

Village of



Croton-on-Hudson

Engineering Department
Stanley H. Kellerhouse Municipal Building
One Van Wyck Street
Croton-on-Hudson, NY 10520-2501
Tel: 914-271-4783
engineering@crotononhudson-ny.gov

Zoning Board of Appeals Application (ZBA)

RECEIVED (Form # Eng-§230-160)

SEP 24 2024

(Revised 05 2024)

Engineers Office

Application Date: 9/23/2024

Application #: 20220164 - Renewal

Type of Application: ☒ Area ☐ Special Permit ☐ Appeal ☐ Interpretation ☐ Use ☐ Fence

NYS SEQR (§617) Actions:

- ☐ **Type I -** Submit long EAF and CAF
☒ **Type II -** Not subject to SEQR (area variances for 1, 2 and 3 family homes and lot line variances and individual setback variances) EAF & CAF not required
☐ **Unlisted -** Submit short EAF (long EAF may be required) and CAF

Other Involved Agencies: ☐ Village Board ☒ Planning Board ☐ Other: _____

Property Information:

Section: 78.8

Block: 1

Lot: 3

Property Location (street address): 6 Elliot Way, Croton on Hudson, NY 10520

Zoning District ☐ RA5 ☐ RA9 ☐ RA25 ☐ RA40 ☐ RB (2 family) ☐ RC Multiple Residence
Limited Office ☐ O-1 ☐ O-2
Commercial ☐ C1 Central ☐ C2 General ☐ Gateway overlay
Other ☐ LI Light Industrial ☒ WC Waterfront ☐ WD Waterfront Development

Current Use: ☐ 1 Family ☐ 2 Family ☐ 3 Family ☐ Multi Family ☐ Vacant Lot
☒ Commercial/Other (description): Waterfront / Croton Yacht Club

Applicant Information: (if other than owner, supply a letter from the property owner authorizing application)

☐ Owner ☒ Tenant ☐ Contractor/Vendor
☐ Attorney ☐ Engineer ☐ Architect ☐ Other: _____

Last Name: Eisinger First Name: Gary MI: _____

Company: Croton Yacht Club

Address: P.O. Box 126

Address: Croton on Hudson, NY 10520

Phone #: _____ Cell #: [REDACTED] E-mail: [REDACTED] Crotonboatclub@gmail.com

Property Owner: ☐ Same As Above

Last Name: _____ First Name: _____ MI: _____

Company: Village of Croton on Hudson

Address: 1 Van Wyck Street

Address: Croton on Hudson, NY 10520

Phone #: 914-271-4848 Cell #: _____ E-mail: _____

General Application requirements:

- Forms & fees: This completed application plus seven (7) copies (total of 8) plus eight (8) copies of the supporting documentation shall be submitted by the applicant, accompanied by the applicable fee. Electronic version (pdf, jpeg, other) of all documents must be submitted with the application. Appropriate photographs of the property and surrounding properties should be submitted. Please note the application **fee is non-refundable** even in the event the application is withdrawn.
- Content of submission: Application shall fully set forth the circumstances of the case, accompanied by a proposed plan showing the size and location of the lot, a site plan showing location of all buildings and proposed facilities, including access drives, parking areas, landscaping and streets. Each application shall refer to the specific provision

of the chapter and the interpretation that is claimed, details of the variance that is applied for and the grounds on which it is claimed that the same should be granted, or the use for which the special permit is sought.

3. Drawings, elevation plans, and surveys must reflect what is existing and what is proposed and **must be submitted at the time of application**. Failure to do so may result in your application being deemed incomplete.
4. If a recent sale of the property has taken place, please submit proof of ownership.
5. If you are in contract to purchase, please submit a **notarized letter** from the current owner stating that the applicant has his/her permission to file on his/her behalf and applicant is not the owner.
6. Applications **must** be submitted **21 days** prior to the date of the hearing in order to meet **required** deadline dates for Legal Noticing. ZBA meetings/hearings are usually held on the 2nd Wednesday of each month at 8 PM.
7. If the application is approved by the Zoning Board of Appeals and a building permit is needed, a separate application for the building permit will need to be submitted.
8. Appeal: shall be taken within 60 days after the filing of any order, requirement, decision, interpretation or determination by filing with the administrative official and the ZBA, a notice of appeal specifying the grounds of appeal and relief sought.
10. Stay upon appeal: an appeal shall stay all proceedings in furtherance of the action appealed from, unless it is determined that the stay would cause imminent peril to life or property, in which case, proceedings shall not be appealed other than by a restraining order which may be granted by the ZBA or by a court of record on application.

1. Area Variances

Village Code Section(s): 230-38 (REAR YARD SETBACK)

Description of variance requested:

AN 8.5 FOOT VARIANCE IN THE REAR YARD SETBACK IS REQUESTED FOR THE ALTERATION OF AN EXISTING DECK ON THE REAR OF THE CROTON YACHT CLUB CLUBHOUSE AND A PROPOSED OPEN AIR AWNING ENCIRCLING THE CLUBHOUSE ON THREE SIDES.

(can use separate paper if necessary)

	Required setbacks:	Proposed Setbacks:	Variance Requested:
Side Yard	_____	_____	_____
Total Side Yard	_____	_____	_____
Front Yard	_____	_____	_____
Rear Yard	20 FEET	6.5 FEET	13.5 FEET
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

The ZBA shall take into consideration the benefit to the applicant if the variance is granted as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such a grant. To be considered:

1. Whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties;
2. Whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance;
3. Whether the requested area variance is substantial;
4. Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district;
5. Whether the alleged difficulty was self-created, which consideration shall be relevant to the decision of the ZBA but shall not necessarily preclude the granting of the area variance.

Please provide a detailed response to all five factors above:

1. THE DECK AND AWNING IMPROVEMENTS WILL ENHANCE THE APPEARANCE OF THE CLUBHOUSE AND NOT BE DETRIMENTAL TO THE CHARACTER OF THE NEARBY PROPERTIES.
2. THE VARIANCE REQUESTED CANNOT BE ACHIEVED BY ANY OTHER METHOD.
3. THE VARIANCE IS MINOR. THE EXISTING DECK DOES NOT CURRENTLY COMPLY WITH THE REAR YARD SETBACK.
4. THE VARIANCE WILL NOT HAVE ANY EFFECTS ON THE PHYSICAL OR ENVIRONMENTAL CONDITIONS OF THE DISTRICT.
5. THE DIFFICULTY WAS NOT SELF CREATED. THE CLUBHOUSE'S ORIGINAL PLACEMENT LIMITS DECK AND AWNING OPTIONS.

(can use separate paper if necessary)

Have any previous area variance applications been made? ☒ yes ☐ no If so, give date: 3/21/22

Description of previous variance:

THIS IS A RENEWAL OF PREVIOUS VARIANCE 20220164, ISSUED IN APRIL 2022 AND EXPIRED IN APRIL 2024.

THE PREVIOUS VARIANCE IS IDENTICAL AS THAT DESCRIBED THIS RENEWAL.

Resolution Attached

2. Special Permit

Village Code Section(s):

Special Permit Description:

Explanation:

N/A

(can use separate paper if necessary)

Have any previous special permit applications been made? ☐ yes ☐ no If so, give date:

Description of previous special permit:

N/A

3. Appeal

Village Code Section(s):

Description of administrative decision or order (include copy):

N/A

(can use separate paper if necessary)

Date of decision or order:

Explanation of reason for appeal:

(can use separate paper if necessary)

4. Interpretation

Village Code Section(s):

Description of proposed project or improvement:

N/A

Explanation/describe request:

5. Use Variances

Village Code Section(s): _____

Existing Use of Property: _____

Proposed Use of Property: _____

No use variance shall be granted by the ZBA without a showing by the applicant that applicable zoning regulations and restrictions have caused unnecessary hardship. **These four criteria must be satisfied:**

1. Applicant cannot realize a reasonable return, provided that lack of return is substantial as demonstrated by competent financial evidence.
2. Alleged hardship relating to the property in question is unique and does not apply to a substantial portion of the district or neighborhood.
3. Requested use variance, if granted, will not alter the essential character of the neighborhood.
4. Alleged hardship has not been self-created.

Provide additional Information for all four factors above:

N/A

(can use separate paper if necessary)

Have any previous use variance applications been made? ☐ yes ☐ no If so, give date: _____

Description of previous use variance:

N/A

Answer Questions (1-5):

- | | |
|--|---|
| 1. I have submitted required number of copies + documentation. | ☒ yes ☐ no |
| 2. Drawings, elevation plans & surveys have been submitted | ☒ yes ☐ no |
| 3. All required application information has been provided | ☒ yes ☐ no |
| 4. Proof of ownership, if applicable, has been provided | ☐ yes ☐ no |
| 5. Digital files of all documentation have been submitted | ☒ yes ☐ no |

I certify that the above information is accurate, and I am the property owner or authorized by the owner to file this application on their behalf and that I will indemnify and hold the Village harmless against any damage or injury that may be caused by or arise out of any entry onto the property in connection with the processing of the application, during construction or performance of the work or within one year after the completion of the work.

GARY EISINGER

Applicant's Name (please print)

Applicant's Signature

9/23/2024

Date

Note: According to Section 230-164(E), "Unless work is commenced and diligently prosecuted within one (1) year of the date of the granting of a variance or special permit, such variance or special permit shall become null and void."

For larger projects, a request can be made for a variance from §230-164(E) for up to a two year period.

I request a 2 year variance:☒ YES ☐ NO**FOR VILLAGE USE ONLY:**Is lot an existing small lot? ☐ yes ☐ no**Note:** If yes, lot area, lot depth and lot width exceptions are granted under Village Zoning Code 230-40G

Decision Type: _____

Decision Type: _____

Date: _____

Date: _____

☐ Approved☐ Approved☐ Denied☐ DeniedFee: \$ 375⁰⁰ Date paid: 9/24/24 Rec'd by: sc

RESOLUTION

NOTICE IS HEREBY GIVEN THAT, **Croton Yacht Club, tenant**, has applied to the Zoning Board of Appeals of the Village of Croton-on-Hudson for a rear yard variance from Section 230-38 for the alteration of an existing rear deck and a proposed open-air awning on 3 sides of the building.

6 Elliott Way, is located in the WC Waterfront Commercial District and designated on the Tax Maps of the Village of Croton-on-Hudson as Section 78.8 Block 1 Lot 3.

This proposed action is considered a Type II Action under the State Environmental Quality Review Act (SEQRA) therefore, no Negative Declaration is required.

A public hearing having been held after due notice, this Board, after reviewing the application and viewing the premises and neighborhood concerned, finds:

1. No undesirable change in the character of the neighborhood nor detriment to nearby properties will be produced by the granting of the variance.
2. The benefit sought by the applicant cannot be achieved by a method other than the requested variance;
3. The requested variance is substantial, but is mitigated by the river's location on that side of the property.
4. The proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district;
5. The difficulty alleged by the applicant was self-created.

NOW, THEREFORE, BE IT RESOLVED, that a rear yard variance of 13.5'ft be **GRANTED** subject to the following conditions, and further finds the variance granted herein is the minimum variance necessary and adequate.

Motion: Chairperson Wagner

Second: Mr. Tuman

Vote: AYES 3 NAYS 0 (Mr. Olcott, absent; Mr. Weber, absent)

Condition(s):

1. That, according to Section 230-164(E), "Unless work is commenced and diligently prosecuted within one (1) year of the date of the granting of a variance or special permit, such variance or special permit shall become null and void".
2. That, the variance is granted based on the plans and other documents submitted in support of the application.

4/13/2022

FINAL

Village of

Croton-on-Hudson



Engineering Department
Stanley H. Kellerhouse Municipal Building
One Van Wyck Street
Croton-on-Hudson, NY 10520-2501
Tel: 914-271-4783, Fax: 914-271-3790

ORIGINAL

Zoning Board of Appeals

Application (ZBA)

(Form # Eng-230-160)

(Revised 6/6/2017)

Application Date: 3/21/2022

Application #: (Village Use) 20220104

Type of Application: ☒ Area ☐ Special Permit ☐ Appeal ☐ Interpretation ☐ Use ☐ Fence

NYS SEOR (\$617) Actions:

- ☐ Type I - Submit long EAF and CAF
☒ Type II - Not subject to SEQR (area variances for 1, 2 and 3 family homes and lot line variances and individual setback variances) EAF & CAF not required
☐ Unlisted - Submit short EAF (long EAF may be required) and CAF

Other Involved Agencies: ☐ Village Board ☒ Planning Board ☐ Other _____

Property Information:

Section 78.8

Block 1

Lot 3

Property Location (street address) 6 ELLIOT WAY CROTON ON HUDSON, NY 10520

Zone: Residence (1 family) ☐ RA5 ☐ RA9 ☐ RA25 ☐ RA40 ☐ RB (2 family) ☐ RC Multiple Residence ☐ RA60
Limited Office ☐ O-1 ☐ O-2
Commercial ☐ C1 Central ☐ C2 General ☐ Gateway overlay
Other ☐ LI Light Industrial ☒ WC Waterfront ☐ WD Waterfront Development

Current Use: ☐ 1 Family ☐ 2 Family ☐ 3 Family ☐ Multi Family ☐ Vacant Lot
☒ Commercial/Other (description): WATERFRONT /CROTON YACHT CLUB INC

Applicant Information: (if other than owner, supply a letter from the property owner authorizing application)

☐ Owner ☒ Tenant ☐ Contractor/Vender
☐ Attorney ☐ Engineer ☐ Architect ☐ Other: _____

Last Name: CAROLYN CAMPBELL

First Name: _____

MI: _____

Company: CROTON YACHT CLUB INC.

Address: P.O. BOX 126

Address: CROTON ON HUDSON, NY 10520

E-mail: nycampbell@aol.com Cell #: 914-719-5608 Office#: 914-271-6548 Fax #: _____

Property Owner:

☐ Same As Above

Last Name: _____

First Name: _____

MI: _____

Company: VILLAGE OF CROTON ON HUDSON

Address: 1 VAN WYCK STREET

Address: CROTON ON HUDSON, NY 10520

Home/Office #: 914-271-4848

Cell #: _____

E-mail: _____

General Application requirements:

- Forms & fees: This completed application plus seven (7) copies (total of 8) plus eight (8) copies of the supporting documentation shall be submitted by the applicant, accompanied by the applicable fee. Electronic version (pdf, jpeg, other) of all documents must be submitted with the application. Appropriate photographs of the property and surrounding properties should be submitted.
- Content of submission: Application shall fully set forth the circumstances of the case, accompanied by a proposed plan showing the size and location of the lot, a site plan showing location of all buildings and proposed facilities, including access drives, parking areas, landscaping and streets. Each application shall refer to the specific provision of the chapter and the interpretation that is claimed, details of the variance that is applied for and the grounds on which it is claimed that the same should be granted, or the use for which the special permit is sought.
- Drawings, elevation plans, and surveys must reflect what is existing and what is proposed and **must be submitted at the time of application**. Failure to do so may result in your application being deemed incomplete.
- If a recent sale of the property has taken place, please submit proof of ownership.
- If you are in contract to purchase, please submit a **notarized letter** from the current owner stating that the applicant has his/her permission to file on his/her behalf and applicant is not the owner.

6. Applications must be submitted 21 days prior to the date of the hearing in order to meet required deadline dates for Legal Noticing. ZBA meetings/hearings are usually held on the 2nd Wednesday of each month at 8 PM.
7. If the application is approved by the Zoning Board of Appeals and a building permit is needed, a separate application for the building permit will need to be submitted.
8. Appeal: shall be taken within 60 days after the filing of any order, requirement, decision, interpretation or determination by filing with the administrative official and the ZBA, a notice of appeal specifying the grounds of appeal and relief sought.
10. Stay upon appeal: an appeal shall stay all proceedings in furtherance of the action appealed from, unless it is determined that the stay would cause imminent peril to life or property, in which case, proceedings shall not be appealed other than by a restraining order which may be granted by the ZBA or by a court of record on application.

1. Area Variances

Village Code Section(s): 230-38 (REAR YARD SETBACK)

Description of variance requested:

AN 8.5 FOOT VARIANCE IN THE REAR YARD SETBACK IS REQUESTED FOR THE ALTERATION OF AN EXISTING DECK ON THE REAR OF THE CROTON YACHT CLUB CLUBHOUSE AND A PROPOSED OPEN AIR AWNING ENCIRCLING THE CLUBHOUSE ON THREE SIDES.

(can use separate paper if necessary)

	Required setbacks:	Proposed Setbacks:	Variance Requested:
Side Yard			
Total Side Yard			
Front Yard			
Rear Yard	20 FEET	6.5 FEET	13.5 FEET

The ZBA shall take into consideration the benefit to the applicant if the variance is granted as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such a grant. To be considered:

1. Whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties;
2. Whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance;
3. Whether the requested area variance is substantial;
4. Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district;
5. Whether the alleged difficulty was self-created, which consideration shall be relevant to the decision of the ZBA but shall not necessarily preclude the granting of the area variance.

Provide additional Information for all five factors above:

1 THE DECK & AWNING IMPROVEMENTS WILL ENHANCE THE APPEARANCE OF THE CLUBHOUSE AND NOT BE DETRIMENTAL TO THE CHARACTER OF THE NEARBY PROPERTIES 2. THE VARIANCE REQUESTED CANNOT BE ACHIEVED BY ANY OTHER METHOD. 3. THE VARIANCE IS MINOR. THE EXISTING DECK AS IT IS DOES NOT CURRENTLY COMPLY WITH THE REAR YARD SETBACK. 4. THE VARIANCE WILL NOT HAVE ANY EFFECTS ON THE PHYSICAL OR ENVIRONMENTAL CONDITIONS OF THE DISTRICT. 5. THE DIFFICULTY WAS NOT SELF-CREATED. THE CLUBHOUSE'S ORIGINAL PLACEMENT LIMITS DECK & AWNING OPTIONS

(can use separate paper if necessary)

Have any previous area variance applications been made? ☐ yes ☒ no If so, give date: _____

Description of previous variance:

2. Special Permit

Village Code Section(s): _____

Special Permit Description: _____

Explanation: _____

(can use separate paper if necessary)

Have any previous special permit applications been made? ☐ yes ☐ no If so, give date: _____Description of previous special permit: _____

_____**3. Appeal**

Village Code Section(s): _____

Description of administrative decision or order (include copy): _____

Date of decision or order: _____

Explanation of reason for appeal: _____

(can use separate paper if necessary)

4. Interpretation

Village Code Section(s): _____

Description of proposed project or improvement: _____

_____Explanation/describe request: _____

(can use separate paper if necessary)

5. Use Variances

Village Code Section(s): _____

Existing Use of Property: _____

Proposed Use of Property: _____

No use variance shall be granted by the ZBA without a showing by the applicant that applicable zoning regulations and restrictions have caused unnecessary hardship. These four criteria must be satisfied:

(USE VARIANCES - continued)

1. Applicant cannot realize a reasonable return, provided that lack of return is substantial as demonstrated by competent financial evidence.
2. Alleged hardship relating to the property in question is unique and does not apply to a substantial portion of the district or neighborhood.
3. Requested use variance, if granted, will not alter the essential character of the neighborhood.
4. Alleged hardship has not been self-created.

Provide additional information for all four factors above:

(can use separate paper if necessary)

Have any previous use variance applications been made? ☐ yes ☐ no If so, give date: _____

Description of previous use variance: _____

Answer Questions (1-5):

- | | |
|---|---|
| 1. I have submitted required number of copies + documentation | ☒ yes ☐ no |
| 2. Drawings, elevation plans & surveys have been submitted | ☒ yes ☐ no |
| 3. All required application information has been provided | ☒ yes ☐ no |
| 4. Proof of ownership, if applicable, has been provided | ☐ yes ☐ no |
| 5. Digital files of all documentation have been submitted | ☒ yes ☐ no |

I certify that the above information is accurate and I am the property owner or authorized by the owner to file this application on their behalf and that I will indemnify and hold the Village harmless against any damage or injury that may be caused by or arise out of any entry onto the property in connection with the processing of the application, during construction or performance of the work or within one year after the completion of the work.

CAMPBELL

3/18/2022

Applicant Name (please print)

Applicant's Signature

Date

Note: According to Section 230-164(E), "Unless work is commenced and diligently prosecuted with one (1) year of the date of the granting of a variance or special permit, such variance or special permit shall become null and void."

For larger projects, a request can be made for a variance from Section 230-164(E) for up to a two year period.

I request a 2 year period to commence work ☒ yes ☐ no

(Below for Village use only)

Is lot an existing small lot? ☐ yes ☒ no

Note: If yes, lot area, lot depth and lot width exceptions are granted under Village Zoning Code 230-40G

Decision Type: _____

Decision Type: _____

Date: _____

Date: _____

☐ Approved

☐ Approved

☐ Denied:

☐ Denied:

Fee: \$ 325⁰⁰

Date Paid: 3/21/22

Rec'd by: *JP*

EXIST. CYC CLUB PHOTOGRAPHS



FRONT
ENTRANCE
FROM PARKING

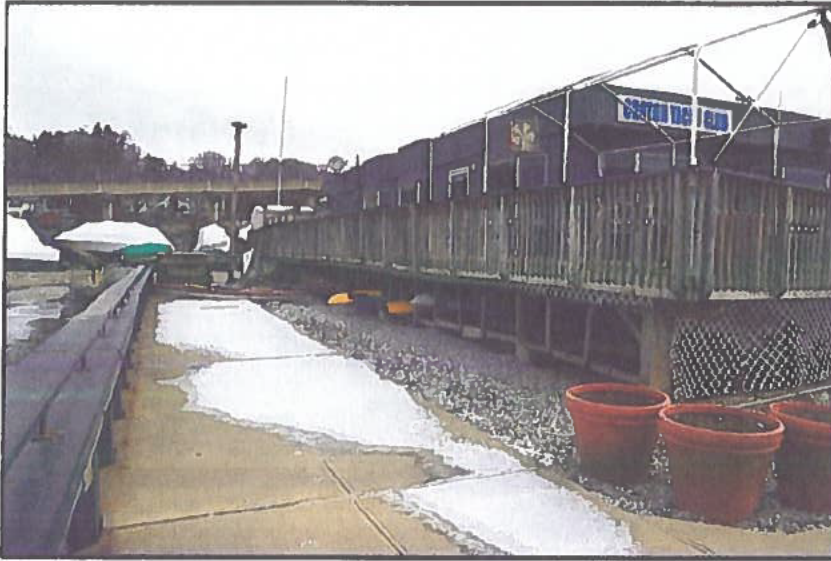


LOOKING
NORTH



LOOKING
EAST

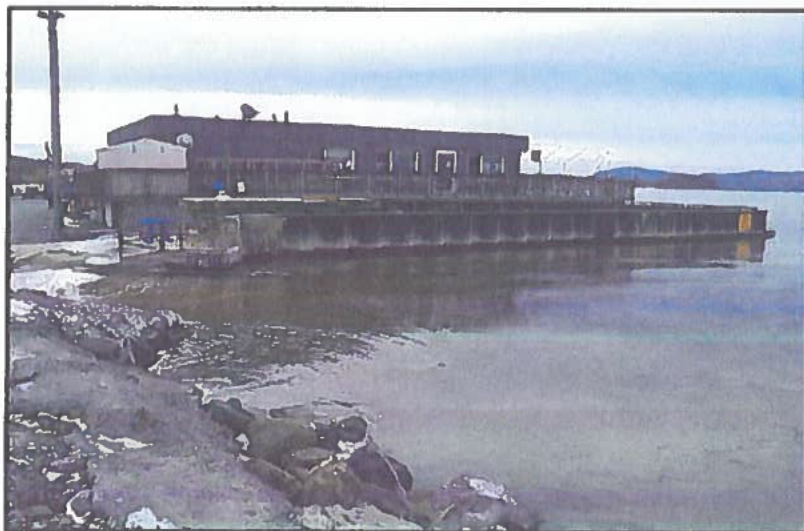
EXIST. CYC CLUB PHOTOGRAPHS



NORTH
SIDE OF
CLUBHOUSE
LOOKING EAST

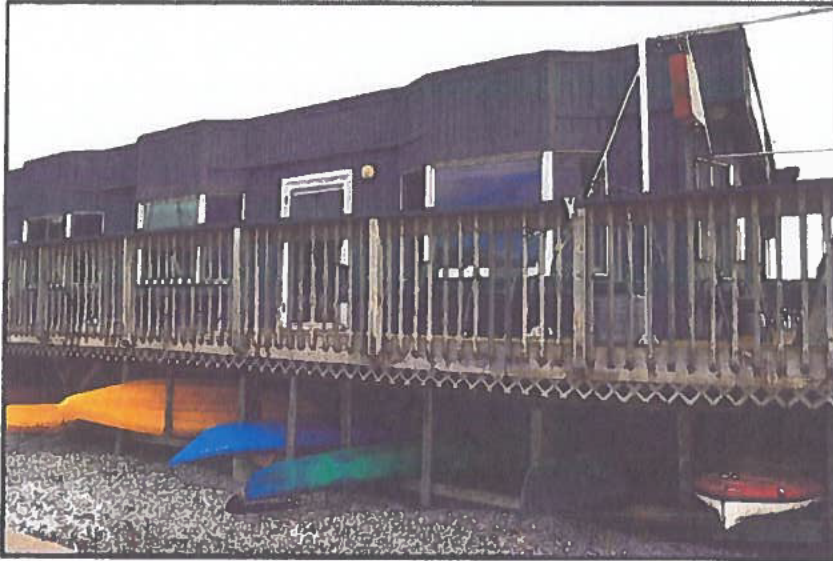


LOOKING
SOUTH



NORTH SIDE
OF
CLUBHOUSE

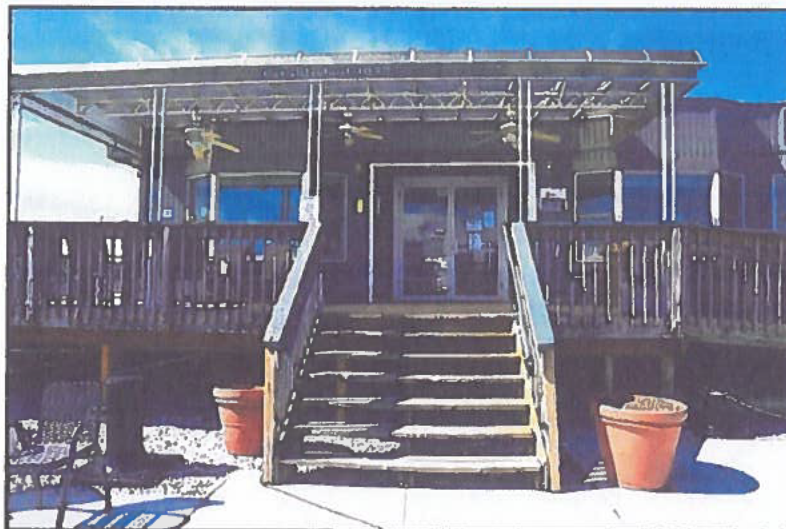
EXIST. CYC CLUB PHOTOGRAPHS



NORTH
CORNER OF
CLUBHOUSE



WEST FACING
DECK



EXISTING
METAL FRAME
AWNING AT
ENTRANCE

GENERAL NOTES

1. THESE GENERAL NOTES SHALL APPLY TO ALL DRAWINGS IN THIS SET AND SHALL EXTEND TO ANY CHANGES, EXTRAS, OR ADDITIONS AGREED TO DURING THE COURSE OF THE WORK.
2. DO NOT SCALE DRAWINGS: DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS.
3. THERE WILL BE NO SUBSTITUTION OF MATERIALS WHERE MANUFACTURER IS SPECIFIED, WHERE THE TERM 'OR EQUAL' ISSUED, THE ARCHITECT ALONE SHALL DETERMINE THE EQUALITY BASED UPON INFORMATION SUBMITTED BY THE CONTRACTOR.
4. WORK IS TO BE PERFORMED IN ACCORDANCE WITH RULES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION, SAFETY, AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES, WHETHER OR NOT SPECIFIED ON THE DRAWINGS.
5. THE GENERAL CONTRACTOR, AT HIS COST, SHALL FURNISH ALL TEMPORARY LIGHT AND POWER COMPLETE WITH ALL WIRING, LAMPS AND SIMILAR EQUIPMENT, AS REQUIRED FOR THE COMPLETION OF THE WORK. HE SHALL REMOVE ALL SUCH WORK WHEN DIRECTED.
6. THE GENERAL CONTRACTOR SHALL DO ALL CUTTING, PATCHING AND FITTING WORK THAT MAY BE REQUIRED TO MAKE ALL PARTS COME TOGETHER PROPERLY, AND FIT TO RECEIVE OR BE RECEIVED BY WORK OF OTHER CONTRACTORS.
7. THE GENERAL CONTRACTOR SHALL, BEFORE SUBMITTING HIS BID, REVIEW ALL PLANS AND SPECIFICATIONS AND VERIFY ALL GOVERNING DIMENSIONS AT THE BUILDING. HE SHALL EXAMINE ALL ADJOINING WORK OR AREAS UPON WHICH THE PERFORMANCE OF HIS WORK IS IN ANY WAY DEPENDENT. ANY VARIATIONS OR DISCREPANCIES SHALL BE REPORTED, WITH ALL DUE EXPEDIENCY, TO THE ARCHITECT.
8. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS JURISDICTION.
9. THE GENERAL CONTRACTOR SHALL FURNISH SAMPLES OF THE VARIOUS MATERIALS AND FINISHES REQUESTED IN THE CONTRACT DOCUMENTS TO THE ARCHITECT ALONG WITH THE INTENDED USE BEFORE THE COMMENCEMENT OF THE SPECIFIED WORK.
10. THE CONTRACTOR SHALL BE ANSWEARABLE TO THE ARCHITECT AND SHALL NOT ACCEPT INSTRUCTION FROM LOCAL PERSONNEL WITHOUT VERIFICATION FROM THE ARCHITECT. THE CONTRACTOR SHALL BE LIABLE FOR ANY EXPENSE CAUSED BY THE EXECUTION OF SUCH WORK WITHOUT SUCH VERIFICATION AND FOR EXPENSES CAUSED BY ITS REMOVAL OR CORRECTION.
11. DRAWINGS IN THIS SET AND DESIGNS THEREON ARE THE PROPERTY OF THE ARCHITECT.
12. A REPRESENTATIVE OF THE GENERAL CONTRACTOR, AUTHORIZED TO DISCUSS THE WORK AND RECEIVE INSTRUCTIONS FROM THE ARCHITECT SHALL BE ON THE JOB AT ALL TIMES THAT WORK IS IN PROGRESS.
13. ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS, UNLESS OTHERWISE NOTED.
14. ALL WORK AND MATERIALS FURNISHED BY THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS SHALL BE GUARANTEED AGAINST DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF AT LEAST ONE (1) YEAR FROM THE ARCHITECT'S APPROVAL FOR FINAL PAYMENT.
15. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, SQUARE AND TRUE, AND IN PROPER ALIGNMENT.
16. ALL WORK SHALL BE COMPLETED FOR THE AGREED UPON CONTRACT PRICE WITHOUT RECOURSE TO LABOR STOPPAGES OR REVISIONS OF GOVERNING REGULATIONS, LAWS AND CODES.
17. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONAL WORK OR CHANGES FOR WHICH HE EXPECTS ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT. FAILURE TO OBTAIN SUCH AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR EXTRA COMPENSATION.
18. ALL INSTALLED PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY AND FREE OF VIBRATION.
19. ALL NEW YORK STATE ENERGY CODE REQUIREMENTS SHALL BE MET OR EXCEEDED.
20. THE CONTRACTOR SHALL BE REQUESTED TO PROVIDE SAMPLES LISTED BELOW. MATERIALS SHALL BE USED WHICH DO NOT EQUAL THE APPROVED SAMPLE. UNTIL SUCH APPROVAL HAS BEEN GIVEN, ANY MATERIAL TO BE SO APPROVED MUST NOT BE FABRICATED OR INCORPORATED IN THE WORK. THE APPROVAL OF SAMPLES WILL NOT PRECLUDE THE REJECTION OF ANY MATERIAL UPON THE DISCOVERY OF DEFECTS IN SAME PRIOR TO THE FINAL ACCEPTANCE OF THE COMPLETED WORK.
21. SUBSTITUTIONS FOR APPROVED MATERIALS WILL BE ALLOWED UNDER THE CONDITIONS PREVIOUSLY STATED. SAMPLES, MATERIAL LISTS, MANUFACTURER'S LITERATURE AND OTHER REQUIRED INFORMATION SHALL BE SUBMITTED IN SUFFICIENT TIME TO PERMIT PROPER CONSIDERATION AND ACTION ON SAME BEFORE ANY MATERIALS OR ITEMS WHICH SUCH SUBMITTAL REPRESENT ARE DELIVERED TO THE JOB SITE.
22. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DELAY IN THE PROGRESS OF THE WORK WHICH MAY BE DUE TO HIS FAILURE TO OBSERVE THESE REQUIREMENTS. THE TIME FOR THE COMPLETION OF HIS CONTRACT WILL NOT BE EXTENDED ON ACCOUNT OF HIS FAILURE TO SUBMIT SAMPLES PROMPTLY IN STRICT ACCORDANCE HERewith.
23. SHOULD THE GENERAL CONTRACTOR, BY HIS OWN DEFAULT, FAIL TO ADHERE TO THE CONSTRUCTION SCHEDULE, HE SHALL, AT THE DISCRETION OF THE ARCHITECT, PERFORM WORK IN PREMIUM TIME TO CONFORM WITH THE SCHEDULE. ANY EXPENSES AS MAY BE CAUSED BY SUCH WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
24. THE GENERAL CONTRACTOR IS TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO EXECUTE ALL THE WORK AS SHOWN IN THE CONTRACT DOCUMENTS WITH THE EXCEPTION OF THOSE ITEMS NOTED AS SEPARATE CONTRACTS OR N.G.C.
25. SHOULD THE DRAWINGS DISAGREE IN THEMSELVES OR WITH THE SPECIFICATIONS, OR SHOULD THE SPECIFICATIONS DISAGREE IN THEMSELVES, THE BETTER QUALITY OR GREATER QUANTITY OF WORK OR MATERIALS SHALL BE ESTIMATED UPON, AND THE ARCHITECT NOTIFIED BEFORE PROCEEDING. THE GENERAL CHARACTER OF THE DETAIL WORK IS SHOWN ON THE DRAWINGS BUT MINOR MODIFICATIONS MAY BE MADE BY THE ARCHITECT.
26. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS. THE CONTRACTOR SHALL CONFINE HIS OPERATIONS FOR REMOVAL TO SUCH METHODS AS MAY BE AGREEABLE WITH THE OWNER. THE PROJECT SHALL BE LEFT CLEAN AND CLEAR TO THE SATISFACTION OF THE ARCHITECT AND THE DISPOSITION OF ALL SALVAGED MATERIALS IS TO BE CLEARED WITH THE ARCHITECT PRIOR TO REMOVAL.
27. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT WHO WILL COMPILE A PUNCH LIST OF CORRECTIONS AND UNSATISFACTORY AND/OR INCOMPLETE WORK. FINAL PAYMENT WILL BE CONTINGENT ON THE COMPLETION OF THESE ITEMS.
28. THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, ELECTRICAL, TELEPHONE, LIGHTING, PLUMBING AND SPRINKLER EQUIPMENT (TO INCLUDE ALL PIPING, DUCTWORK AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED.
29. THROUGHOUT THE DURATION OF THE PROJECT, THE CONTRACTOR SHALL REFRAIN FROM ACTIONS THAT COULD LEAD TO THE FILING OF A CLAIM OF LIEN AGAINST THE ARCHITECT BY SUBCONTRACTORS OR SUPPLIERS OF MATERIALS, LABOR, SERVICE OR EQUIPMENT OR ANY OTHER OTHER INDIVIDUAL OR COMPANY SO ENTITLED UNDER GOVERNING LAWS AND REGULATIONS UNLESS HE CAN SHOW REASONABLE AND JUSTIFIABLE CAUSE.
30. THE OWNER MUST OBTAIN AND MAINTAIN ALL INSURANCE REQUIRED BY LOCAL BUILDING DEPARTMENT AND LENDING INSTITUTIONS.
31. PROJECT SHALL COMPLY WITH THE 2020 NEW YORK STATE RESIDENTIAL CODE.
32. LICENSED ELECTRICIAN TO PROVIDE HARDWIRED SMOKE AND CARBON MONOXIDE DETECTORS AS REQUIRED BY THE 2020 NEW YORK STATE RESIDENTIAL CODE.

DRAWING LIST

GENERAL NOTES & DRAWING LIST	A-1
PLOT PLAN	A-2
ZONING ANALYSIS	A-3
PLOT PLAN DETAIL	A-4
DECK LEVEL PLAN	A-5
WEST & SOUTH ELEV.	A-5

CROTON YACHT CLUB

PROPOSED AWNING ADDITION & DECK ALTERATIONS

6
ELLIOT WAY
CROTON ON HUDSON
NEW YORK



JOHN POWER ARCHITECT

24 VAN WYCK STREET
CROTON ON HUDSON N.Y. 10520

914.271.3221

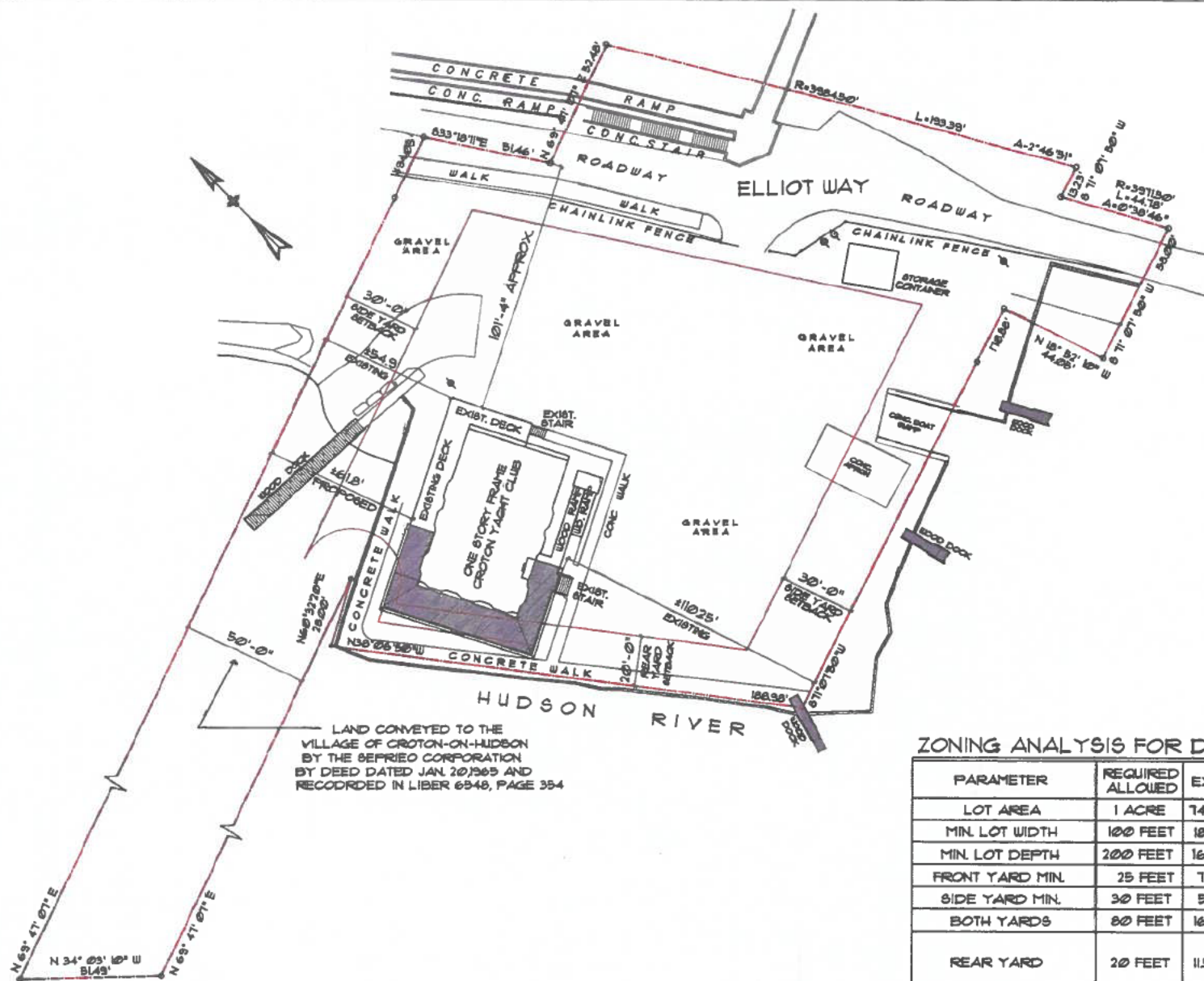
john@johnpowerarchitect.com

ZBA SUBMITTAL 3/21/22
DESIGN REVIEW 2/28/22
DESIGN REVIEW 4/28/22
CROSS SECTIONS 2/1/22
PLAN PROGRESS 2/1/22
ELEVATIONS 1/2/22
PLOT PLAN 1/1/22
SECT. STUDIES 12/1/20
DESIGN REV. 5/29/20
EXIST. PLANS 3/23/20

Re: Residing
PROJECT START 3/1/20
Drawing Title

GENERAL NOTES & DRAWING LIST

Drawn by JJP
Checked by JJP
Project No. 202005
Scale NA
Drawing No. A-1



ZONING ANALYSIS FOR DISTRICT - WC

PARAMETER	REQUIRED ALLOWED	EXISTING	PROPOSED
LOT AREA	1 ACRE	74,581 SF.	NO CHANGE
MIN. LOT WIDTH	100 FEET	187 FEET	NO CHANGE
MIN. LOT DEPTH	200 FEET	168 FEET	NO CHANGE
FRONT YARD MIN.	25 FEET	71.25 FT.	NO CHANGE
SIDE YARD MIN.	30 FEET	54.3 FT.	NO CHANGE
BOTH YARDS	80 FEET	165.15 FT.	NO CHANGE
REAR YARD	20 FEET	11.5 FEET	6.5 FEET 19.3 FEET VARIANCE REQUIRED
MAX. HEIGHT (STY/ FT)	1 STY/ 20'	±16 FT.	NO CHANGE

CROTON YACHT CLUB

PROPOSED AWNING ADDITION & DECK ALTERATIONS

6
ELLIOT WAY
CROTON ON HUDSON
NEW YORK



JOHN POWER
ARCHITECT

24 VAN WYCK STREET
CROTON ON HUDSON N.Y. 10520
914.271.3221
john@johnpowerarchitect.com

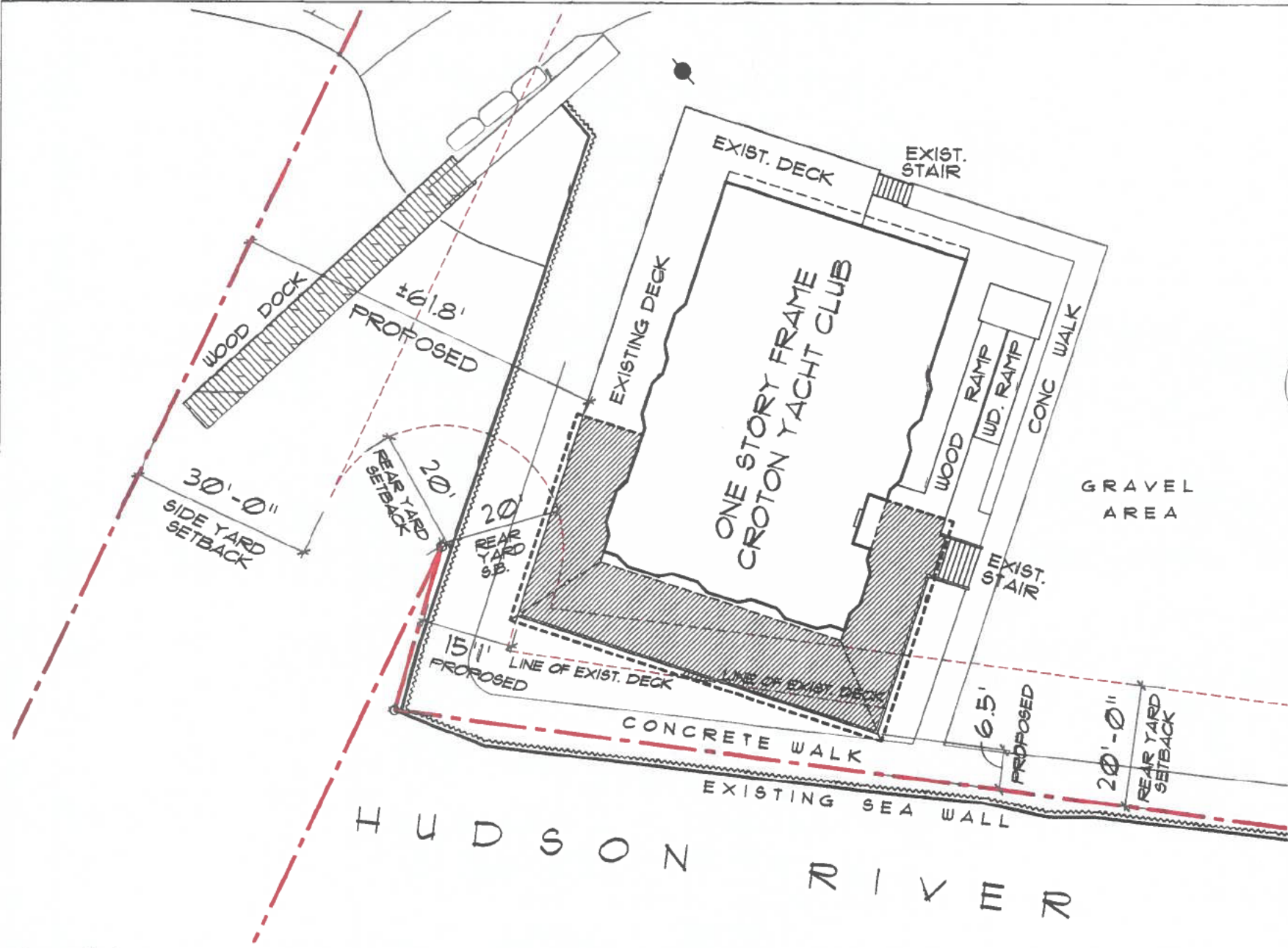
ZBA SUBMITTAL 3/21/22
DESIGN REVIEW 2/28/22
DESIGN REVIEW 4/28/22
CROSS SECTIONS 2/1/22
PLAN PROGRESS 2/1/22
ELEVATIONS 1/12/22
PLOT PLAN 1/1/22
SECT. STUDIES 12/1/20
DESIGN REV. 5/29/20
EXIST. PLANS 3/23/20

Re. Building Date
Project Start 3/11/20
Drawing Title

SITE PLAN

Drawn by JJP Checked by JJP
Project No. 202005 Scale 1" = 40'-0"
Drawing No.

A-2



CROTON YACHT CLUB

PROPOSED AWNING ADDITION & DECK ALTERATIONS

6
ELLIOT WAY
 CROTON ON HUDSON
 NEW YORK

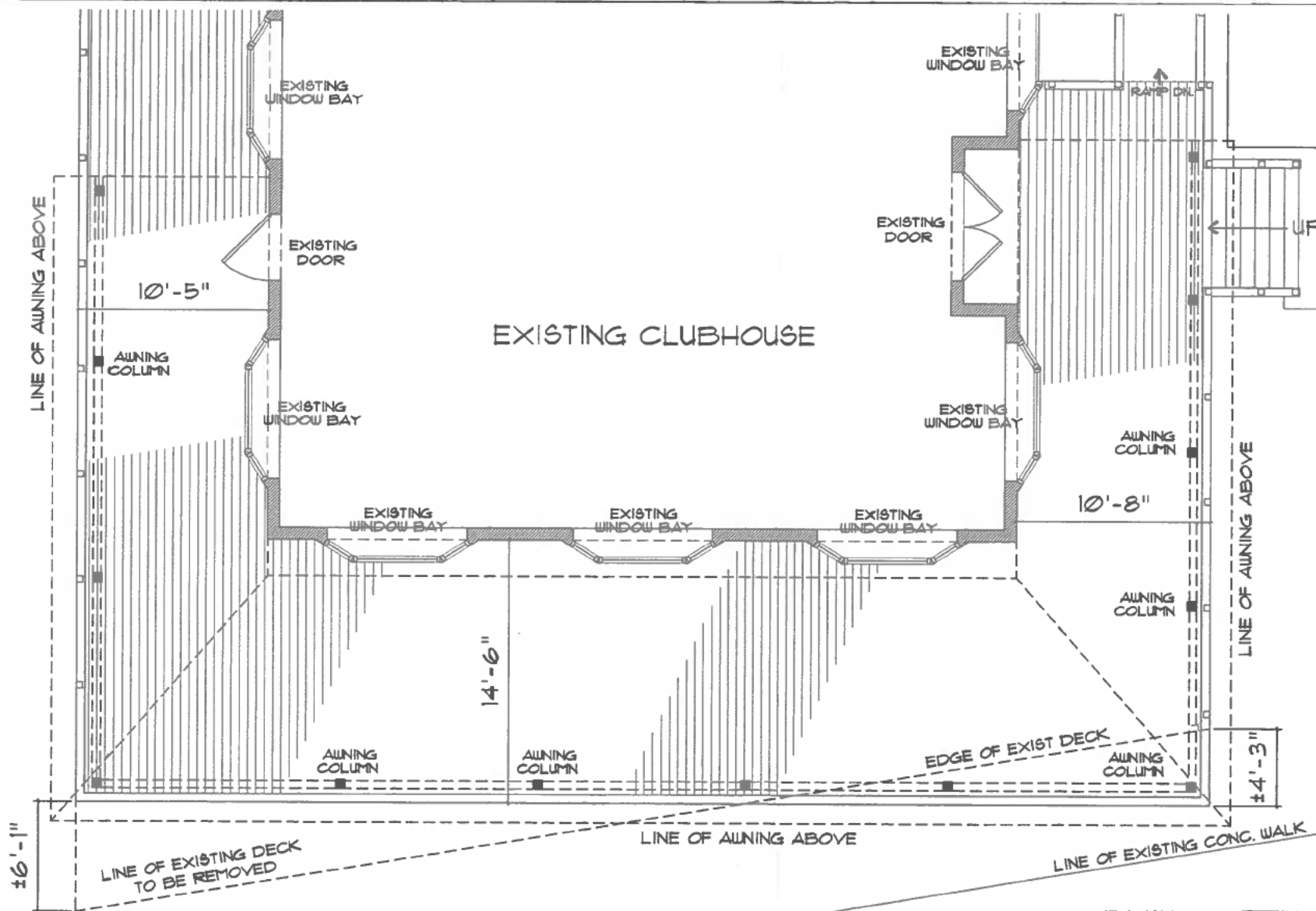


**JOHN POWER
ARCHITECT**
 24 VAN WYCK STREET
 CROTON ON HUDSON N.Y. 12520
 914 . 271 . 3221
 john@johnpowerarchitect.com

ZBA SUBMITTAL	3/21/22
DESIGN REVIEW	2/28/22
DESIGN REVIEW	4/28/21
CROSS SECTIONS	2/11/21
PLAN PROGRESS	2/11/21
ELEVATIONS	1/12/21
PLOT PLAN	1/12/21
SECT. STUDIES	12/11/20
DESIGN REV.	5/29/20
EXIST. PLANS	3/23/20

Project Start: 3/11/20
 Drawing Title: PARTIAL SITE DETAIL PLAN

Drawn by: JJP
 Checked by: JJP
 Project No.: 202005
 Scale: 1" = 15'-0"
 Drawing No.: A-3



CROTON YACHT CLUB

PROPOSED AWNING ADDITION & DECK ALTERATIONS

6
ELLIOT WAY
CROTON ON HUDSON
NEW YORK



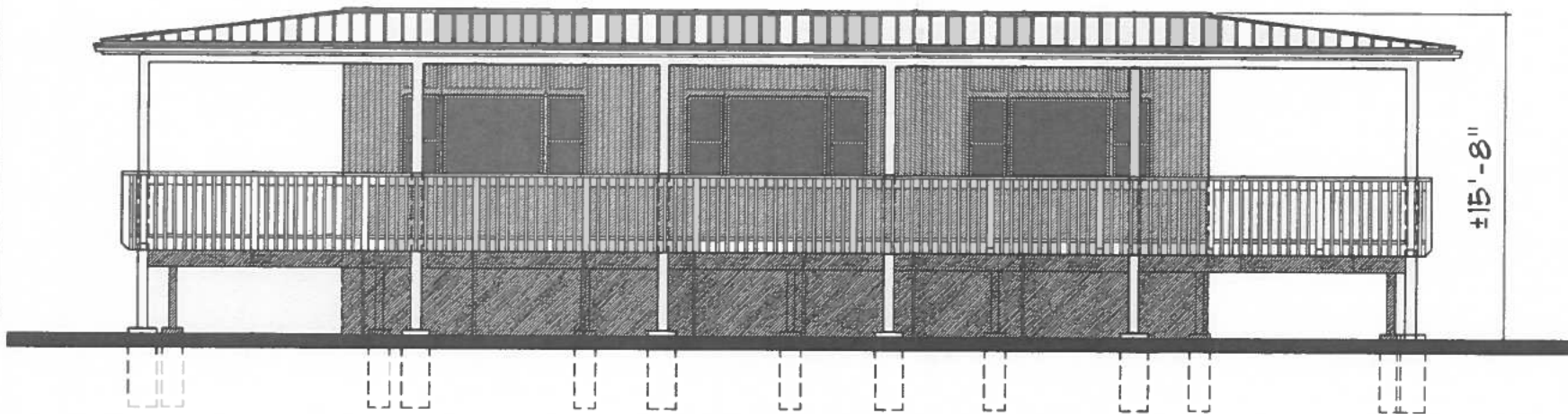
JOHN POWER
ARCHITECT
24 VAN WYCK STREET
CROTON ON HUDSON N.Y. 10520
914.271.3221
john@johnpowerarchitect.com

ZBA SUBMITTAL 3/21/22
DESIGN REVIEW 2/28/22
DESIGN REVIEW 4/28/22
CROSS SECTIONS 2/1/22
PLAN PROGRESS 2/1/22
ELEVATIONS 1/12/22
FLOT PLAN 1/1/22
SECT. STUDIES 12/1/20
DESIGN REV. 5/29/20
EXIST. PLANS 3/23/20
Re: Submittal Date
3/11/22
Drawing Title

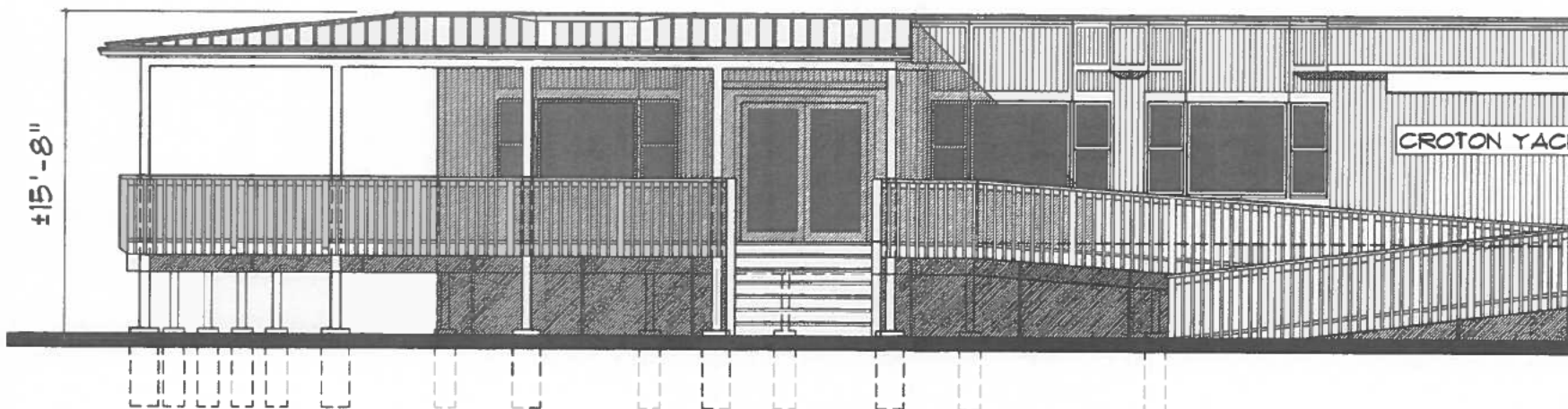
PROPOSED DECK LEVEL PLAN

Drawn by JJP Checked by JJP
Project No. 202005 Scale 3/16"=1'-0"
Drawing No. A-4

NEW WALL
CONSTRUCTION
EXISTING WALL
TO REMAIN
EXISTING TO
BE REMOVED



PROPOSED HUDSON RIVER (WEST) ELEVATION



PROPOSED MAIN ENTRANCE (SOUTH) ELEVATION

CROTON YACHT CLUB

**PROPOSED
AWNING
ADDITION
& DECK
ALTERATIONS**

**6
ELLIOT WAY
CROTON ON HUDSON
NEW YORK**



**JOHN POWER
ARCHITECT**

24 VAN WYCK STREET
CROTON ON HUDSON N.Y. 10520
914 . 271 . 3221
john@johnpowerarchitect.com

ZBA SUBMITTAL 3/21/22
DESIGN REVIEW 2/28/22
DESIGN REVIEW 4/28/21
CROSS SECTIONS 2/1/21
PLAN PROGRESS 2/1/21
ELEVATIONS 1/12/21
PLOT PLAN 1/12/21
SECT. STUDIES 12/1/20
DESIGN REV. 5/29/20
EXIST. PLANS 3/23/20

Project Name: Club House Awning
Project Date: 3/1/22
Drawing Title: Club House Awning Elevations

**CLUB HOUSE AWNING
ELEVATIONS**

Drawn by: JJP
Checked by: JJP
Project No.: 202005
Scale: 3/16" = 1'-0"
Drawing No.: A-5