING CHAIN LINK FENCE
	EXISTING POST & RAIL FENCE
	EXISTING CURB
	EXISTING SIGN
	PROPOSED CONCRETE CURB



NO.	DATE	REVISION	BY
			
PROJECT: 1 CROTON POINT CROTON POINT AVE. & VETERANS PLAZA, VILLAGE OF CROTON-ON-HUDSON, WESTCHESTER CO., NY			
DRAWING: OVERALL PLAN			
PROJECT NUMBER	24154.100	PROJECT MANAGER	R.D.W.
DATE	7-11-24	DRAWN BY	M.E.U.
SCALE	1" = 30'	CHECKED BY	D.L.M.
DRAWING NO.	OP-1	SHEET	1/7



LEGEND

- EXISTING PROPERTY LINE
- EXISTING EASEMENT
- EXISTING GUIDE RAIL
- EXISTING CHAIN LINK FENCE
- EXISTING POST & RAIL FENCE
- EXISTING CURB
- EXISTING SIGN
- EXISTING UTILITY POLE WITH GUY WIRE
- EXISTING TRAFFIC SIGNAL POLE WITH ARM
- EXISTING LIGHT POLE
- EXISTING TRAFFIC SIGNAL BOX
- EXISTING UNDERGROUND DRAINAGE PIPE
- EXISTING CATCH BASIN
- EXISTING WATER VALVE
- EXISTING GAS VALVE
- EXISTING BUILDING TO BE REMOVED

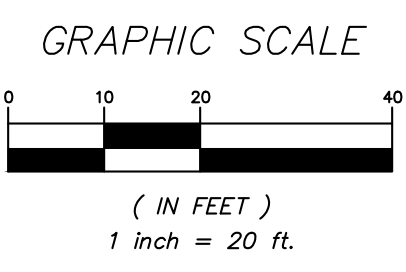
SOILS LEGEND

SOILS	DESCRIPTION	HYDROLOGICAL GROUP
Ub	Udorthents, smoothed	B
Uf	Urban Land	

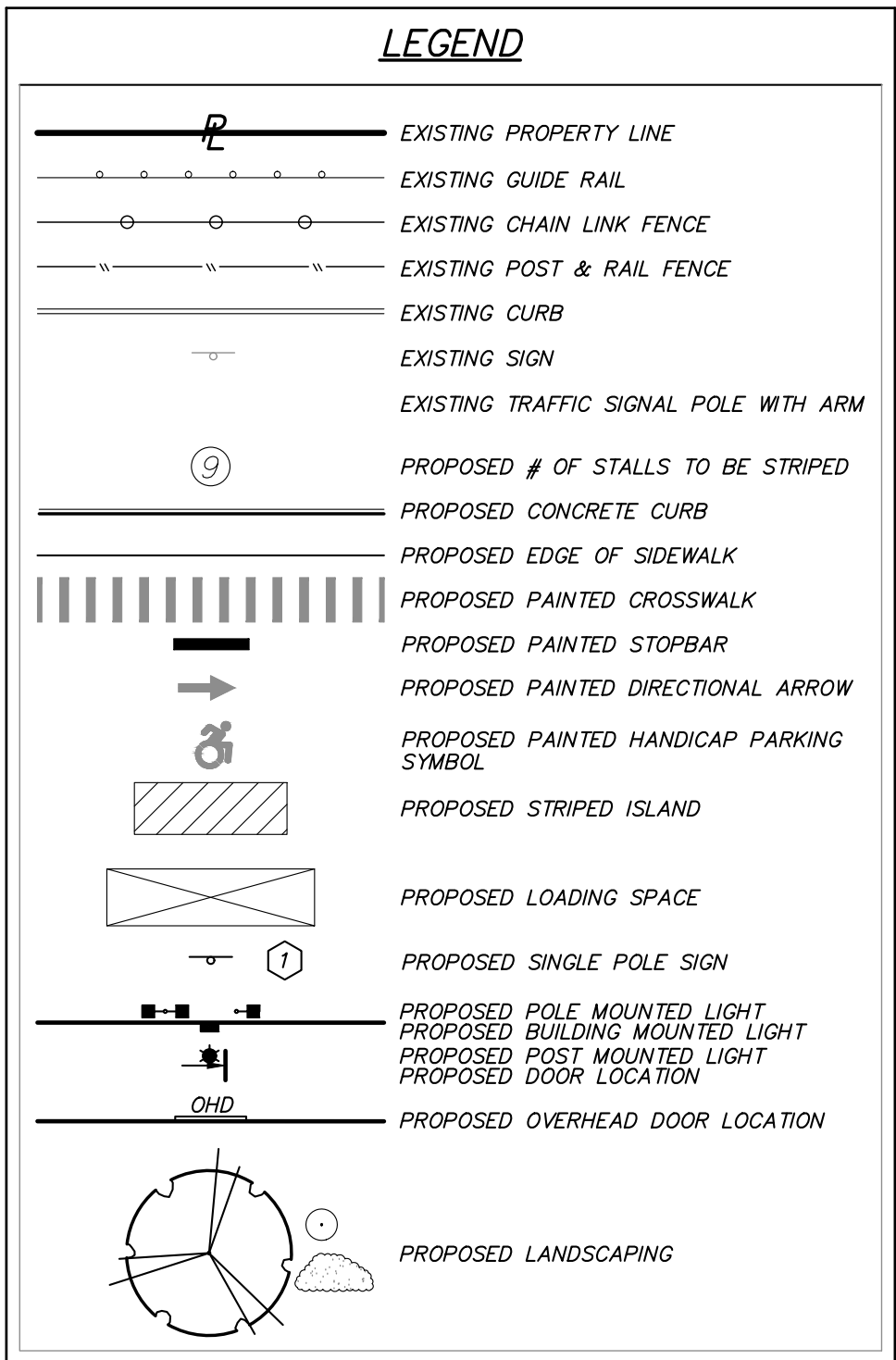
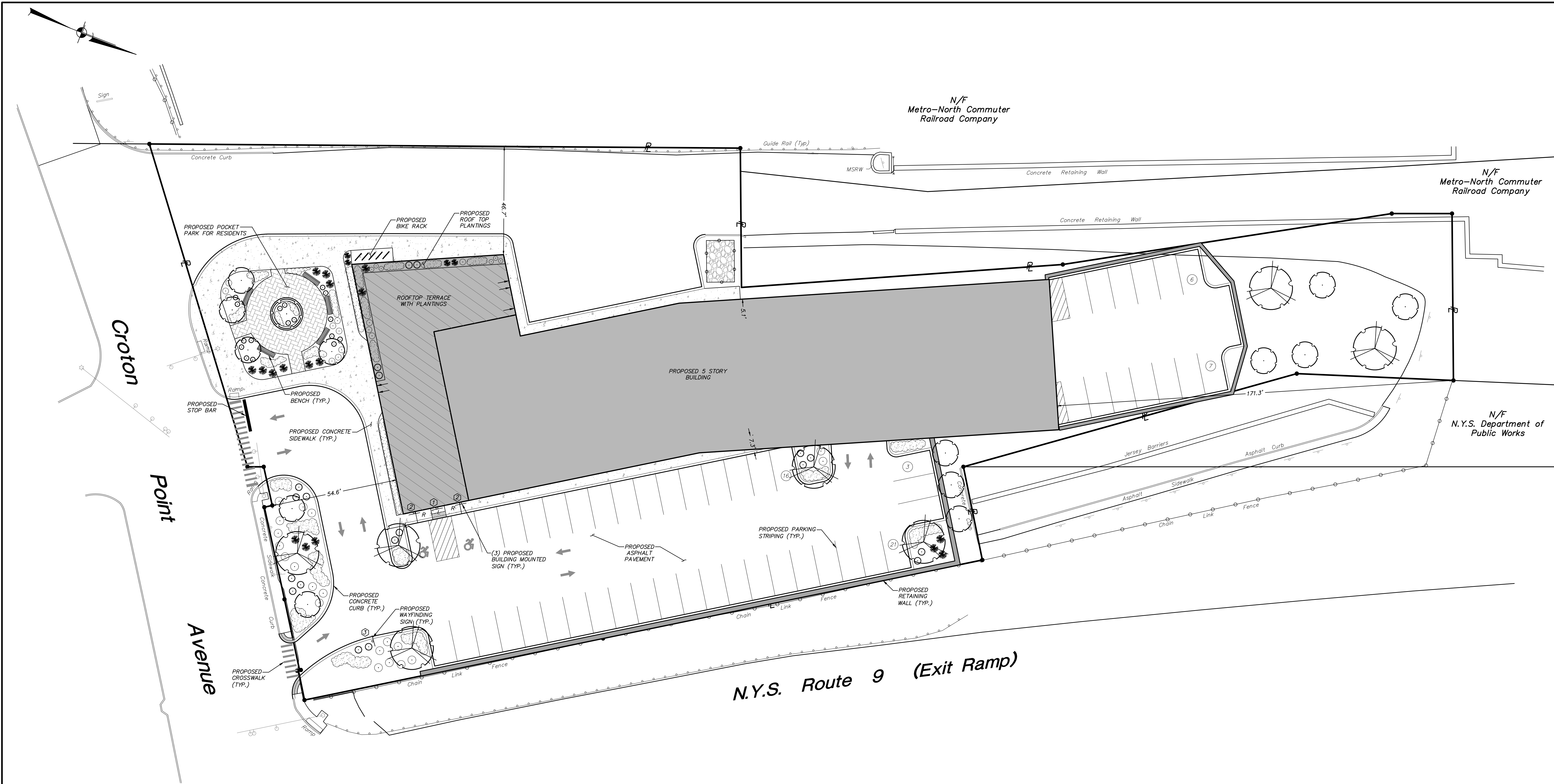
NRCS Soil Boundary Line

- GENERAL NOTES:**
- Location of existing sewer force main shown hereon along Croton Point Avenue is approximate and obtained from a drawing titled "Croton Point Landfill Leachate Collection System" prepared by Goss & Hill Inc., dated May 10th, 1991, and is shown in design location.
 - Location of existing water service shown hereon in Metro North Rail-Road Easement is approximate and obtained from a survey titled "Boundary Survey North of Croton Station" prepared by Walsh Engineering & Land Surveying, P.C., dated August 9, 2017.

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.



NO.	DATE	REVISION	BY
INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C. 3 Garrett Place Carmel, NY 10512 (845) 225-9690 (845) 225-9717 fax www.insite-eng.com			
PROJECT: 1 CROTON POINT CROTON POINT AVE. & VETERANS PLAZA, VILLAGE OF CROTON-ON-HUDSON, WESTCHESTER CO., NY			
DRAWING: EXISTING CONDITIONS & REMOVALS PLAN			
PROJECT NUMBER 24154.100	PROJECT MANAGER 7-11-24	R.D.W. M.E.U.	DRAWING NO. EX-1
DATE 7-11-24	DRAWN BY	CHECKED BY	SHEET 2
SCALE 1" = 20'		D.L.M.	7



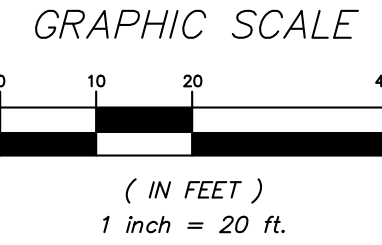
GENERAL PLANTING NOTES:

- 1. All proposed planting beds to receive a 12" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
- 2. Any new soils added will be amended as required by results of soil testing and placed using a method that will not cause compaction.
- 3. No fertilizer shall be added in stormwater basin plantings. Nutrient requirements to be met by incorporation of acceptable organic matter.
- 4. All plant material to be nursery grown.
- 5. Plants shall conform with ANSI Z60.1 American Standard for Nursery Stock in all ways including dimensions.
- 6. Plant material shall be taken from healthy nursery stock.
- 7. All plants shall be grown under climate conditions similar to those in the locality of the project.
- 8. Plants shall be planted in all locations designed on the plan or as staked in the field by the Landscape Architect.
- 9. The location and layout of landscape plants shown on the site plan shall take precedence in any discrepancies between the quantities of plants shown on the plans and the quantity of plants in the Plant List.
- 10. Provide a 3" layer of shredded pine bark mulch (or as specified) over entire watering saucer at all tree pits or over entire planting bed. Do not place mulch within 3" of tree or shrub trunks.
- 11. All landscape plantings shall be maintained in a healthy condition at all times. Any dead or diseased plants shall immediately be replaced "in kind" by the contractor (during warranty period) or project owner.

GENERAL SITE SEEDING NOTES:

- 1. All proposed seeded areas to receive 4" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
- 2. Upon final grading and placement of topsoil and any required soil amendments, areas to receive permanent vegetation cover in combination with suitable mulch as follows:
 - select seed mixture per drawings and seeding notes.
 - fertilizer applied at the manufacturer's recommended rate using Lesco 10-0-18 (no phosphorous) fertilizer or equivalent.
 - mulch: salt hay or small grain straw applied at a rate of 90 lbs./1000 s.f. or 2 tons/acre, to be applied and anchored according to New York State Standards and Specifications for Erosion and Sediment Control, August 2005.
 - If the season prevents the establishment of a permanent vegetation cover, the disturbed areas will be mulched with straw or equivalent.
- 3. The seed mixes as specified on these drawings are as follows:
 - A. Seed Mix for lawn areas and mow strip along roads at a rate of 100 lbs. per acre:
 - Kentucky Bluegrass 20%
 - Crested Red Fescue 40%
 - Perennial Ryegrass 20%
 - Annual Ryegrass 20%
 - B. Seed Mix for Wildflower Meadow areas and SSTS area as shown on the drawings at a rate of 15 lbs. per acre:
 - Low-Growing Wildflower & Grass Mix (ERNM-156) from Ernst Conservation Seeds of Meadville, PA.

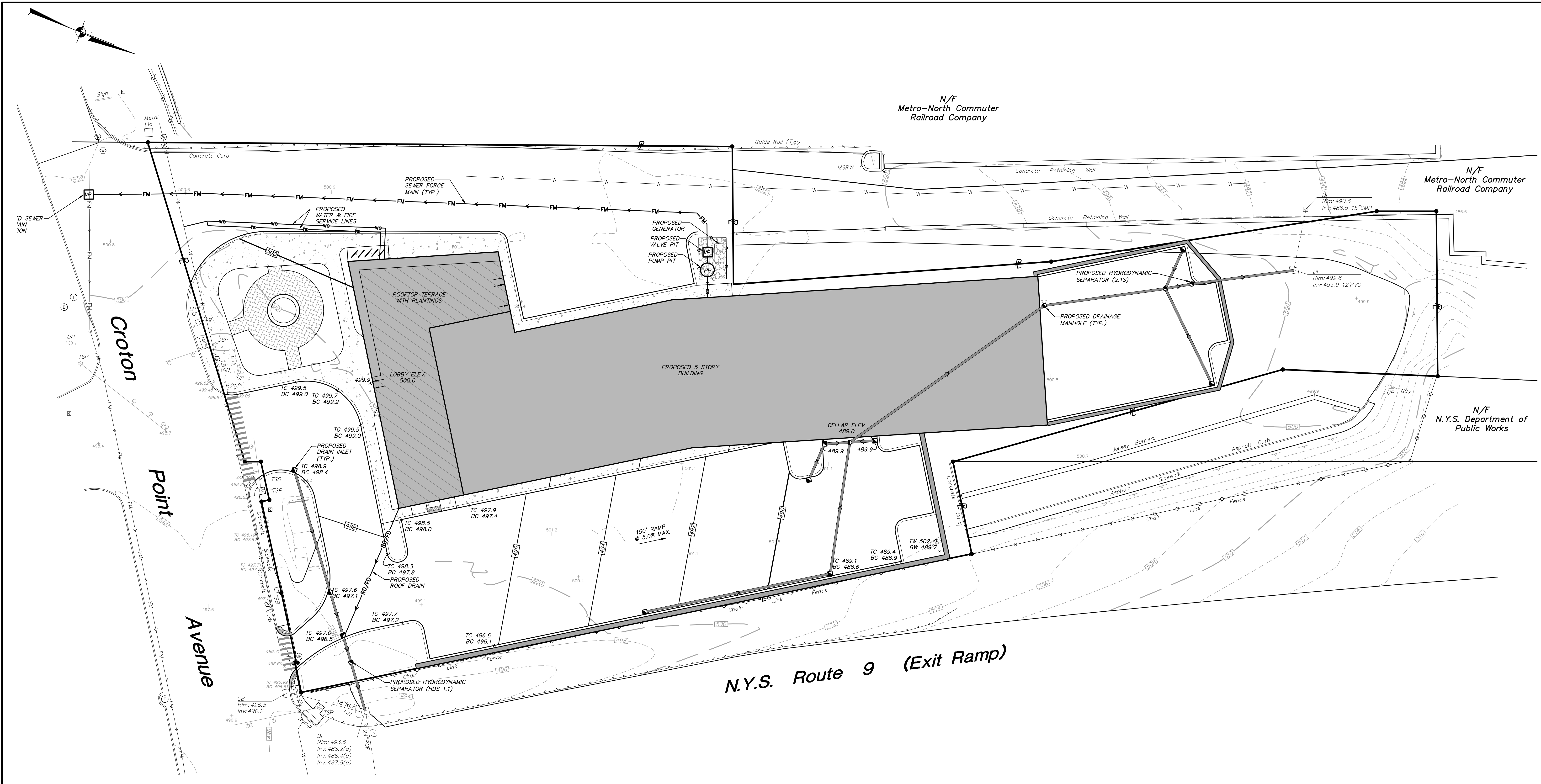
SITE PLANT SCHEDULE			
KEY	BOTANICAL/COMMON NAME	SIZE	ROOT/SPACING
	DECIDUOUS TREES		
	AR Acer rubrum / Red Maple	3" - 3/8" CAL.	B & B
	NS Nyssa sylvatica / Black Tupelo	3" - 3/8" CAL.	B & B
	OR Quercus rubra / Northern Red Oak	3" - 3/8" CAL.	B & B
	EVERGREEN TREES		
	IO Ilex opaca / American Holly	6' HT.	B & B
	JV Juniperus virginiana / Eastern Red Cedar	8' HT.	B & B
	TG Thuja occidentalis / Green Giant Arborvitae	8' HT.	B & B
	TE Thuja occidentalis / Emerald Green Arborvitae	6' HT.	B & B
	UNDERSTORY TREES		
	AC Amelanchier x grandiflora / 'Autumn Brilliance' Serviceberry	1 1/2" CAL.	B & B
	CC Cercis canadensis / Eastern Redbud	1 1/2" CAL.	B & B
	MV Magnolia virginiana / Sweetbay Magnolia	1 1/2" CAL.	B & B
	SHRUBS		
	OR Cornus racemosa / Gray Dogwood	30" - 36" HT.	#5 CONT.
	HV Hamamelis virginiana / Witchhazel	30" - 36" HT.	#5 CONT.
	HQ Hydrangea quercifolia / Oakleaf Hydrangea	30" - 36" HT.	#5 CONT.
	IV Ilex verticillata / Winterberry	18" - 24" HT.	#3 CONT.
	IG Ilex glabra / Inkberry	18" - 24" HT.	#3 CONT.
	IT Itea virginica / Virginia Sweetspire	18" - 24" HT.	#3 CONT.
	GROUNDCOVERS		
	An Aster novae angliae / New England Aster	18" O.C.	#3 CONT.
	Al Asclepias incarnata / Swamp Milkweed	24" O.C.	#3 CONT.
	Ep Echinacea purpurea / Coneflower	18" O.C.	#3 CONT.
	Iv Iris versicolor / Blue Flag Iris	24" O.C.	#3 CONT.
	Sr Solidago rugosa / Goldenrod	18" O.C.	#3 CONT.



NO.	DATE	REVISION	BY
PROJECT: 1 CROTON POINT CROTON POINT AVE. & VETERANS PLAZA, VILLAGE OF CROTON-ON-HUDSON, WESTCHESTER CO., NY			
DRAWING: LAYOUT & LANDSCAPE PLAN			
PROJECT NUMBER 24154.100	PROJECT MANAGER R.D.W.	DRAWING NO. SP-1	SHEET 3
DATE 7-11-24	DRAWN BY M.E.U.		
SCALE 1" = 20'	CHECKED BY D.L.M.		

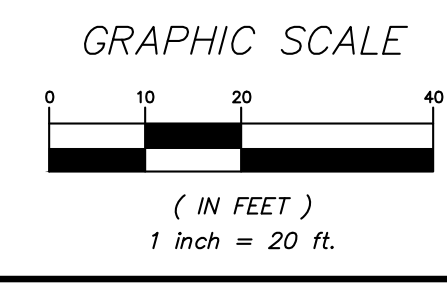
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ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.



LEGEND	
	EXISTING PROPERTY LINE
	EXISTING GUIDE RAIL
	EXISTING CHAIN LINK FENCE
	EXISTING POST & RAIL FENCE
	EXISTING CURB
	EXISTING SIGN
	EXISTING UTILITY POLE WITH GUY WIRE
	EXISTING TRAFFIC SIGNAL POLE WITH ARM
	EXISTING LIGHT POLE
	EXISTING TRAFFIC SIGNAL BOX
	EXISTING UNDERGROUND DRAINAGE PIPE
	EXISTING CATCH BASIN
	EXISTING WATER VALVE
	EXISTING GAS VALVE
	PROPOSED 10' CONTOUR
	PROPOSED 2' CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED TOP OF CURB & BOTTOM OF CURB ELEVATIONS
	PROPOSED SEWER MANHOLE
	PROPOSED DRAINAGE MANHOLE
	PROPOSED CATCH BASIN
	PROPOSED OUTLET STRUCTURE
	PROPOSED END SECTION
	PROPOSED WATER GATE VALVE
	PROPOSED FIRE HYDRANT
	PROPOSED WELL
	PROPOSED WATER SHUT OFF VALVE
	PROPOSED WATER VALVE
	PROPOSED DRAINAGE PIPE
	PROPOSED SEWER MAIN
	PROPOSED SEWER FORCE MAIN
	PROPOSED SEWER SERVICE LINE
	PROPOSED GREY WATER MAIN
	PROPOSED GREY WATER SERVICE LINE
	PROPOSED FIRE SERVICE LINE
	PROPOSED DOMESTIC WATER SERVICE LINE
	PROPOSED WATER MAIN
	PROPOSED GRASS SWALE
	PITCH TO DRAIN
	PROPOSED CLEAN OUT

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.



NO.	DATE	REVISION	BY
PROJECT: 1 CROTON POINT CROTON POINT AVE. & VETERANS PLAZA, VILLAGE OF CROTON-ON-HUDSON, WESTCHESTER CO., NY.			
DRAWING: GRADING & UTILITIES PLAN			
PROJECT NUMBER 24154.100	PROJECT MANAGER R.D.W.	DRAWING NO. SP-2	SHEET 4
DATE 7-11-24	DRAWN BY M.E.U.	CHECKED BY D.L.M.	7
SCALE 1" = 20'			

3 Garrett Place
Croton, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

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ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.

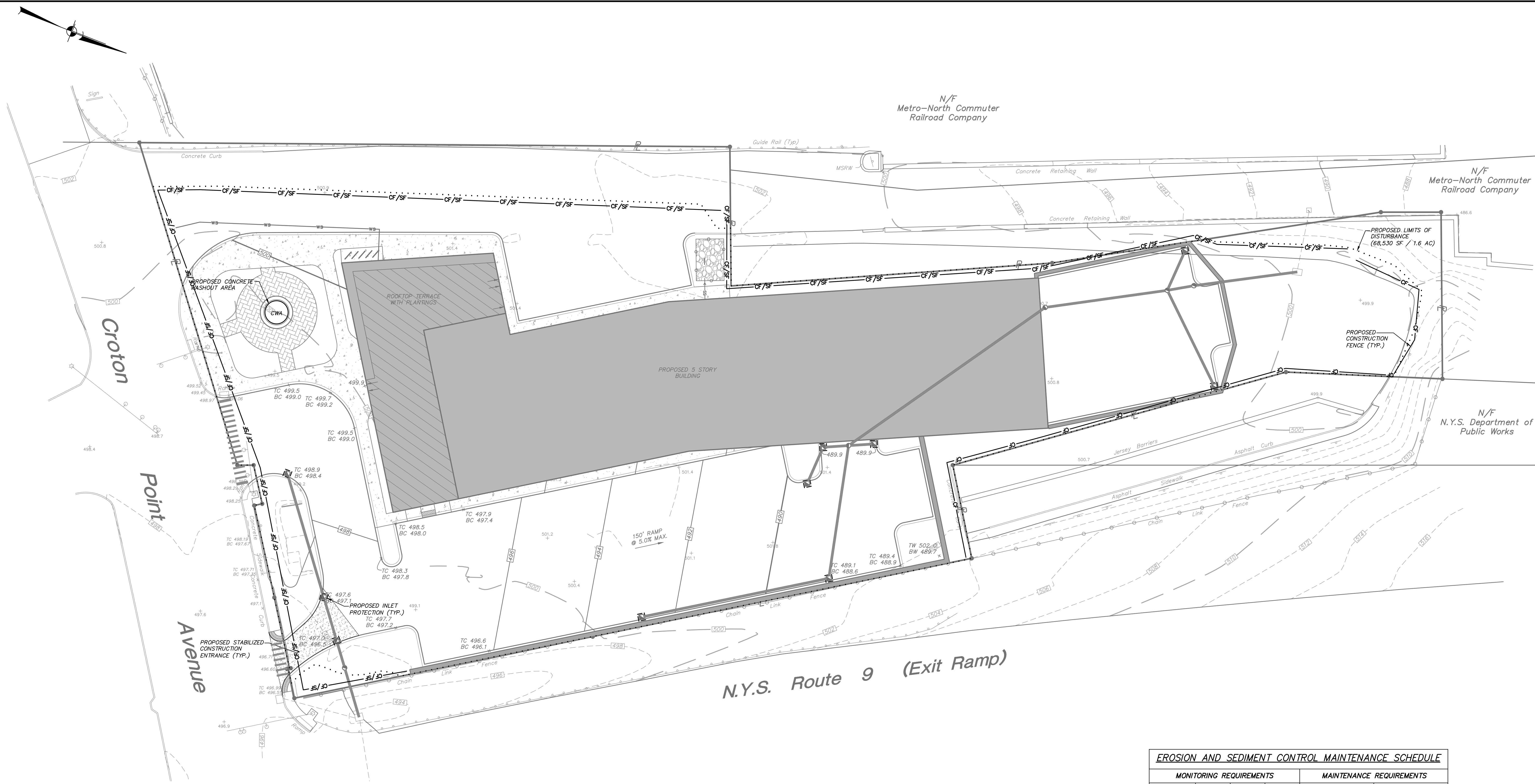
REQUIRED EROSION CONTROL SWPPP CONTENTS:

Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-20-001), all Stormwater Pollution Prevention Plan's (SWPPP) shall include erosion and sediment control practices designed in conformance with the most current version of the technical standard, "New York Standards and Specifications for Erosion and Sediment Control." Where erosion and sediment control practices are not designed in conformance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of required SWPPP components is provided in accordance with Part III.B.1.a-i of General Permit (GP-0-20-001):

- Background information: The subject project consists of the construction of a 100 Unit affordable condominium building.
- Site map / construction drawing: These plans serve to satisfy this SWPPP requirement.
- Description of the soils present at the site: Onsite soils located within the proposed limits of disturbance consist of Urban land (U1), Urban land-Riverhead complex (U4C), and Udiorthents, smoothed (Ub), as identified on the Soil Conservation Service Web Soil Survey. These soil types belong to the Hydrologic Soil Group "B" and "D."
- Construction phasing plan / sequence of operations: The Construction Sequence and phasing found on these plans provide the required phasing. A Construction Sequence and Erosion and Sediment Control Maintenance Schedule has been provided. The Erosion and Sediment Control Notes contained herein outline a general sequence of operations for the proposed project. In general all erosion and sediment control facilities shall be installed prior to commencement with land disturbing activities, and areas of disturbance shall be limited to the shortest period of time as practicable.
- Description of erosion and sediment control practices: This plan, and details / notes shown herein serve to satisfy this SWPPP requirement.
- Temporary and permanent soil stabilization plan: The Sedimentation and Erosion Control Notes and Details provided herein identify temporary and permanent stabilization measures to be employed with respect to specific elements of the project, and at the various stages of development.
- Site map / construction drawing: This plan serves to satisfy this SWPPP requirement.
- The dimensions, material specifications, installation details, and operation and maintenance requirements for all erosion and sediment control practices. The details, Erosion and Sediment Control Notes, and Erosion and Sediment Control Maintenance Schedule serve to satisfy this SWPPP requirement.
- An inspection schedule: Inspections are to be performed twice weekly and by a qualified professional as required by the General Permit (GP-0-20-001). In addition the NYSDEC Trained Contractor shall perform additional inspections as cited in the Sedimentation and Erosion Control Notes.
- A description of pollution prevention measures that will be used to control litter, construction chemicals and construction debris: In general, all construction litter / debris shall be collected and removed from the site. The general contractor shall supply either waste barrels or dumpster for proper waste disposal. Any construction chemicals utilized during construction shall either be removed from site daily by the contractor or stored in a structurally sound and weatherproof building. No hazardous waste shall be disposed of onsite, and shall ultimately be disposed of in accordance with all federal, state and local regulations. Material Safety Data Sheets (MSDS), material inventory, and emergency contact numbers shall be maintained by the general contractor for all construction chemicals utilized onsite. Finally, temporary sanitary facilities (portable toilets) shall be provided onsite during the entire length of construction, and inspected weekly for evidence of leaking holding tanks.
- A description and location of any stormwater discharges associated with industrial activity other than construction at the site: There are no known industrial stormwater discharges present or proposed at the site.
- Identification of any elements of the design that are not in conformance with the technical standard, "New York Standards and Specifications for Erosion and Sediment Control." All proposed elements of this SWPPP have been designed in accordance with the "New York Standards and Specifications for Erosion and Sediment Control."

REQUIRED POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICE COMPONENTS:

- Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-20-001), all construction projects needing post-construction stormwater management practices shall prepare a SWPPP that also includes practices designed in conformance with the most current version of the technical standard, "New York State Stormwater Management Design Manual ("Design Manual"). Where post-construction stormwater management practices are not designed in conformance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of SWPPP components is provided in accordance with Part III.B.2.a-f and III.B.3:
 - Identification of all post-construction stormwater management practices to be constructed as part of the project; This plan, and details/notes shown hereon serve to satisfy this SWPPP requirement.
 - A site map/construction drawing(s) showing the specific location and size of each post-construction stormwater management practice; This plan, and details/notes shown hereon serve to satisfy this SWPPP requirement.
 - A Stormwater Modeling and Analysis Report including pre-development conditions, post-development conditions, the results of the stormwater modeling, a summary table demonstrating that each practice has been designed in conformance with the sizing criteria, identification of and justification for any deviations from the Design Manual, and identification of any design criteria that are not required. The required analysis is provided in the report titled Stormwater Pollution Prevention Plan for 1 Croton Point.
 - An operations and maintenance plan that includes inspection and maintenance schedules and actions to ensure continuous and effective operation of each post-construction stormwater management practice. The plan shall identify the entity that will be responsible for the long term operation and maintenance of each practice. The Permanent Stormwater Facilities Maintenance Schedule provided on these plans serves to satisfy this requirement.
- Enhanced Phosphorus Removal Standards – Beginning on September 30, 2008, all construction projects identified in Table 2 of Appendix B that are located in the watersheds identified in Appendix C shall prepare a SWPPP that includes post-construction stormwater management practices designed in conformance with the Enhanced Phosphorus Removal Standards included in the most current version of the technical standard, "New York Stormwater Management Design Manual." At a minimum, the post-construction stormwater management practice component of the SWPPP shall include items 2.a – 2.f above. This requirement is not applicable as the project is not located in the watersheds identified in Appendix C.



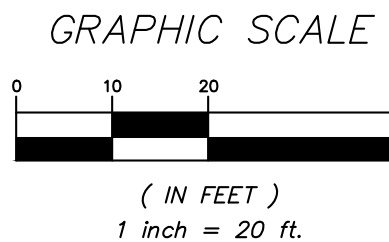
LEGEND	
	EXISTING PROPERTY LINE
	EXISTING GUIDE RAIL
	EXISTING CHAIN LINK FENCE
	EXISTING POST & RAIL FENCE
	EXISTING CURB
	EXISTING SIGN
	EXISTING UNDERGROUND DRAINAGE PIPE
	EXISTING CATCH BASIN
	PROPOSED SILT FENCE
	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED TEMPORARY SOIL STOCKPILE
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
	PROPOSED DRAINAGE STRUCTURE W/ INLET PROTECTION

EROSION & SEDIMENT CONTROL NOTES:

- The owner's field representative (O.F.R.) will be responsible for the implementation and maintenance of erosion and sediment control measures on this site prior to and during construction.
- All construction activities involving the removal or disposition of soil are to be provided with appropriate protective measures to minimize erosion and contain sediment disposition within. Minimum soil erosion and sediment control measures shall be implemented as shown on the plans and shall be installed in accordance with "New York Standards and Specifications For Erosion and Sediment Control," latest edition.
- Wherever feasible, natural vegetation should be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No more than 5 acres of unprotected soil shall be exposed at any one time.
- When land is exposed during development, the exposure shall be kept to the shortest practical period of time. In the areas where soil disturbance activity has temporarily or permanently ceased, the application of soil stabilization measures must be initiated by the end of the next business day and completed within fourteen (14) days from the date the current soil disturbance activity ceased. Disturbance shall be minimized to the areas required to perform construction.
- Silt fence shall be installed as shown on the plans prior to beginning any clearing, grubbing or earthwork.
- All topsoil to be stripped from the area being developed shall be stockpiled and immediately seeded for temporary stabilization. Ryegrass (annual or perennial) at a rate of 30 lbs. per acre shall be used for temporary seeding in spring, summer or early fall. 'Aristocrat' Winter Rye (cereal rye) shall be used for temporary seeding in late fall and winter.
 - Any disturbed areas not subject to further disturbance or construction traffic, permanent or temporary, shall have soil stabilization measures initiated for permanent vegetation cover in combination with a suitable mulch within 1 business day of final grading. All seeded areas to receive a minimum 4" topsoil (from stockpile area) and be seeded and mulched as follows:
 - Seed mixture to be planted between March 21 and May 20, or between August 15 and October 15 or as directed by project representative at a rate of 100 pounds per acre in the following proportions:
 - Kentucky Bluegrass 20%
 - Crested Red Fescue 40%
 - Perennial Ryegrass 20%
 - Annual Ryegrass 20%
 - Mulch: Soft hay or small grain straw applied at a rate of 90 lbs./1000 S.F. or 2 tons/acre, to be applied and anchored according to "New York Standards and Specification For Erosion and Sediment Control," latest edition.
- Grass seed mix may be applied by either mechanical or hydrosseeding methods. Seeding shall be performed in accordance with the current edition of the NYSDEC Standard Specification, Construction and Materials, Section 610-3.02, Method No. 1". Hydrosseeding shall be performed using materials and methods as approved by the site engineer.
- Cut or fill slopes steeper than 2:1 shall be stabilized immediately after grading with Curlex I Single Net Erosion Control Blanket, or approved equal.
- Paved roadways shall be kept clean at all times.
- The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.
- All storm drainage outlets shall be stabilized, as required, before the discharge points become operational.
- Stormwater from disturbed areas must be passed through erosion control barriers before discharge beyond disturbed areas or discharged into other drainage systems.
- Erosion and sediment control measures shall be inspected and maintained on a daily basis by the O.F.R. to insure that channels, temporary and permanent ditches and pipes are clear of debris, that embankments and berms have not been breached and that all straw bales and silt fences are intact. Any failure of erosion and sediment control measures shall be immediately repaired by the contractor and inspected for approval by the O.F.R. and/or site engineer.
- Dust shall be controlled by sprinkling or other approved methods as necessary, or as directed by the O.F.R.
- Cut and fills shall not endanger adjoining property, nor divert water onto the property of others.
- All fills shall be placed and compacted in 6" lifts to provide stability of material and to prevent settlement.
- The O.F.R. shall inspect downstream conditions for evidence of sedimentation on a weekly basis and after rainstorms.
- As warranted by field conditions, special additional erosion and sediment control measures, as specified by the site engineer and/or the Town Engineer shall be installed by the contractor.
- Erosion and sediment control measures shall remain in place until all disturbed areas are suitably stabilized.

EROSION AND SEDIMENT CONTROL MAINTENANCE SCHEDULE					
MONITORING REQUIREMENTS			MAINTENANCE REQUIREMENTS		
PRACTICE	DAILY	WEEKLY	AFTER RAINFALL	DURING CONSTRUCTION	AFTER CONSTRUCTION
SILT FENCE BARRIER	–	Inspect	Inspect	Clean/Replace	Remove
STABILIZED CONSTRUCTION ENTRANCE	Inspect	–	Inspect	Clean/Replace Stone and Fabric	Remove
INLET PROTECTION	–	Inspect	Inspect	Clean/Repair/Replace	Remove
DUST CONTROL	Inspect	–	Inspect	Mulching/Spraying Water	N/A
*VEGETATIVE ESTABLISHMENT	–	Inspect	Inspect	Water/Reseed/Remulch	Reseed to 80% Coverage
SOIL STOCKPILES	–	Inspect	Inspect	Mulching/Silt Fence Repair	Remove
SWALES	–	Inspect	Inspect	Clean/Mulch/Repair	Mow Permanent Grass/Replace/Repair Rip Rap
CONCRETE DRAINAGE STRUCTURES	–	Inspect	Inspect	Clean Sumps/Remove Debris/Repair/Replace	See Permanent Stormwater Facilities Maintenance Schedule on Drawing D-10
DRAINAGE PIPES	–	Inspect	Inspect	Clean/Repair	
ACCESS ROAD / PAVEMENT	–	Inspect	Inspect	Clean	Clean
HYDRODYNAMIC SEPARATOR	–	Inspect	Inspect	Clean per Manufacturer Specification	See Permanent Stormwater Facilities Maintenance Schedule on Drawing D-10

* Permanent vegetation is considered stabilized when 80% of the plant density is established. Erosion control measures shall remain in place until all disturbed areas are permanently stabilized.



NO.	DATE	REVISION	BY
3 Garrett Place Croton, NY 10512 (845) 225-9690 (845) 225-9717 fax www.insite-eng.com			
PROJECT: 1 CROTON POINT CROTON POINT AVE. & VETERANS PLAZA, VILLAGE OF CROTON-ON-HUDSON, WESTCHESTER CO., NY.			
DRAWING: EROSION & SEDIMENT CONTROLS PLAN			
PROJECT NUMBER	24154.100	PROJECT MANAGER	R.D.W.
DATE	7-11-24	DRAWN BY	M.E.U.
SCALE	1" = 20'	CHECKED BY	D.L.M.
DRAWING NO.	SHEET		
SP-3		5	7



