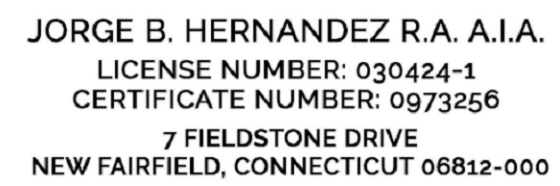


PEDRO RUSTICA & GARDEN SUPPLY
1360 ALBANY POST ROAD
CROTON ON HUDSON, NEW YORK 10520



 AERIAL MAP N.T.S.

EXISTING SITE PLAN 1"=30'-0"

LOCATION MAP N.T.S.

3

REAR SIDE VIEW OF 1360 ALBANY POST ROAD



S-3 PROPOSED DRAINAGE PLAN,
CRITERIA, DETAILS & LEGEND

S-4 PROPOSED LANDSCAPING PLAN,
IMAGES & DETAILS

S-5 PHOTOMETRIC PARTIAL SITE PLAN,
LIGHTING INFO. & DETAIL

<u>DATE:</u> 08/23/2019	DWG. NO.: T-1
<u>PROJECT NO:</u> 19091	
<u>DRAWING BY:</u> ARQ	CAD FILE NO.: 1 OF 15
<u>CHECKED BY:</u> JBH	

DEMOLITION SITE PLAN & EROSION CONTROL

ARG. HT DESIGN GROUP INC.

ARCHITECTURE - PLANNING

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100 EXECUTIVE BLVD. SUITE 204

OSSINING, NY 10562

PHONE: (914) 944-3377

FAX: (866) 567-6240

JORGE B. HERNANDEZ R.A. A.I.A.

LICENSE NUMBER: 030424-1

CERTIFICATE NUMBER: 0973256

7 FIELDSTONE DRIVE

NEW FAIRFIELD, CONNECTICUT 06812-0000

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P.B. COMMENTS	9/17/2020	ARQ
COORDINATION	10/9/20	ARQ

DRAWING TITLE:
DEMOLITION SITE PLAN,
EROSION CONTROL &
DETAILS

PROJECT:
PEDRO RUSTICA
AMENDED SITE PLAN

PROJECT ADDRESS:
1360 ALBANY POST RD.
CROTON ON HUDSON
N.Y. 10520

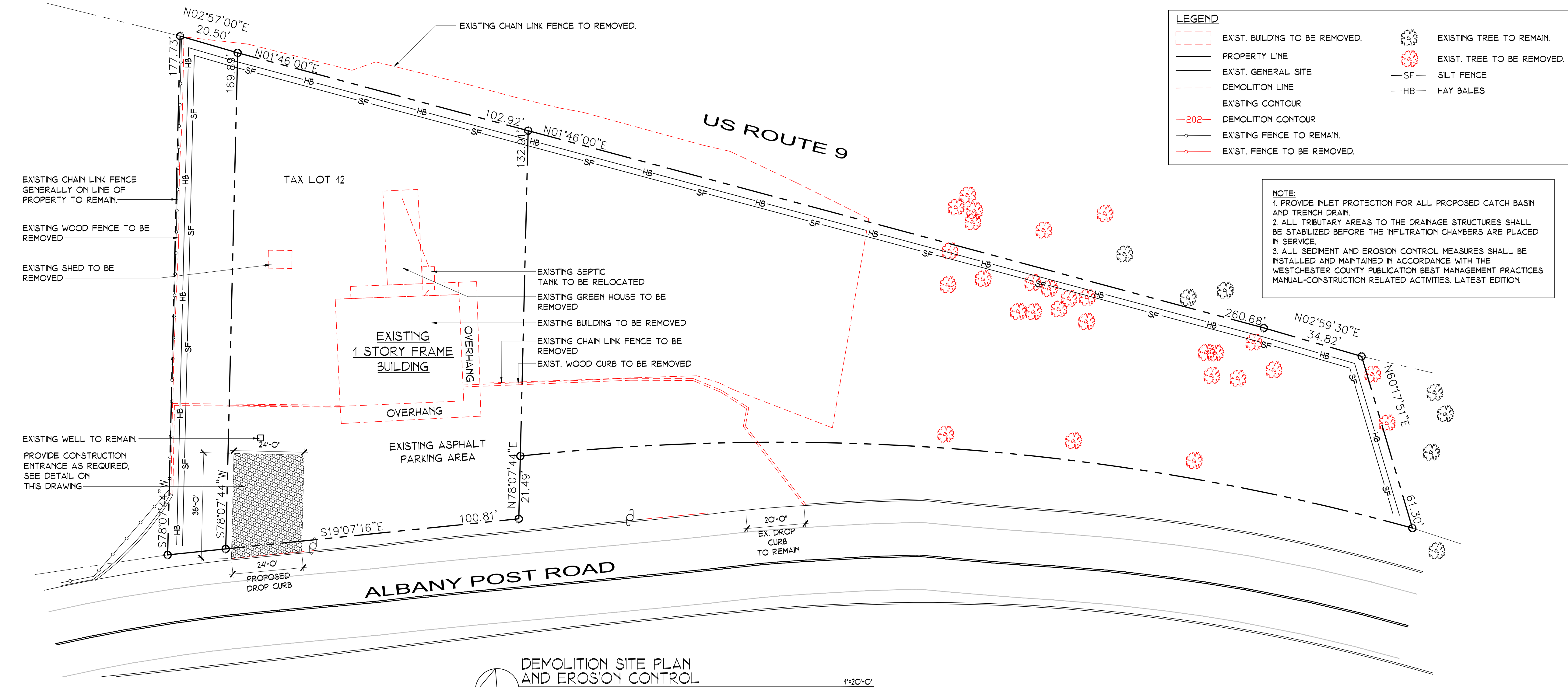
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DOB BSCAN STICKER:

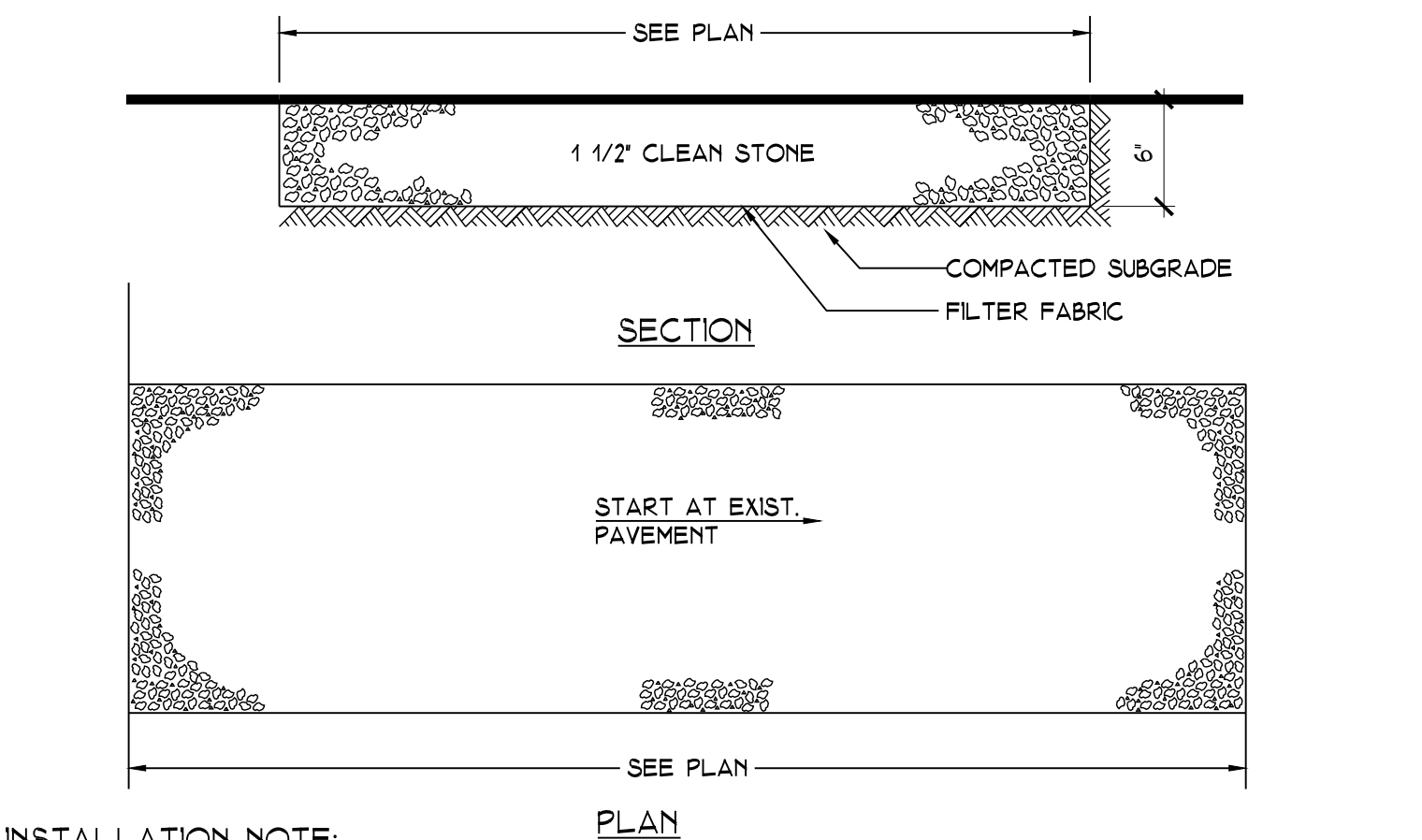
SEAL & SIGNATURE



DATE:	08/23/2019	DWG. NO:	D-1
PROJECT NO:	19091	CAD FILE NO:	2 OF 15
DRAWING BY:	ARQ		
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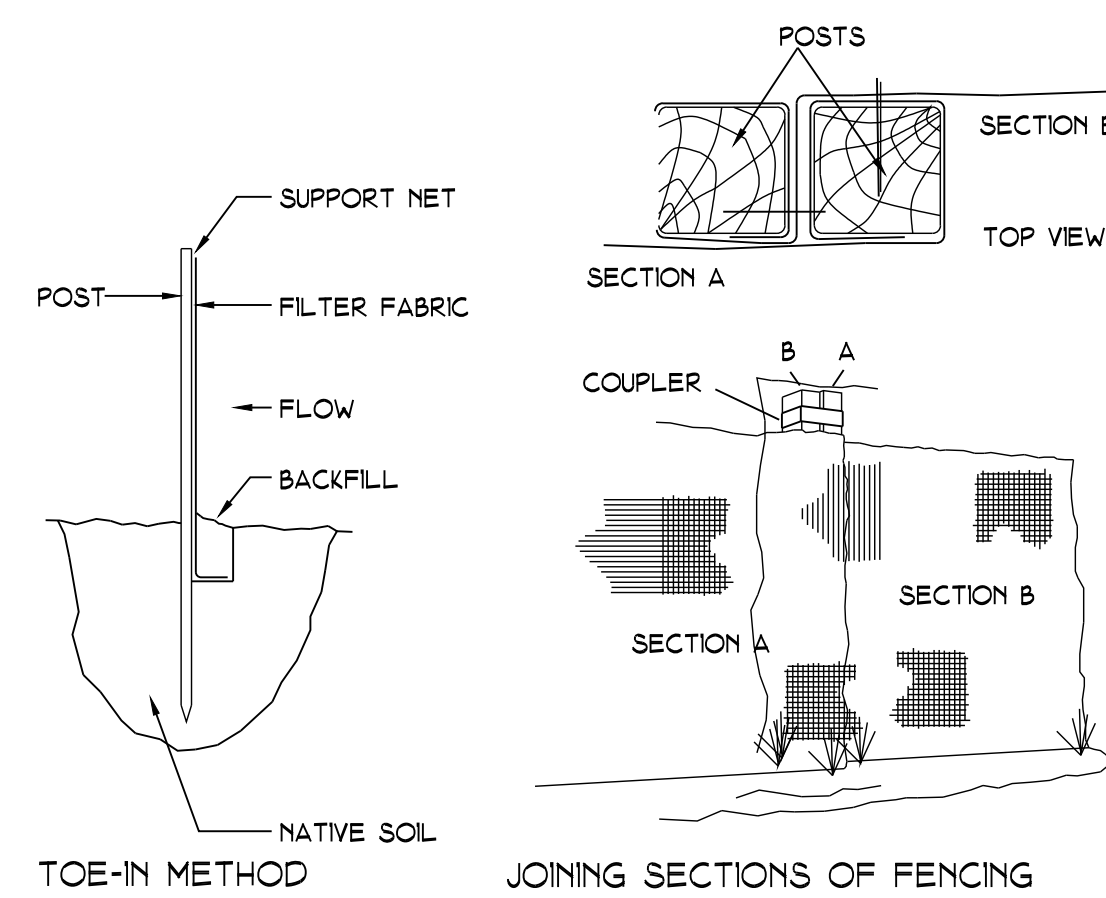


EROSION CONTROL DETAILS



- INSTALLATION NOTE:
- STONE SIZE: USE 1 1/2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH: AS SHOWN, BUT NOT LESS THAN 20 FEET.
 - THICKNESS: NOT LESS THAN SIX (6) INCHES AT CONSTRUCTION ENTRANCE.
 - WIDTH: 10 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
 - FILTER FABRIC: TO BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER: ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURED USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
 - WASHING: WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.
- NOTE:
ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WESTCHESTER COUNTY PUBLICATION BEST MANAGEMENT PRACTICES MANUAL-CONSTRUCTION RELATED ACTIVITIES, LATEST EDITION.

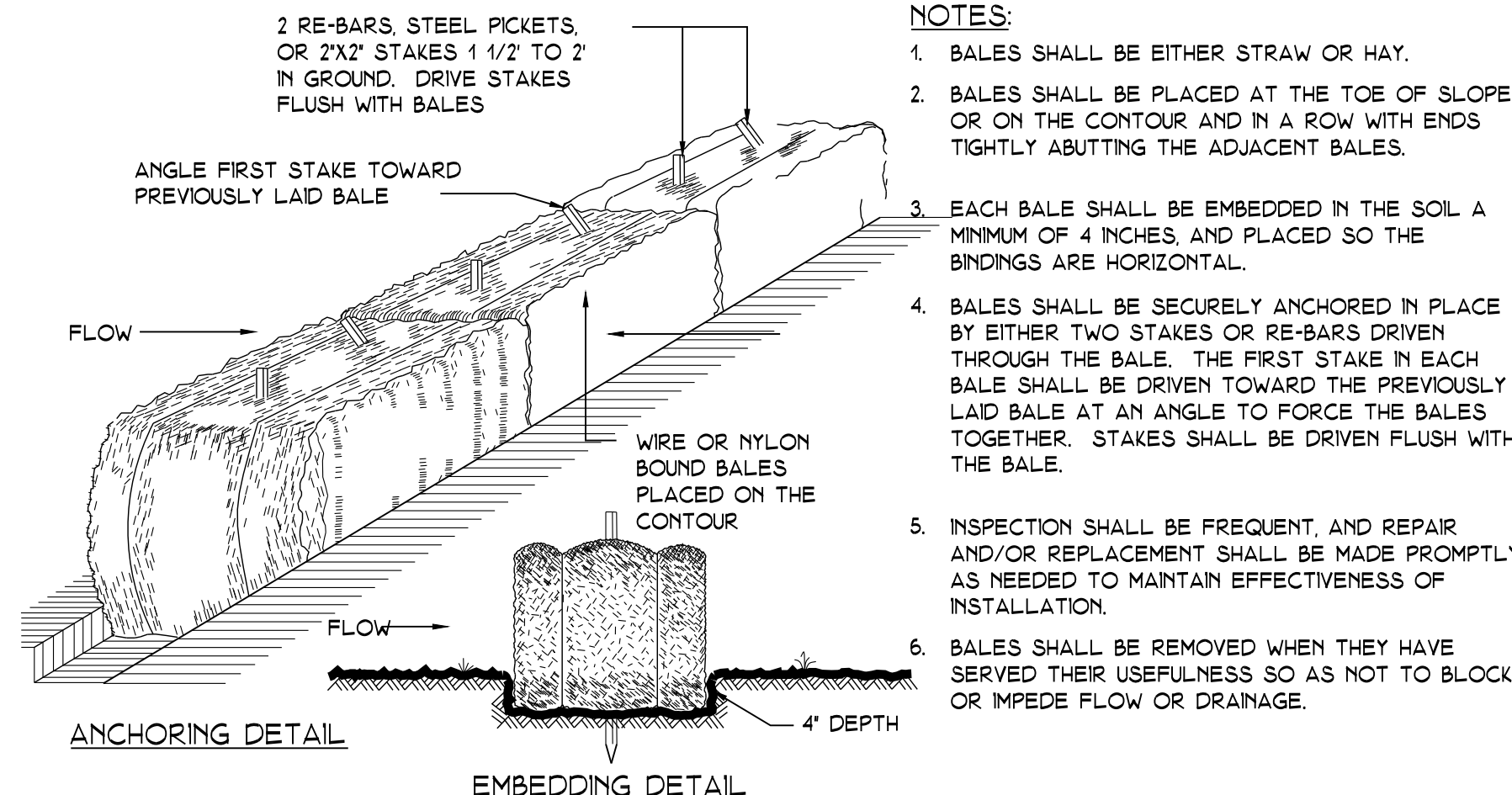
STABILIZED CONSTRUCTION ENTRANCE NTS



SILT FENCE NTS

LATEST EDITION SHALL COMPLY WITH THE
NYSDEC NEW YORK STATE STANDARDS FOR
EROSION AND SEDIMENT CONTROL.

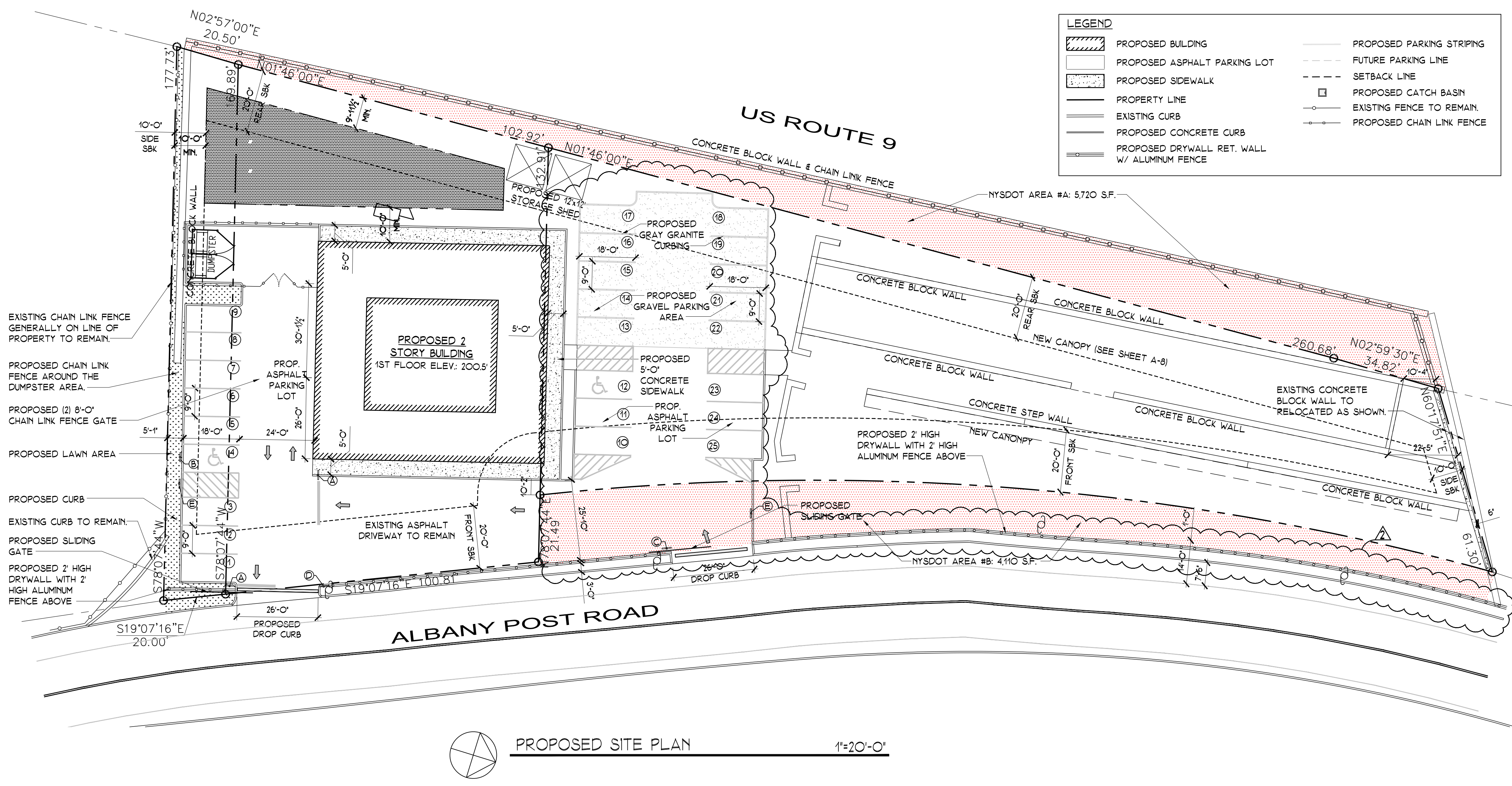
- INSTALLATION NOTES
- EXCAVATE A 4"x4" TRENCH ALONG THE LOWER PERIMETER OF THE SITE.
 - UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW).
 - DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.
 - LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.
 - JOIN SECTIONS AS SHOWN ABOVE.
- NOTE:
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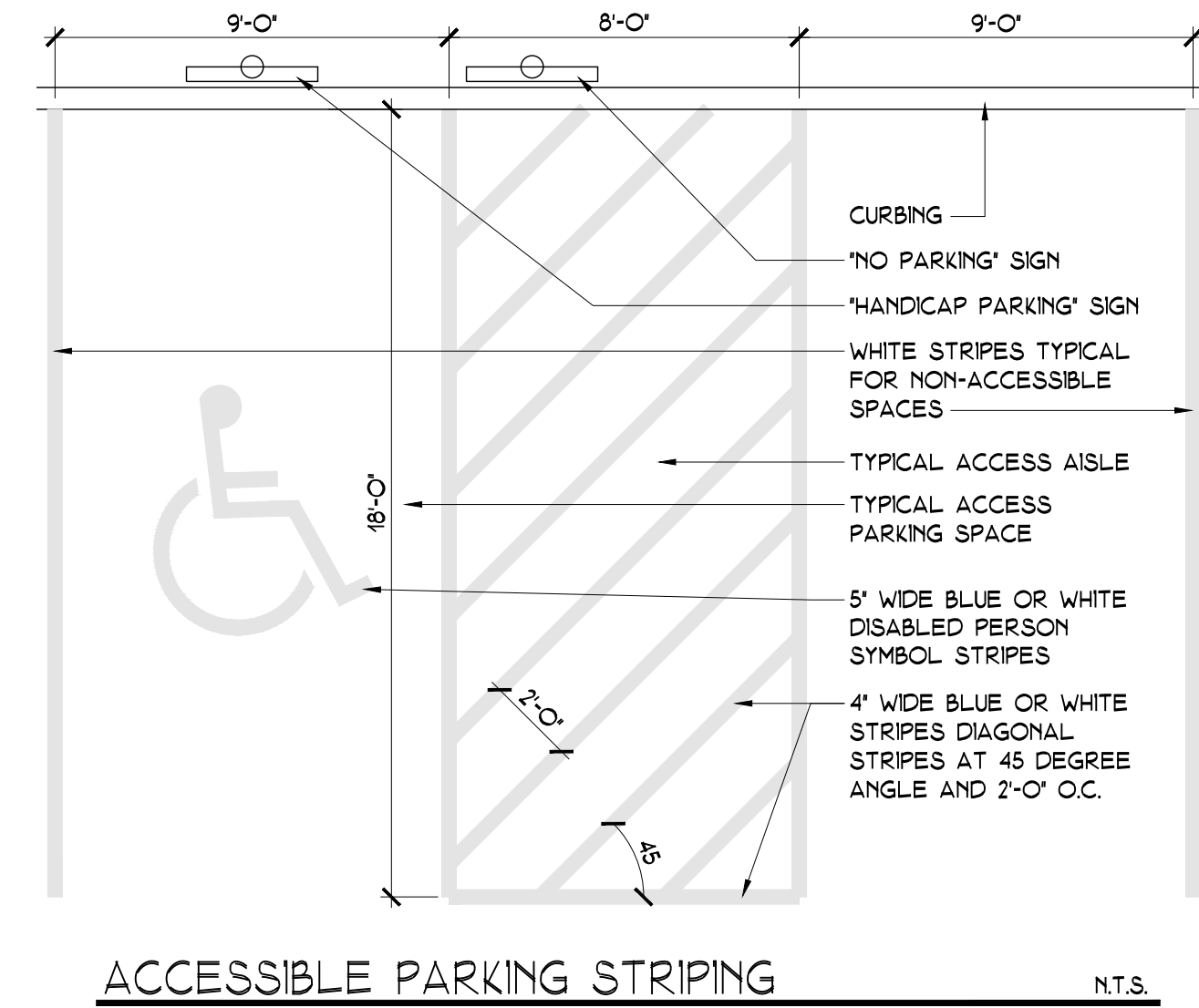
STRAWBALE SEDIMENT BARRIERS NTS

LATEST EDITION SHALL COMPLY WITH THE
NYSDEC NEW YORK STATE STANDARDS FOR
EROSION AND SEDIMENT CONTROL.

PROPOSED SITE PLAN



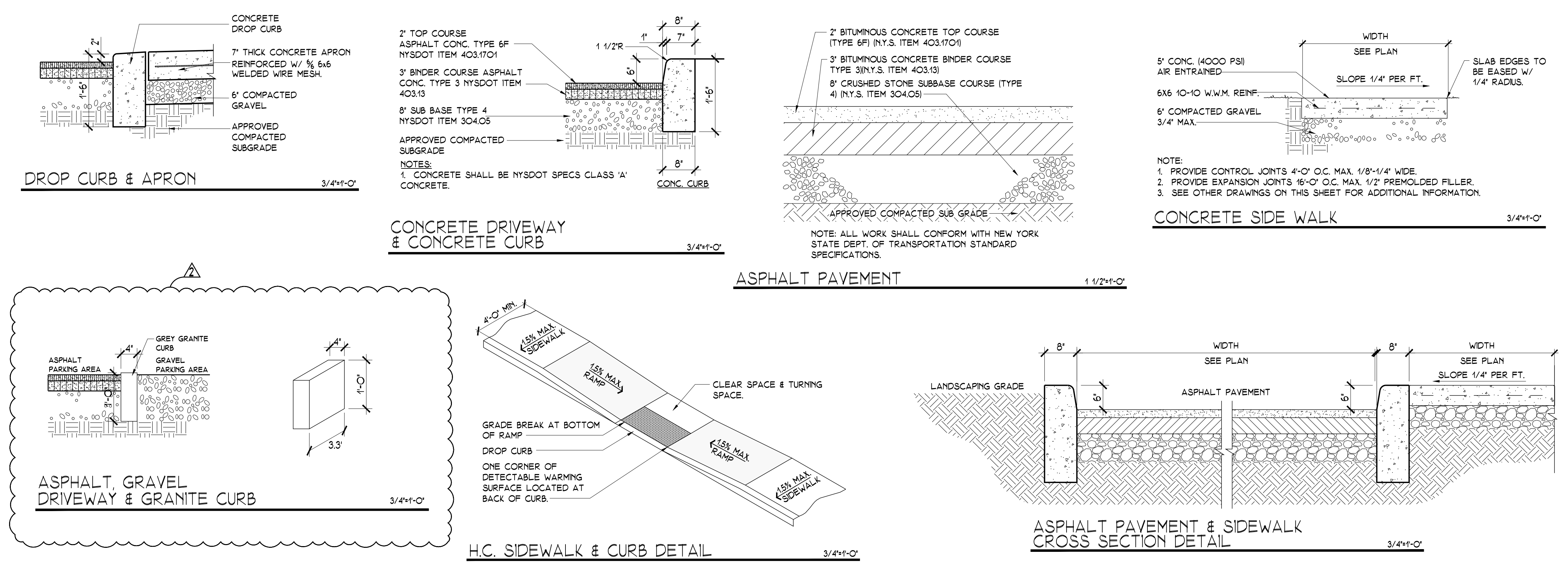
PARKING STRIPING



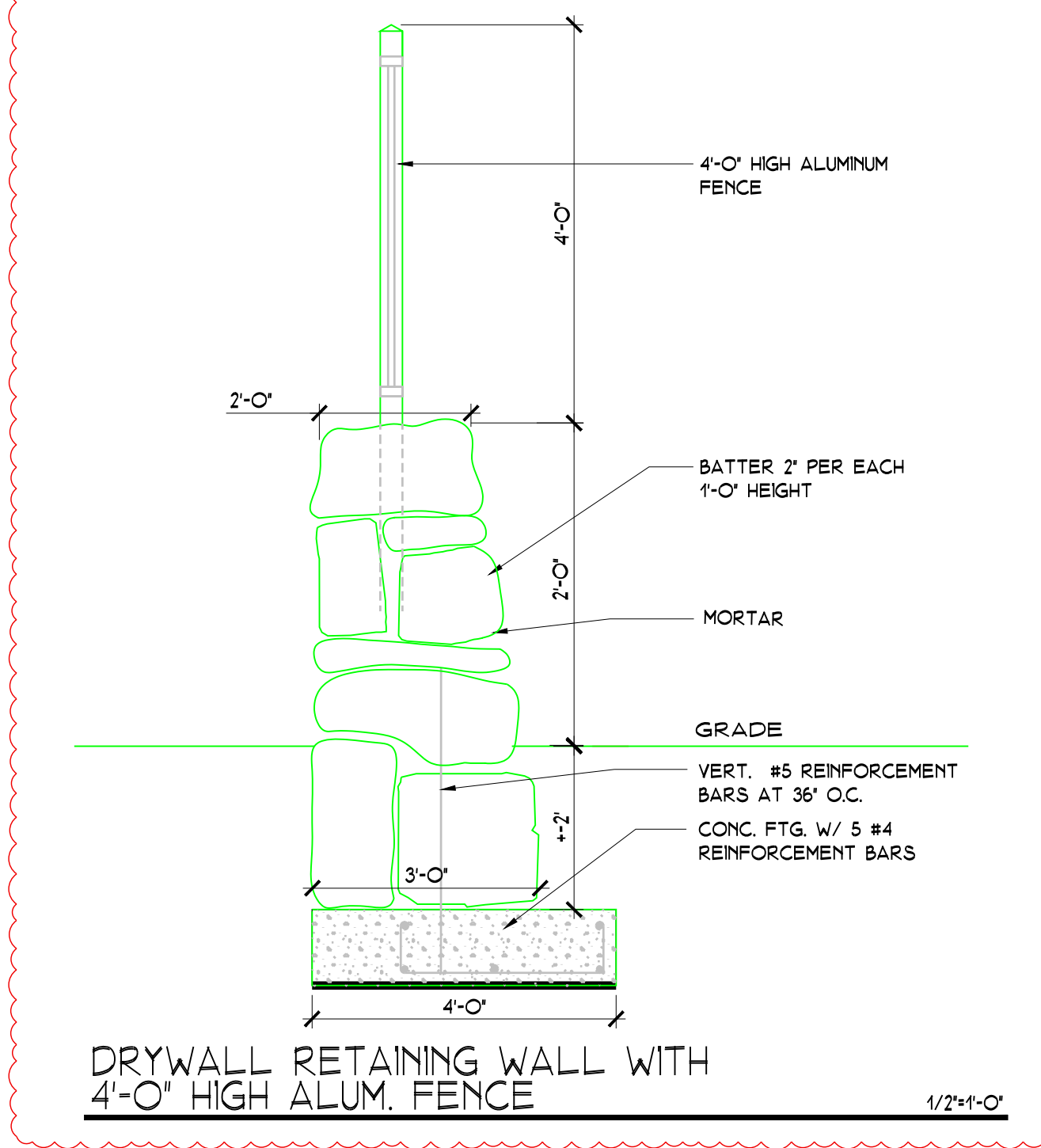
TRAFFIC SIGNS



SITE DETAILS



RET. WALL DETAIL



ARCHITECTURE - PLANNING

100 EXECUTIVE BLVD. SUITE 204
OSSINING, NY 10562
PHONE: (914) 944-3377
FAX: (866) 567-6240

JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 0973256
7 FIELDSTONE DRIVE
NEW FAIRFIELD, CONNECTICUT 06812-0000

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DRAWING TITLE:
PROPOSED SITE PLAN,
PARKING STRIPING,
SIGNS & DETAILS

PROJECT:
PEDRO RUSTICA
AMENDED SITE PLAN

PROJECT ADDRESS:
1360 ALBANY POST RD.
CROTON ON HUDSON
N.Y. 10520

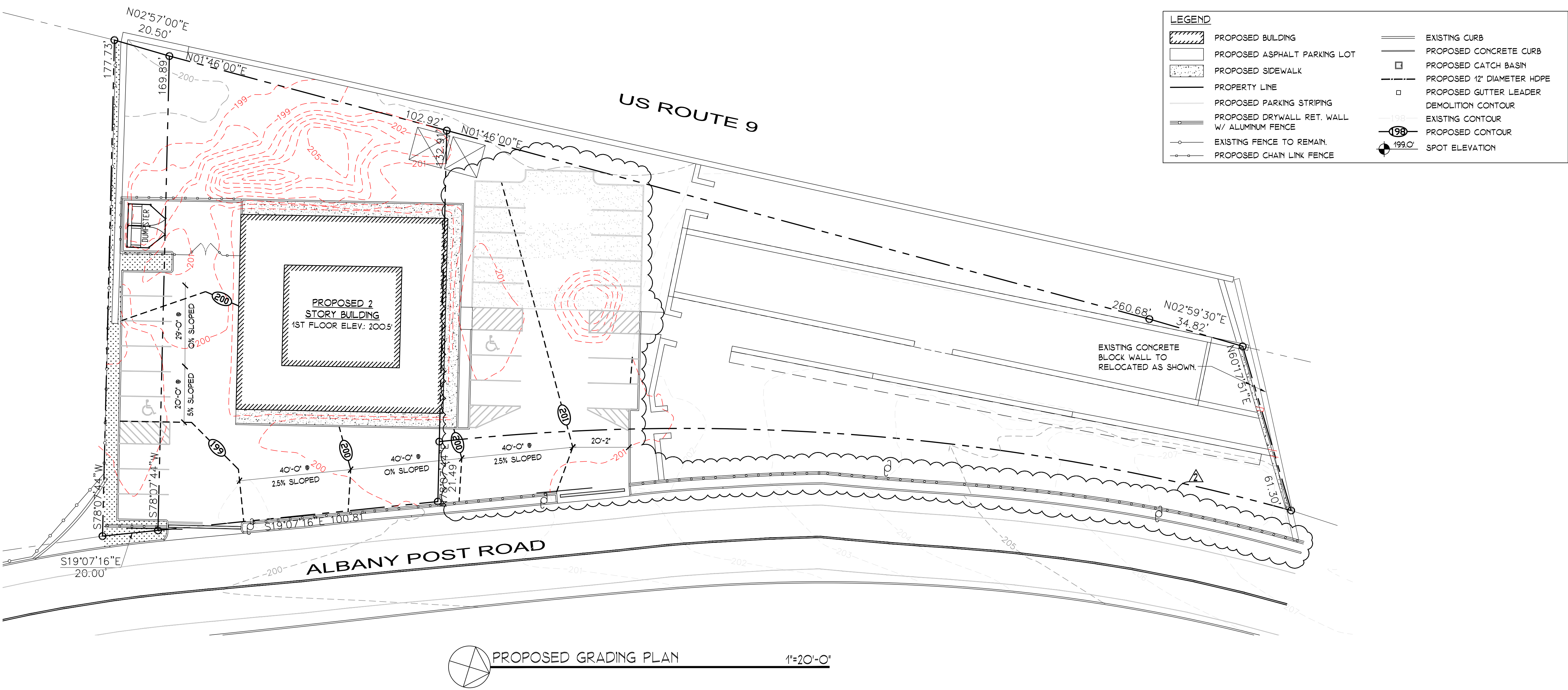
DOB EXAMINER SIGNATURE:

DOB BSCAN STICKER:

SEAL & SIGNATURE:

DATE:	08/23/2019	DWG. NO:
PROJECT NO:	19091	S-1
DRAWN BY:	ARQ	CAD FILE NO:
CHECKED BY:	JBH	3 OF 15

PROPOSED GRADING PLAN



ARQ
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DRAWING TITLE:

PROPOSED GRADING
PLAN, IMAGE & DETAILS

PROJECT:
PEDRO RUSTICA
AMENDED SITE PLAN

PROJECT ADDRESS:
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CROTON ON HUDSON
N.Y. 10520

DOB EXAMINER SIGNATURE:

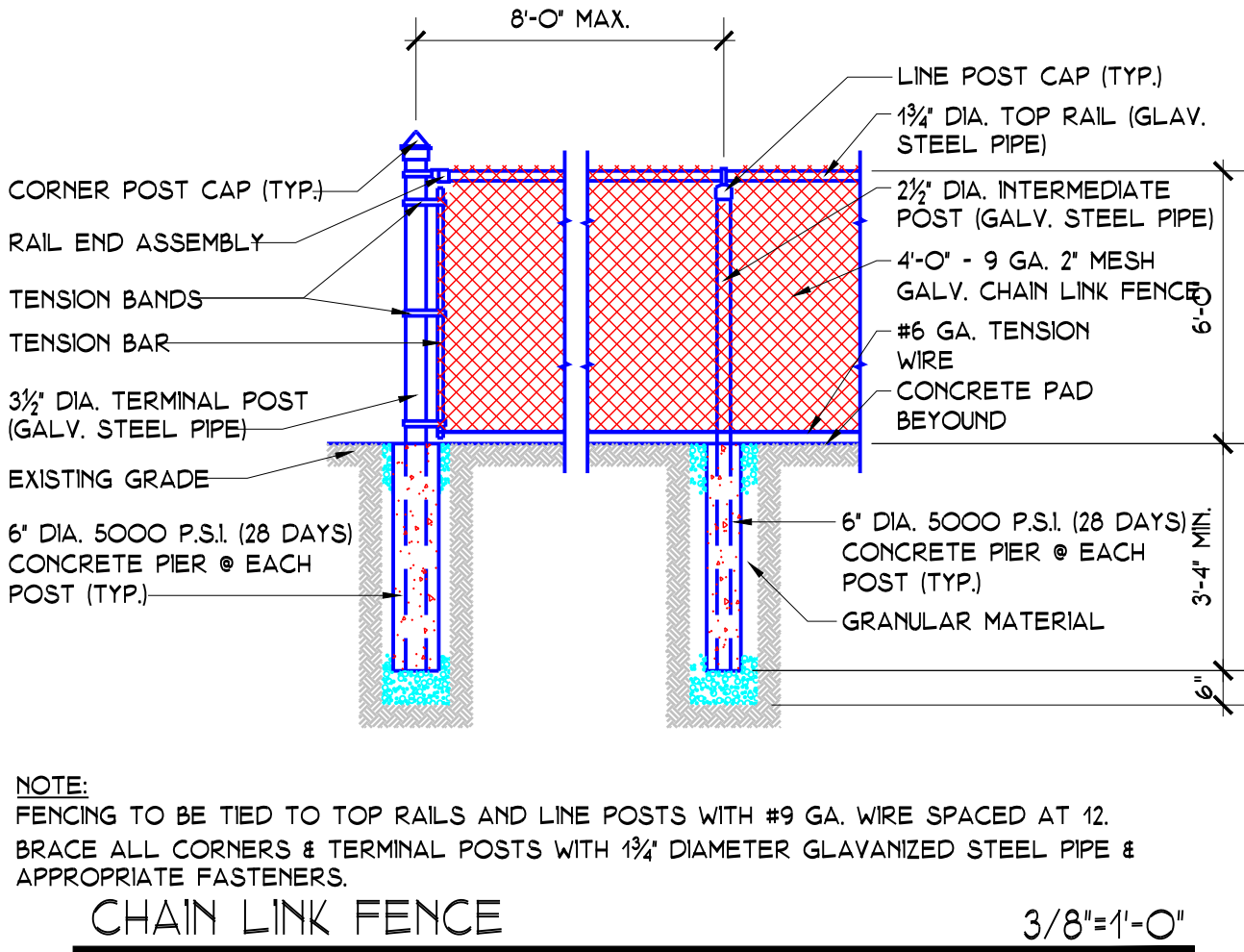
DOB BSCAN STICKER:

SEAL & SIGNATURE



DATE:	DWG. NO:
08/23/2019	S-2
PROJECT NO:	CAD FILE NO:
19091	4 OF 15
DRAWING BY:	
ARQ	
CHECKED BY:	
JBH	

DUMPSTER & FENCE DETAILS



PROPOSED DRAINAGE PLAN

ARQ

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COORDINATION	10/9/20	ARQ

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PROPOSED DRAINAGE
& GRADING PLAN, CRIT.,
DETAILS & LEGEND

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PEDRO RUSTICA
AMENDED SITE PLAN

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CROTON ON HUDSON
N.Y. 10520

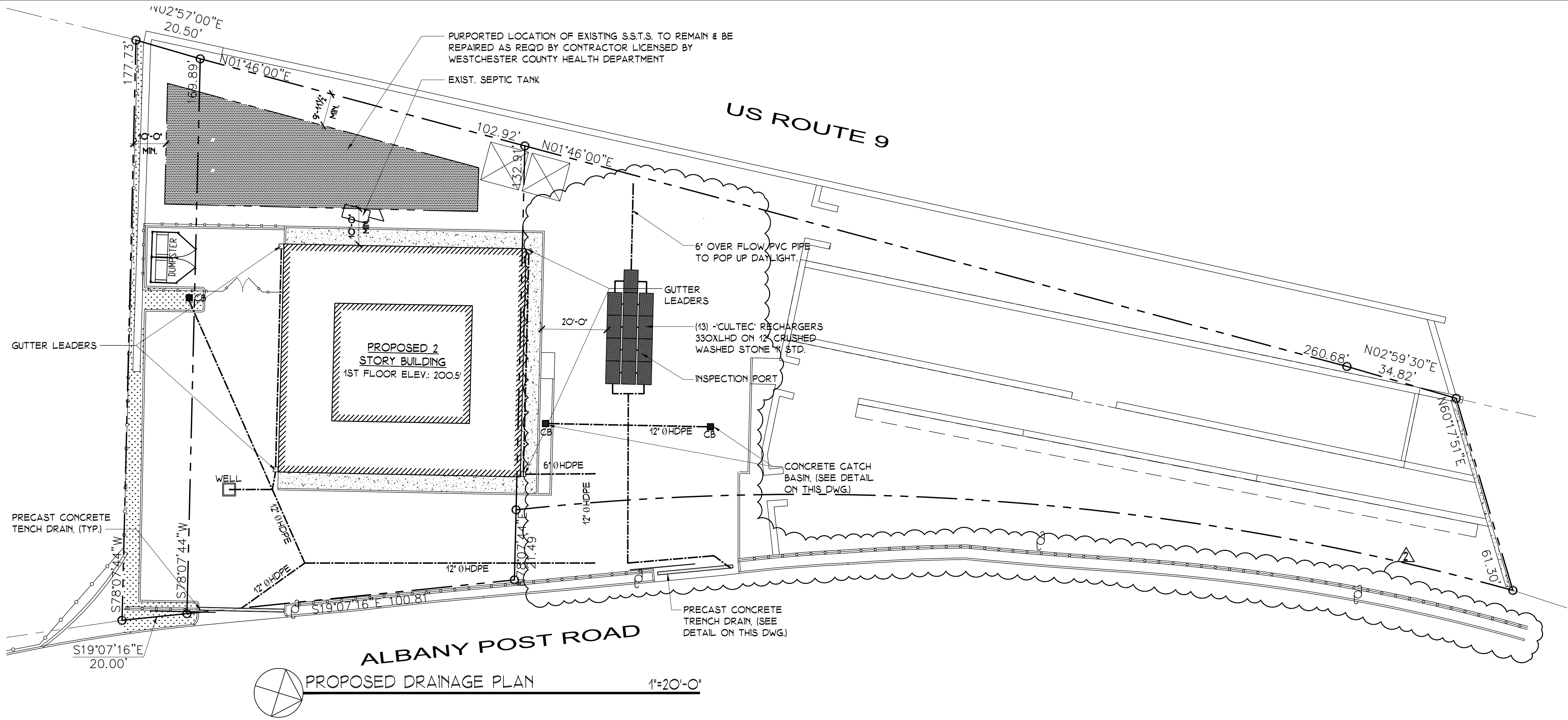
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DOB BSCAN STICKER:

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DATE: 08/23/2019	DWG. NO.:
PROJECT NO: 19091	S-3
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CHECKED BY: JBH	5 OF 15



STORMWATER CRITERIA, DETAILS & LEGEND

SITE NOTES

AREAS OF INFLUENCE:
EXISTING IMPERVIOUS = 12,633
PROPOSED IMPERVIOUS = 6,028
TOTAL IMPERVIOUS = 18,661

SITE DISTURBANCE: SHALL NOT EXTEND BEYOND PROPERTY LIMITS.
OR AS NOTED ON SITE PLAN.

WATER RETENTION: CONNECT ALL AREA DRAINS TO CULTREC UNITS.
OVERFLOW AS DIRECTED BY VILLAGE ENGINEER

GRADING
MATCH EXISTING GRADES ON PROPERTY AND AT SIDE PROPERTY
LINES.

SOIL INFORMATION:
SOIL GROUP = R1E - RIVERHEAD LOAM

A DEEP HOLE TEST & PERCOLATION TEST SHALL BE
PERFORMED ON SITE

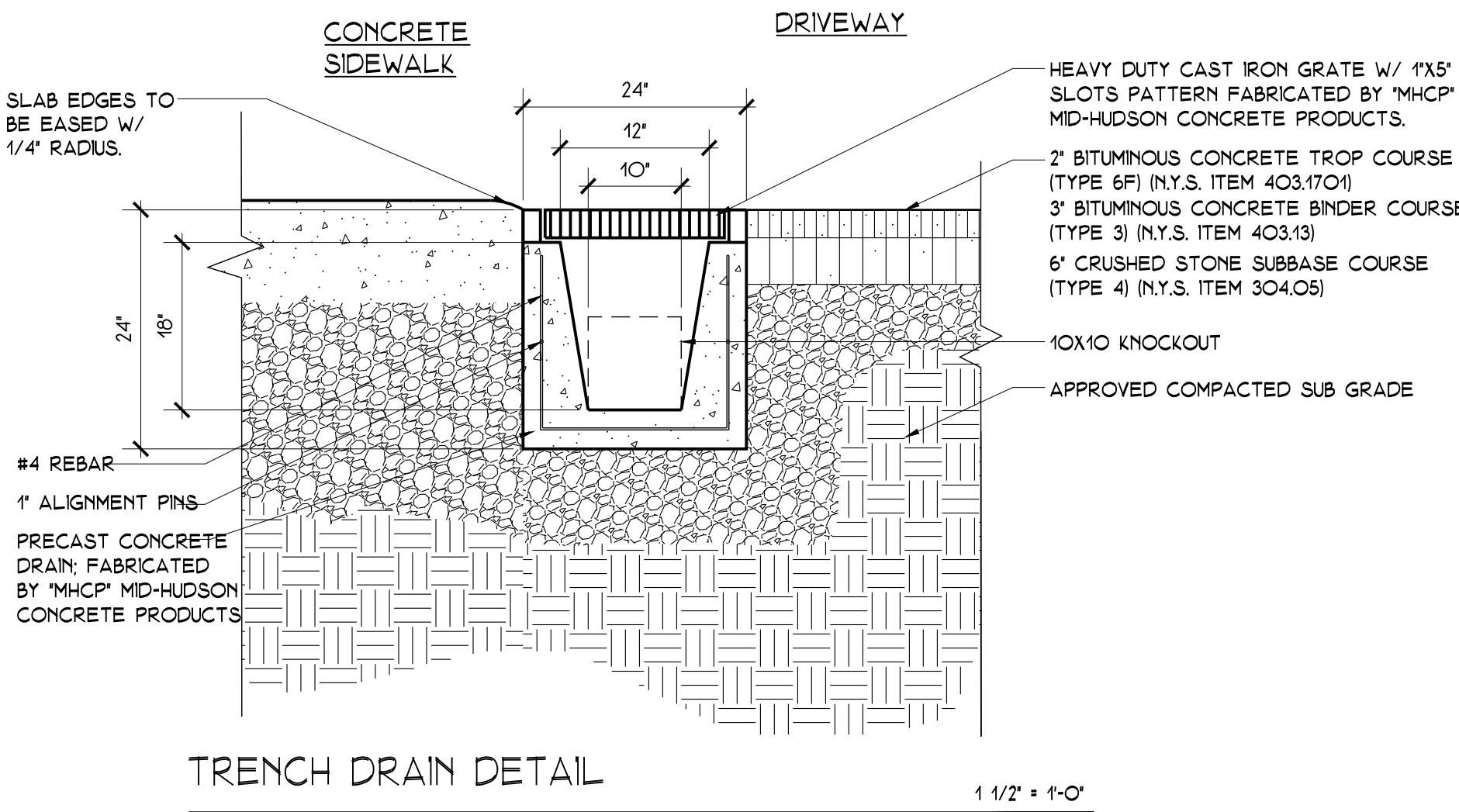
NOTE:
NO PERCOLATION CREDIT IS USED FOR RUNOFF CALCULATION

TOTAL LOT AREA = 40,474 SF
PRE-EXISTING IMPERVIOUS = 12,669 S.F.
EXIST. & PROP. TOTAL IMPERVIOUS = 16,050 SF
PRE-EXISTING (12,669 S.F.) - TOTAL IMPERVIOUS (16,050 S.F.) = 3,381 S.F.

STORMWATER RUNOFF CALCULATION
HYDROLOGIC SOIL GROUP = 'B'
RAINFALL INTENSITY = 100 YEAR STORM
POST CONSTRUCTION AREA = 3,381 SF. (PROPOSED IMPERVIOUS AREA)
PRE-CONSTRUCTION RUNOFF DEPTH
LAWN FAIR CONDITIONS 60 2.88 IN.

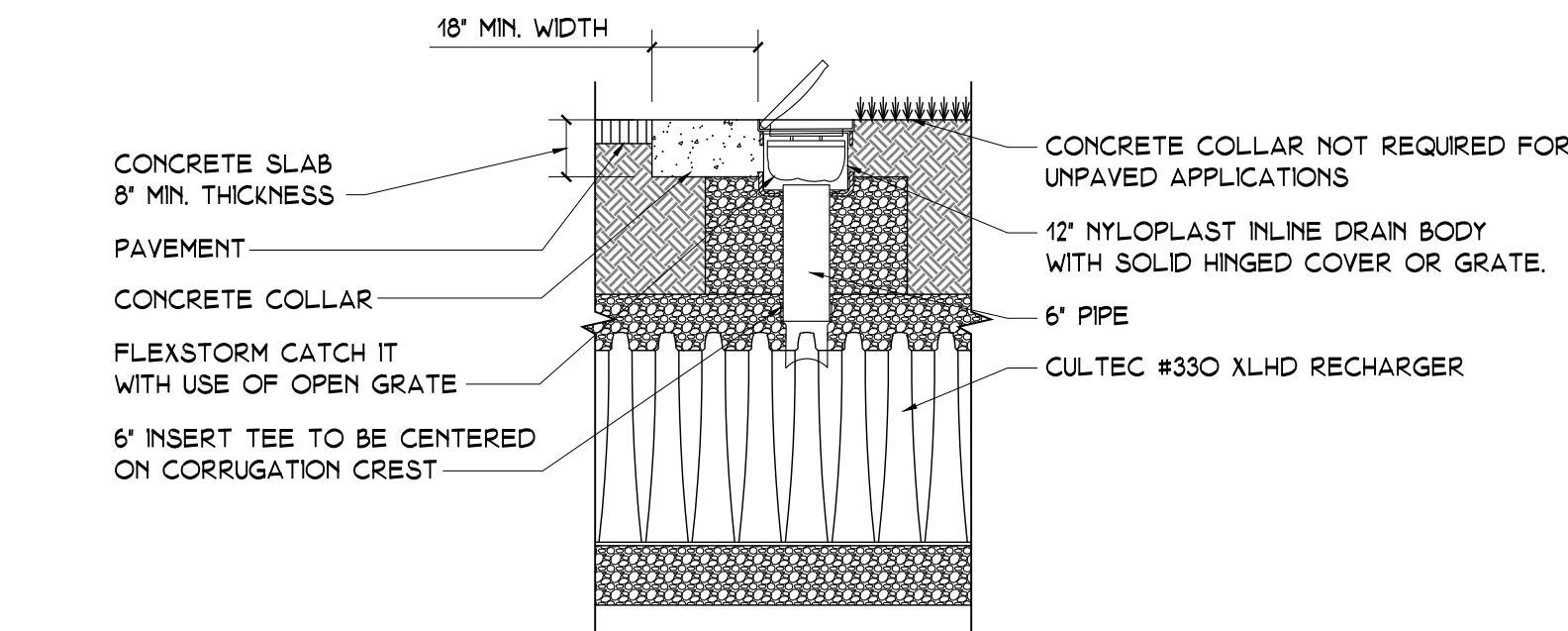
POST-CONSTRUCTION
PARKING LOT 98 7.14 IN.
V_a = 1. x AREA 4.25 IN.

V_a=(426 IN/12) x 3,381 SF. = 1200.25 CF
ADDITIONAL STORM WATER RUNOFF = 1200 CF
CHAMBER CAPACITY = 89.55 CF. (WITH 12" STONE BASE)
1200 CF/89.55 CF = 13.4 UNITS
PROVIDE (13) CULTREC # 330 XLHD RECHARGERS.



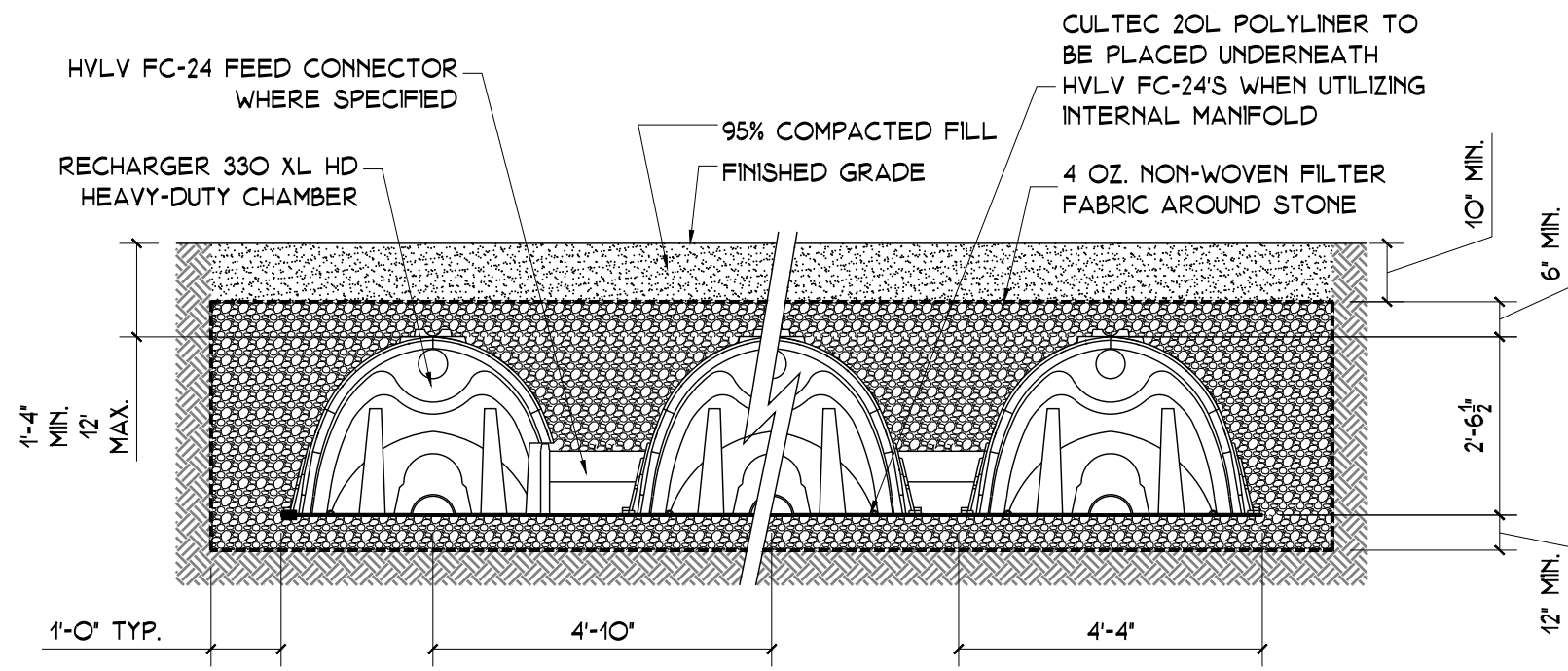
TRENCH DRAIN DETAIL

1 1/2" = 1'-0"



INSPECTION PORT DETAIL

NTS



GENERAL NOTES

RECHARGER 330XL HD BY CULTREC, INC. OF BROOKFIELD, CT.
STORAGE PROVIDED = 1.132 CF/FT PER DESIGN UNIT.
REFER TO CULTREC, INC.'S CURRENT RECOMMENDED
INSTALLATION GUIDELINES.
USE RECHARGER 330XL HD HEAVY DUTY FOR TRAFFIC
AND/OR HS-25 APPLICATIONS.

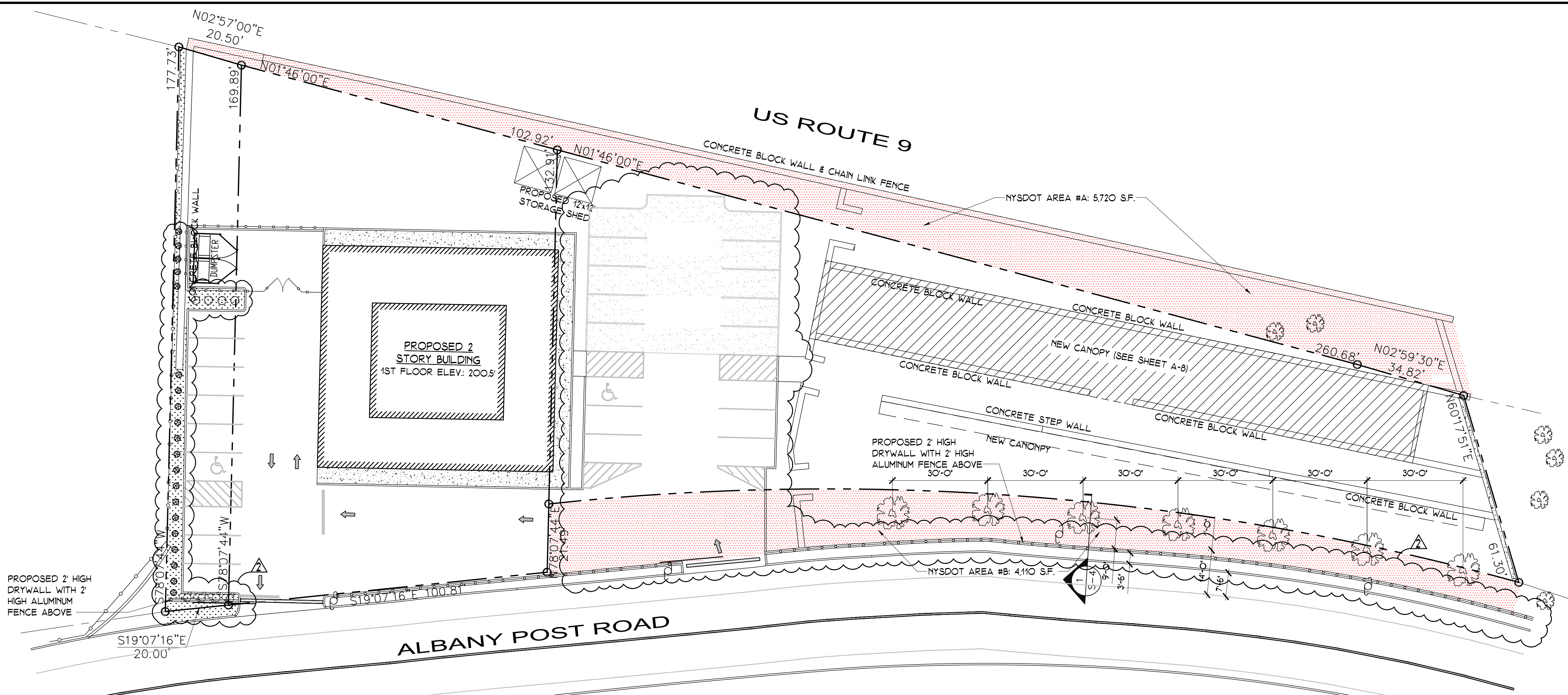
TYPICAL CROSS SECTION DETAIL
© CULTREC UNITS

NTS

LEGEND

	PROPOSED BUILDING		EXISTING CURB
	PROPOSED ASPHALT PARKING LOT		PROPOSED CONCRETE CURB
	PROPOSED SIDEWALK		PROPOSED CATCH BASIN
	PROPERTY LINE		PROPOSED 12" DIAMETER HDPE
	PROPOSED PARKING STRIPING		PROPOSED GUTTER LEADER
	PROPOSED DRYWALL RET. WALL W/ ALUMINUM FENCE		DEMOLITION CONTOUR
	EXISTING FENCE TO REMAIN		EXISTING CONTOUR
	PROPOSED CHAIN LINK FENCE		PROPOSED CONTOUR
			SPOT ELEVATION

PROPOSED LANDSCAPING PLAN



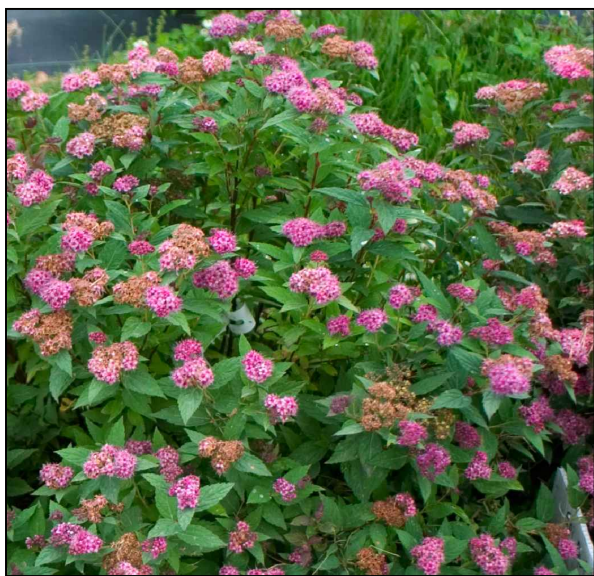
PLANTING LEGEND

SYM.	KEY	SCIENTIFIC NAME	COMMON NAME	QTY.	SIZE
	FS	THUJA OCCIDENTALIS	EMERALD GREEN ARBORVITAE	20	3' TO 4' WIDE
	MS	SPIREA DENSIFLORA	MOUNTAIN SPIREA	4	5 GAL
	IG	SORGHASTRUM NUTANS	INDIANGRASS ORNAMENTAL GRASS	4	3 GAL.
	IG	ACER CAMPESTRE	HEDGE MAPLE	7	25' TO 40' HIGH

LEGEND

	PROPOSED BUILDING		PROPOSED PARKING STRIPING
	PROPOSED ASPHALT PARKING LOT		PROPOSED DRYWALL RET. WALL W/ ALUMINUM FENCE
	PROPOSED SIDEWALK		PROPOSED CATCH BASIN
	WORK AREA IN NYSDOT RIGHT OF WAY APPLICANT WILL SECURE USE AGREEMENT FROM NYSDOT USE & OCCUPANCY DEPT.		EXISTING FENCE TO REMAIN.
	SNOW STORAGE AREA		PROPOSED CHAIN LINK FENCE
	PROPERTY LINE		EXISTING CURB
			PROPOSED CONCRETE CURB
			EXISTING TREE TO REMAIN.

PLANTING IMAGES



MOUNTAIN SPIREA



HEDGE MAPLE



INDIANGRASS ORNAMENTAL GRASS



EMERALD GREEN ARBORVITAE

ARQ ARCHITECTURE - PLANNING
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PROPOSED
LANDSCAPING PLAN,
IMAGES & DETAILS

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AMENDED SITE PLAN

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CROTON ON HUDSON
N.Y. 10520

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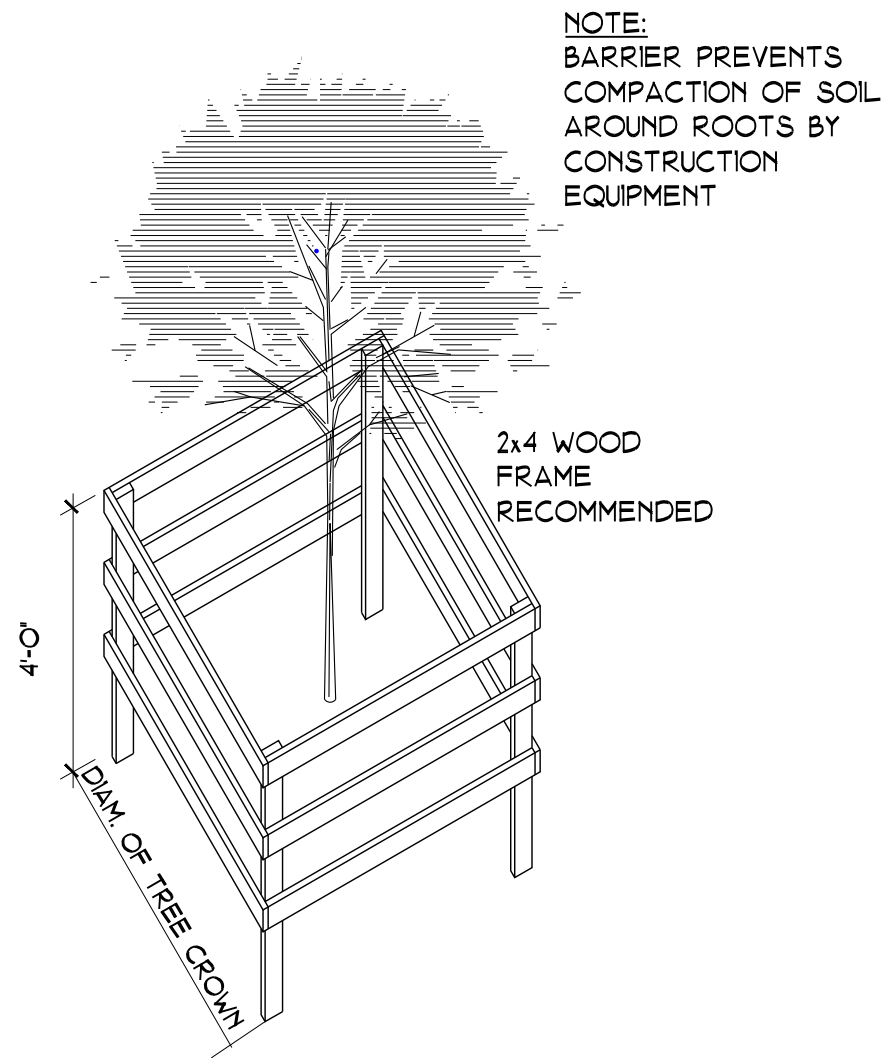
DOB BSCAN STICKER:

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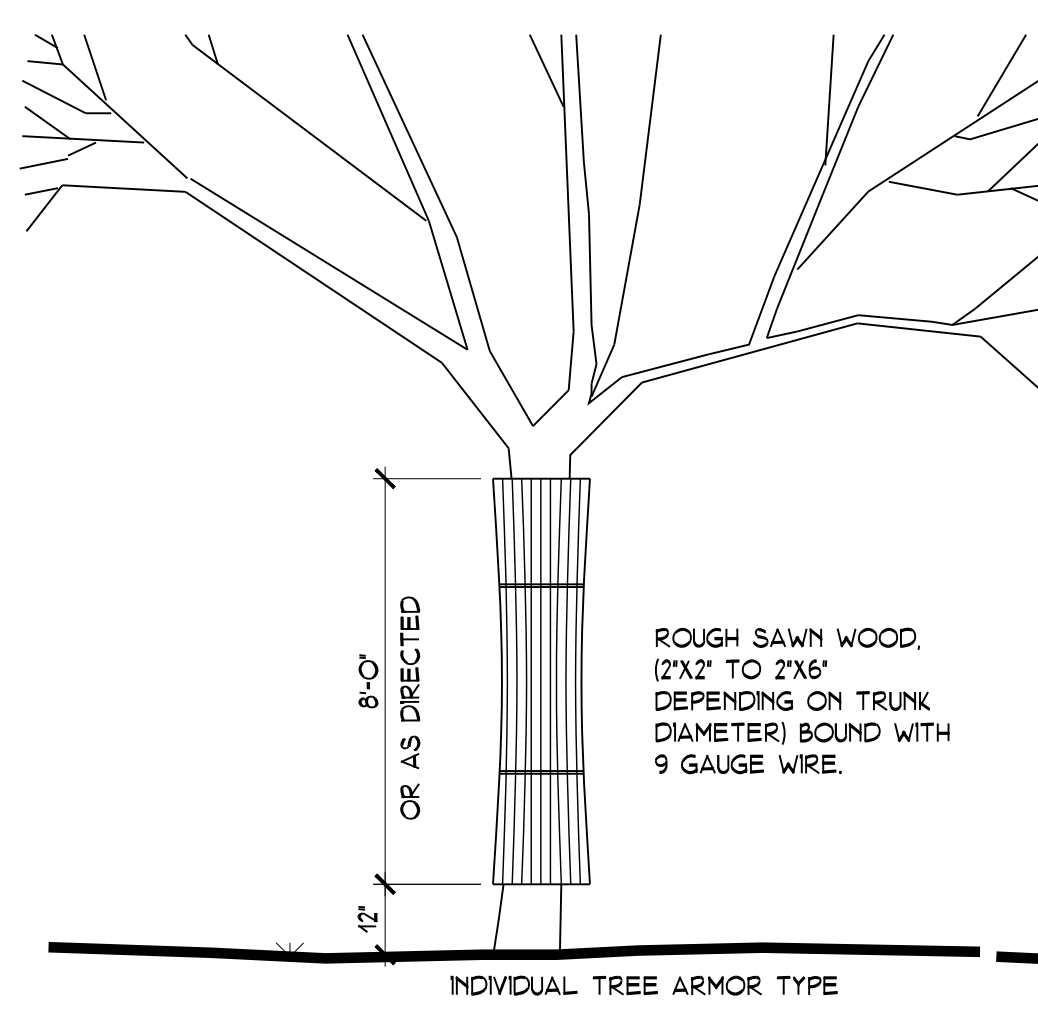


DATE: 08/23/2019	DWG. NO: S-4
PROJECT NO: 19091	
DRAWING BY: ARQ	CAD FILE NO:
CHECKED BY: JBH	6 OF 15

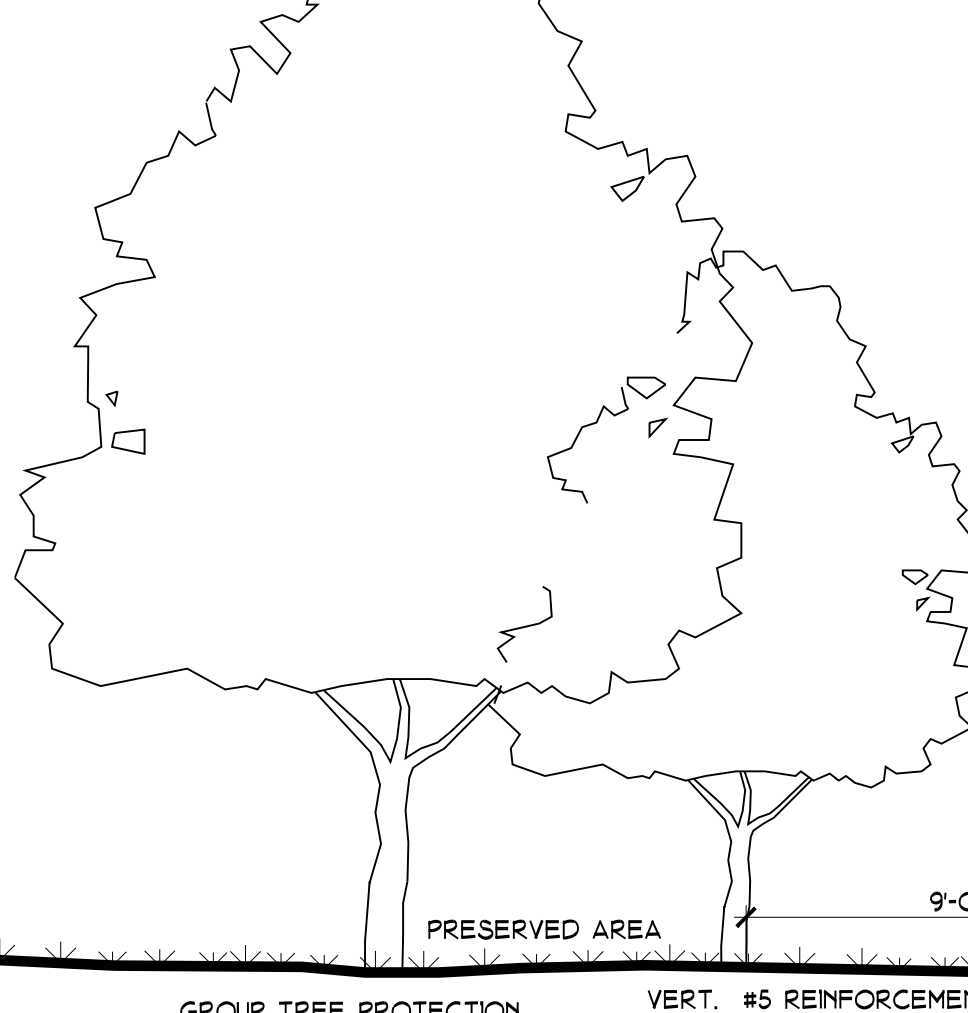
PLANTING DETAILS



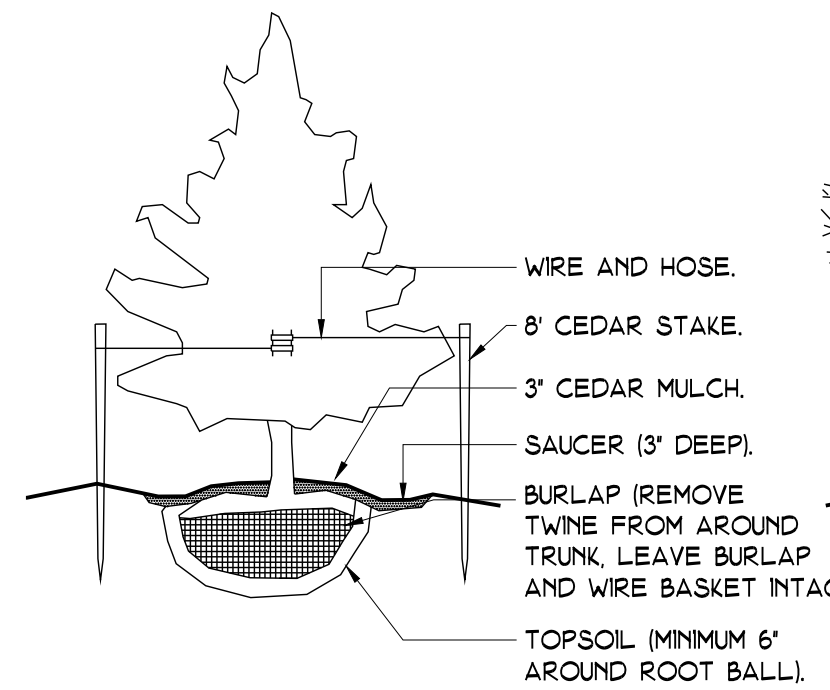
NOTE:
BARRIER PREVENTS
COMPACTION OF SOIL
AROUND ROOTS BY
CONSTRUCTION
EQUIPMENT



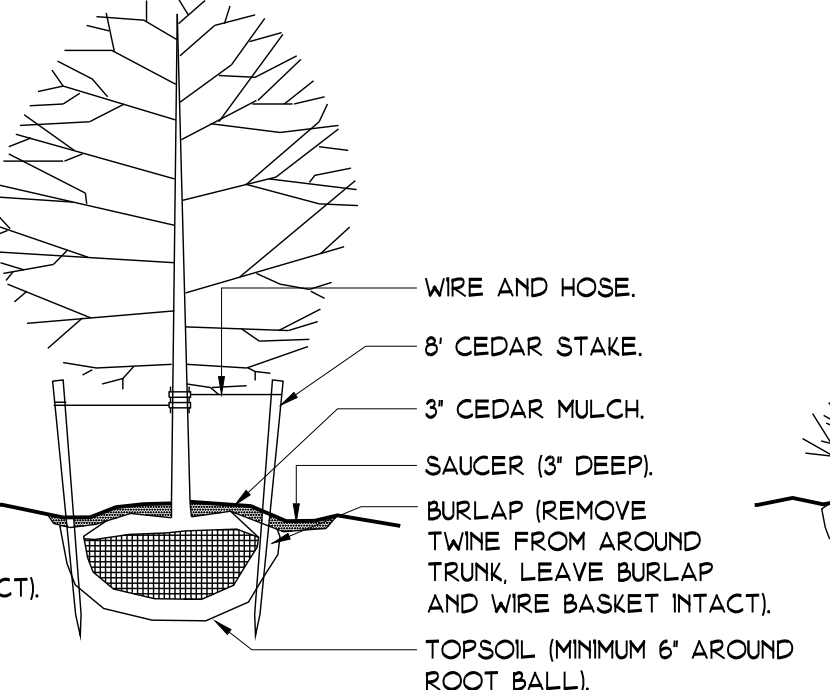
TREE PROTECTION DETAIL



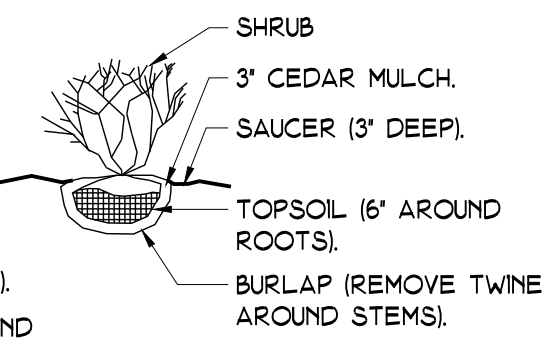
1 DRYWALL STONE WALL DETAIL



CONIFEROUS TREE

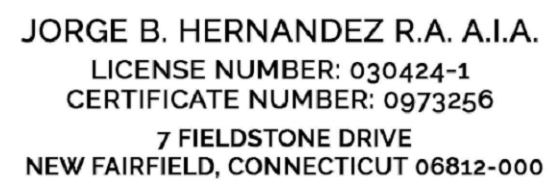


DECIDUOUS TREE



SHRUB

PLANTING DETAIL



OWNER COMMENT	01/5/18	ARQ
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▲ COORDINATION	10/9/20	ARQ

PROPOSED FOUNDATION PLAN

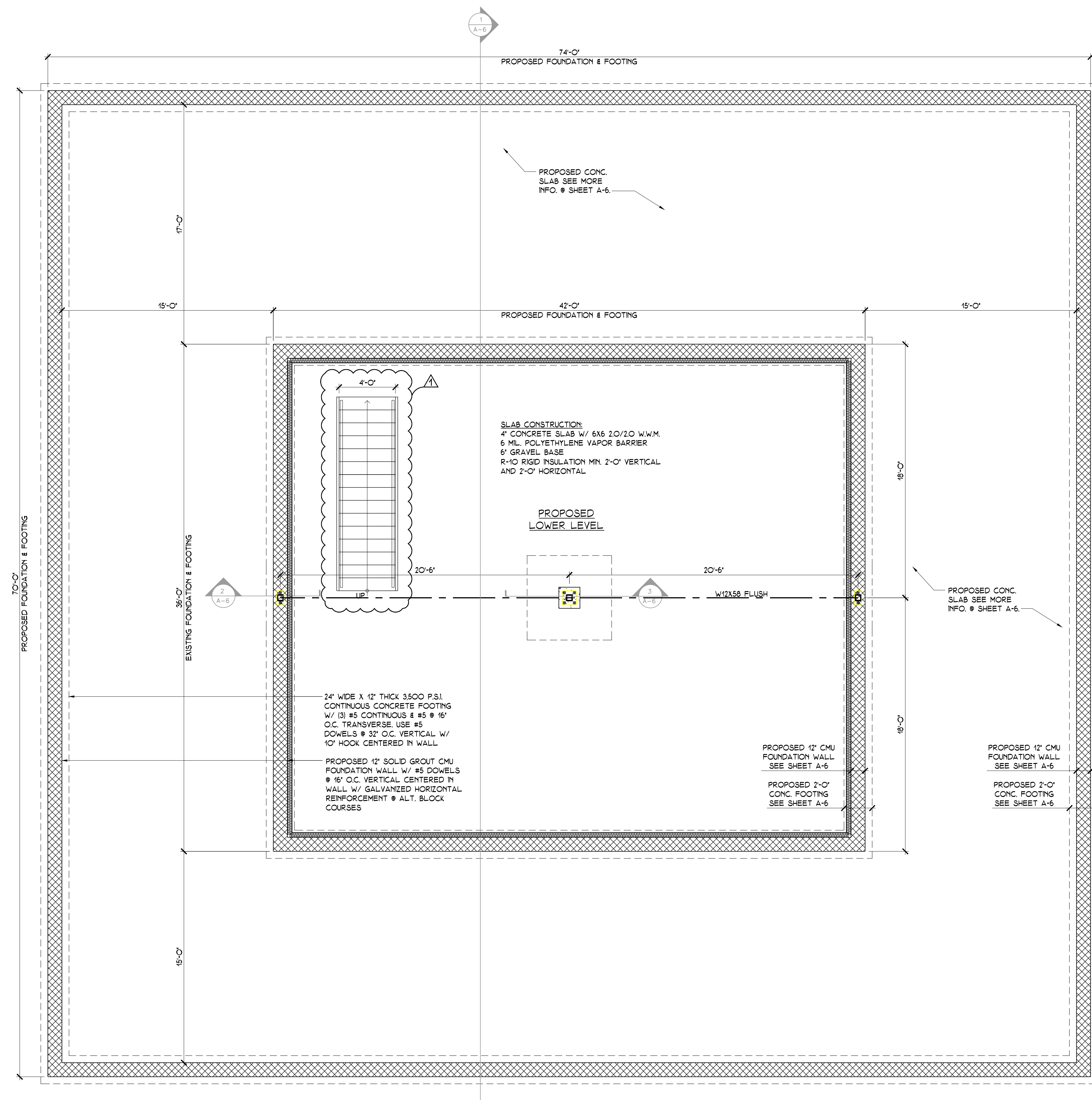
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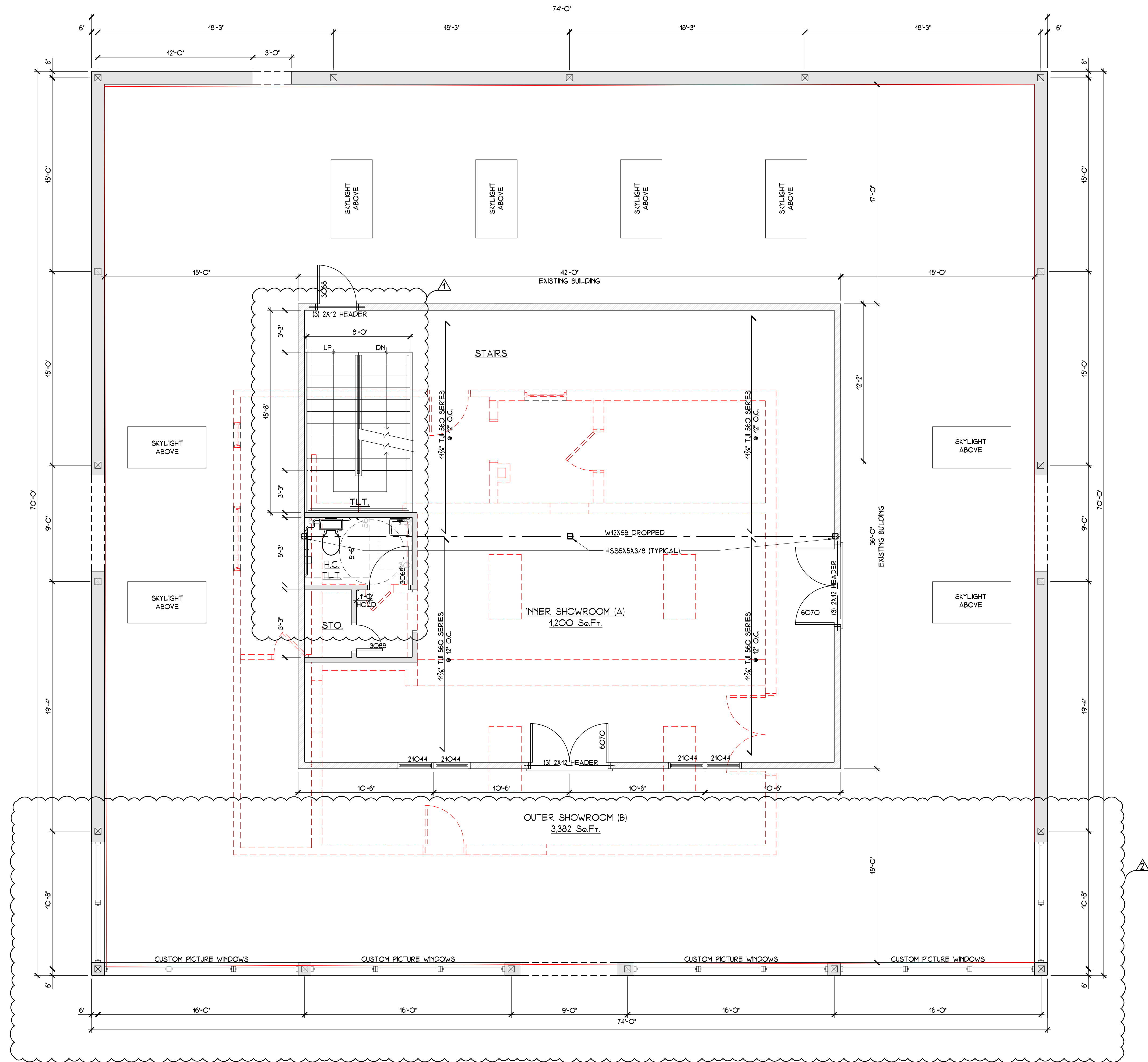
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8 OF 15



PROPOSED FOUNDATION PLAN

$$1/4'' = 1' - \bigcirc''$$



PROPOSED FIRST FLOOR PLAN 1/4"=1'-0"

PROJECT LOADS

DEAD LOADS:
ROOF: 20 PSF (POUNDS PER SQUARE FOOT)
ATTIC: 10 PSF
2ND FLOOR: 20 PSF
1ST FLOOR: 20 PSF

LIVE LOADS:
ATTIC SPACE: 20 PSF
2ND FLOOR STORAGE SPACE: 125 PSF
1ST FLOOR COMMERCIAL SPACE: 100 PSF

SNOW LOAD:
GROUND SNOW LOAD (PG) = 30 PSF
FLAT-ROOF SNOW LOAD (PF + 0.7*CE*CT*PG) = 21 PSF
SNOW LOAD EXPOSURE FACTOR, CE = 1.0
SNOW LOAD IMPORTANCE FACTOR, IS = 1.0
THERMAL FACTOR, CT = 1.0

WIND DESIGN DATA:
ULTIMATE DESIGN WIND SPEED, VULT = 113 MPH



100 EXECUTIVE BLVD. SUITE 204
OSSINING, NY 10562
PHONE: (914) 944-3377
FAX: (866) 567-6240

JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 0973256
7 FIELDSTONE DRIVE
NEW FAIRFIELD, CONNECTICUT 06812-000

OWNER COMMENT	01/5/18	ARQ
OWNER COMMENT	2/28/18	ARQ
PB COMMENTS	3/23/18	ARQ
PB COMMENTS	4/10/18	ARQ
OWNER COMMENT	6/04/18	ARQ
COORDINATION	09/05/19	ARQ
COORDINATION	12/11/19	ARQ
COORDINATION	1/31/20	ARQ
COORDINATION	2/11/20	ARQ
AS-BUILT	3/31/20	ARQ
COORDINATION	6/3/20	ARQ
REV.	7/9/20	ARQ
COORDINATION	7/24/20	ARQ
P.B. SITE MEETING	8/19/2020	ARQ
P.B. COMMENTS	9/17/2020	ARQ
COORDINATION	10/9/20	ARQ

DRAWING TITLE:

PROPOSED FIRST
FLOOR PLAN

PROJECT:

PEDRO RUSTICA
AMENDED SITE PLAN

PROJECT ADDRESS:

1360 ALBANY POST RD.
CROTON ON HUDSON
N.Y. 10520

DOB EXAMINER SIGNATURE:



DOB BSCAN STICKER:



SEAL & SIGNATURE



DATE:

08/23/2019

PROJECT NO:

19091

DRAWING BY:

ARQ

CHECKED BY:

JBH

DWG. NO:

A-2

CAD FILE NO:

9 OF 15

OWNER COMMENT	01/5/18	ARQ
OWNER COMMENT	2/28/18	ARQ
PB COMMENTS	3/23/18	ARQ
PB COMMENTS	4/10/18	ARQ
OWNER COMMENT	6/04/18	ARQ
COORDINATION	09/05/19	ARQ
COORDINATION	12/11/19	ARQ
COORDINATION	1/31/20	ARQ
COORDINATION	2/11/20	ARQ
AS-BUILT	3/31/20	ARQ
COORDINATION	6/3/20	ARQ
REV.	7/9/20	ARQ
COORDINATION	7/24/20	ARQ
P.B. SITE MEETING	8/19/2020	ARQ
P.B. COMMENTS	9/17/2020	ARQ
COORDINATION	10/9/20	ARQ

DRAWING TITLE:

PROPOSED SECOND
FLOOR PLAN

PROJECT:

PEDRO RUSTICA
AMENDED SITE PLAN

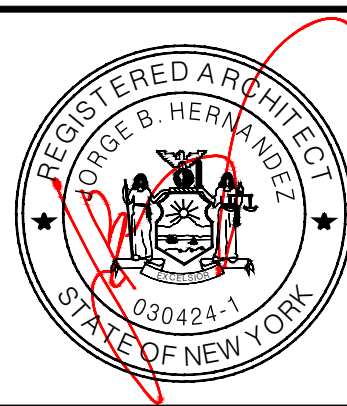
PROJECT ADDRESS:

1360 ALBANY POST RD.
CROTON ON HUDSON
N.Y. 10520

DOB EXAMINER SIGNATURE:

DOB BSCAN STICKER:

SEAL & SIGNATURE



DATE:

08/23/2019

PROJECT NO:

19091

DRAWING BY:

ARQ

CHECKED BY:

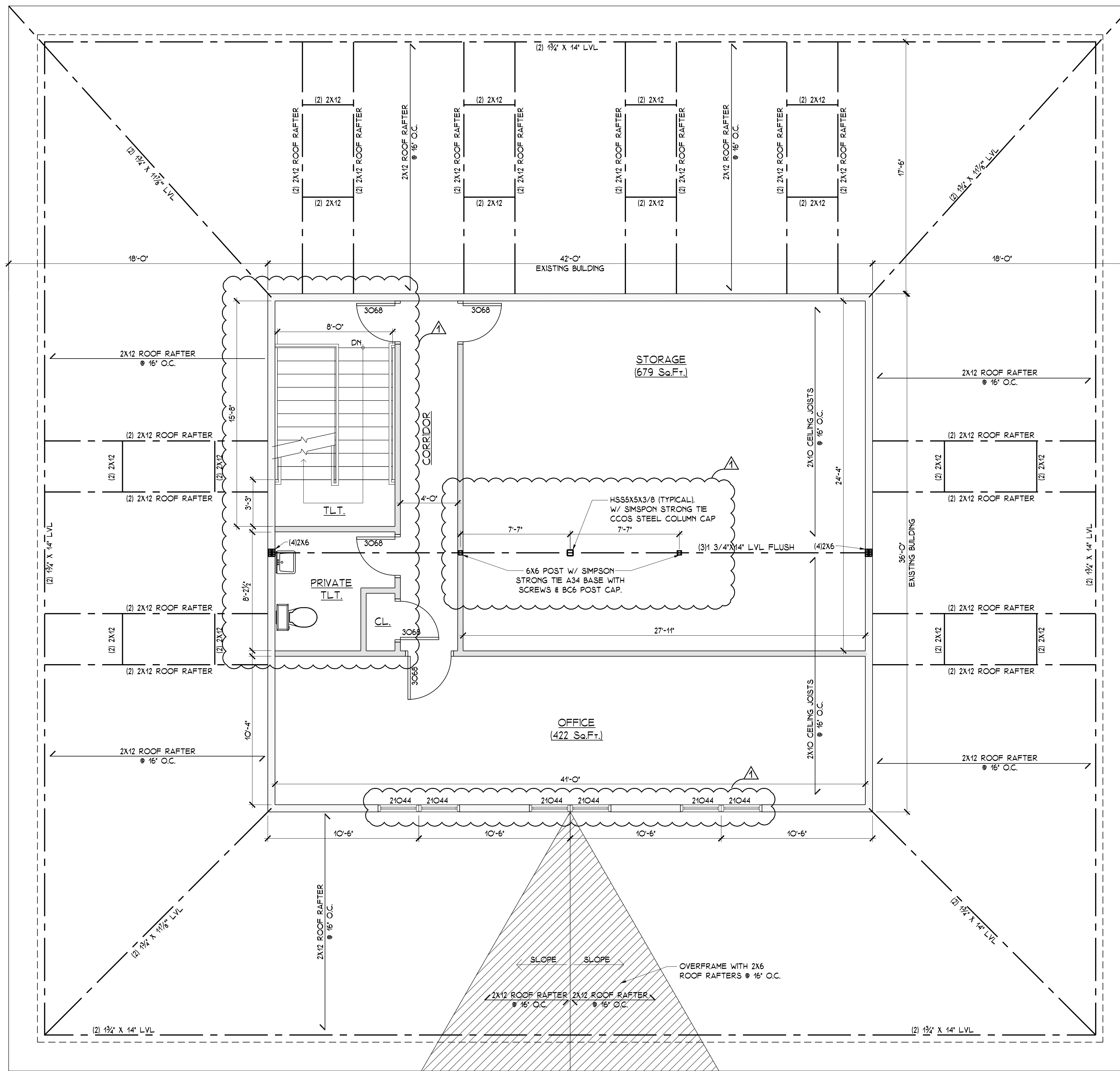
JBH

DWG. NO:

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CAD FILE NO:

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PROPOSED SECOND PLAN

1/4"=1'-0"



100 EXECUTIVE BLVD. SUITE 204
OSSINING, NY 10562
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LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 0973256
7 FIELDSTONE DRIVE
NEW FAIRFIELD, CONNECTICUT 06812-000

OWNER COMMENT	01/5/18	ARG
OWNER COMMENT	2/28/18	ARG
PB COMMENTS	3/23/18	ARG
PB COMMENTS	4/10/18	ARG
OWNER COMMENT	6/04/18	ARG
COORDINATION	09/05/19	ARG
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COORDINATION	1/31/20	ARG
COORDINATION	2/11/20	ARG
▲ AS-BUILT	3/31/20	ARG
COORDINATION	6/3/20	ARG
REV.	7/9/20	ARG
COORDINATION	7/24/20	ARG
P.B. SITE MEETING	8/19/2020	ARG
P.B. COMMENTS	9/17/2020	ARG
▲ COORDINATION	10/9/20	ARG

DRAWING TITLE:

PROPOSED ROOF PLAN

PROJECT:
PEDRO RUSTICA
AMENDED SITE PLAN

PROJECT ADDRESS:
1360 ALBANY POST RD
CROTON ON HUDSON
N.Y. 10520

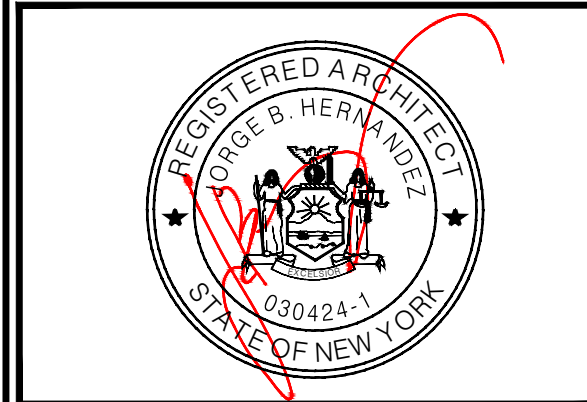
DOB EXAMINER SIGNATURE:



DOB BSCAN STICKER:



SEAL & SIGNATURE



DATE: _____

08/23/2019

PROJECT
10000

1909

DRAWING BY:

DRAWING BY:
ARQ

CHECKED BY:

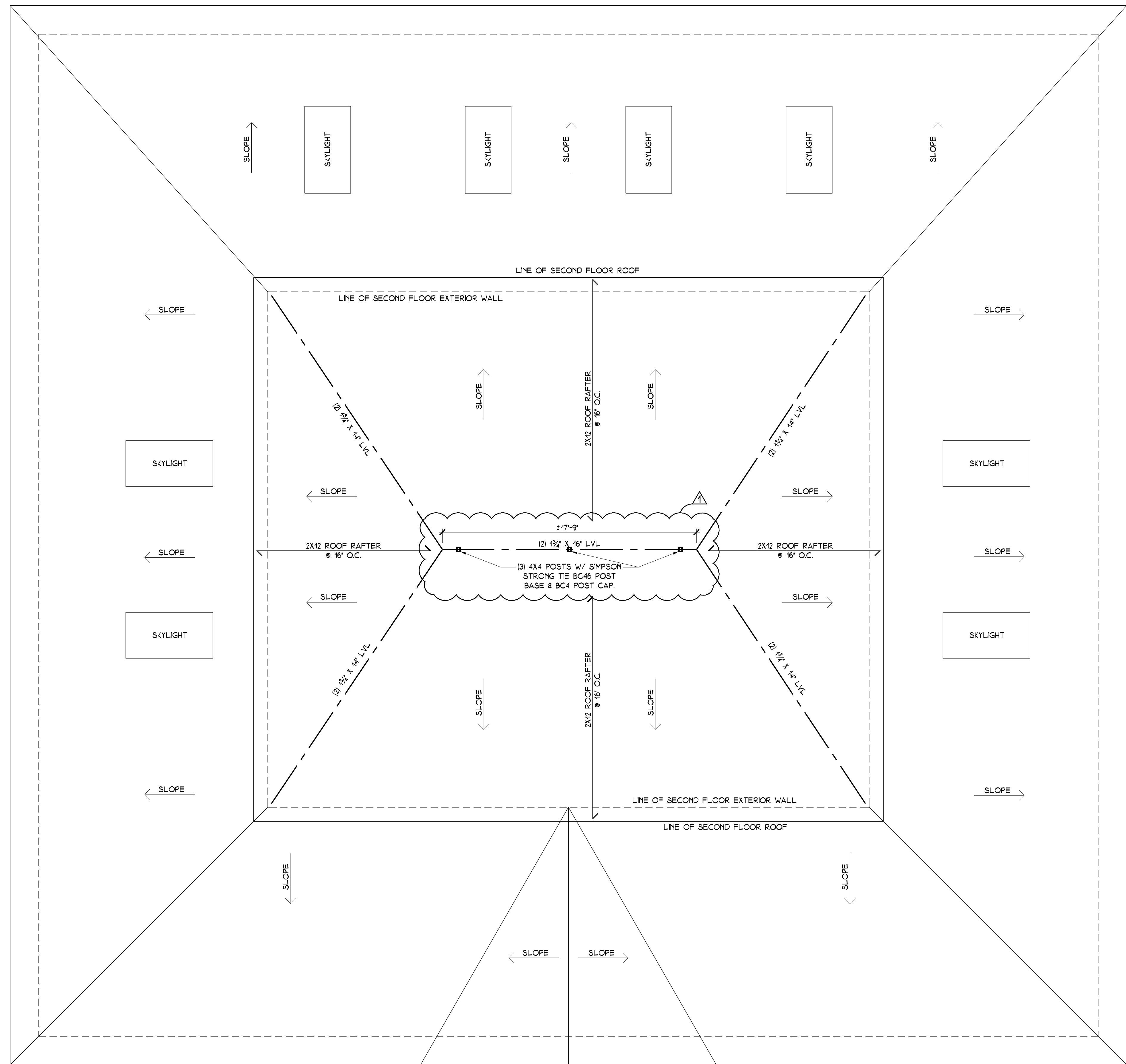
JBH

DWG. NO.:

$$A = 4$$

CAD FILE NO.:

44 OF 44



PROPOSED ROOF PLAN 1/4"=1'-0"

OWNER COMMENT	01/5/18	ARQ
OWNER COMMENT	2/28/18	ARQ
PB COMMENTS	3/23/18	ARQ
PB COMMENTS	4/10/18	ARQ
OWNER COMMENT	6/04/18	ARQ
COORDINATION	09/05/19	ARQ
COORDINATION	12/11/19	ARQ
COORDINATION	1/31/20	ARQ
COORDINATION	2/11/20	ARQ
AS-BUILT	3/31/20	ARQ
COORDINATION	6/3/20	ARQ
REV.	7/9/20	ARQ
COORDINATION	7/24/20	ARQ
P.B. SITE MEETING	8/19/2020	ARQ
P.B. COMMENTS	9/17/2020	ARQ
COORDINATION	10/9/20	ARQ

DRAWING TITLE:

PROPOSED FRONT &
RIGHT SIDE ELEVATION

PROJECT:

PEDRO RUSTICA
AMENDED SITE PLAN

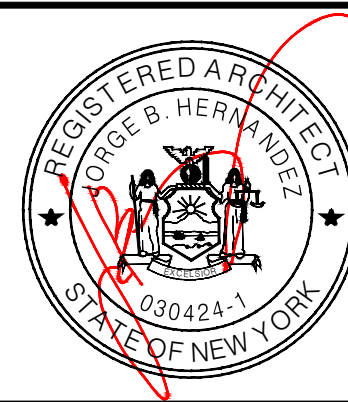
PROJECT ADDRESS:

1360 ALBANY POST RD.
CROTON ON HUDSON
N.Y. 10520

DOB EXAMINER SIGNATURE:

DOB BSCAN STICKER:

SEAL & SIGNATURE



DATE:

08/23/2019

PROJECT NO:

19091

DRAWING BY:

ARQ

CHECKED BY:

JBH

DWG. NO:

A-5

CAD FILE NO:

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PROPOSED FRONT ELEVATION 1/4"=1'-0"



PROPOSED RIGHT SIDE ELEVATION 1/4"=1'-0"



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LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 0973256
7 FIELDSTONE DRIVE
NEW FAIRFIELD, CONNECTICUT 06812-000

OWNER COMMENT	01/05/18	ARQ
OWNER COMMENT	2/28/18	ARQ
PB COMMENTS	3/23/18	ARQ
PB COMMENTS	4/10/18	ARQ
OWNER COMMENT	6/04/18	ARQ
COORDINATION	09/05/19	ARQ
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COORDINATION	6/3/20	ARQ
REV.	7/9/20	ARQ
COORDINATION	7/24/20	ARQ
P.B. SITE MEETING	8/19/2020	ARQ
P.B. COMMENTS	9/17/2020	ARQ
▲ COORDINATION	10/9/20	ARQ

DRAWING TITLE:

PROPOSED REAR &
LEFT SIDE ELEVATION

PROJECT:

PEDRO RUSTICA
AMENDED SITE PLAN

PROJECT ADDRESS:

1360 ALBANY POST RD.
CROTON ON HUDSON
N.Y. 10520

DOB EXAMINER SIGNATURE:



DOB BSCAN STICKER:



SEAL & SIGNATURE



DATE: _____

08/23/2019

PROJECT
10000

1909

DRAWING BY:

DRAWING BY:
ARQ

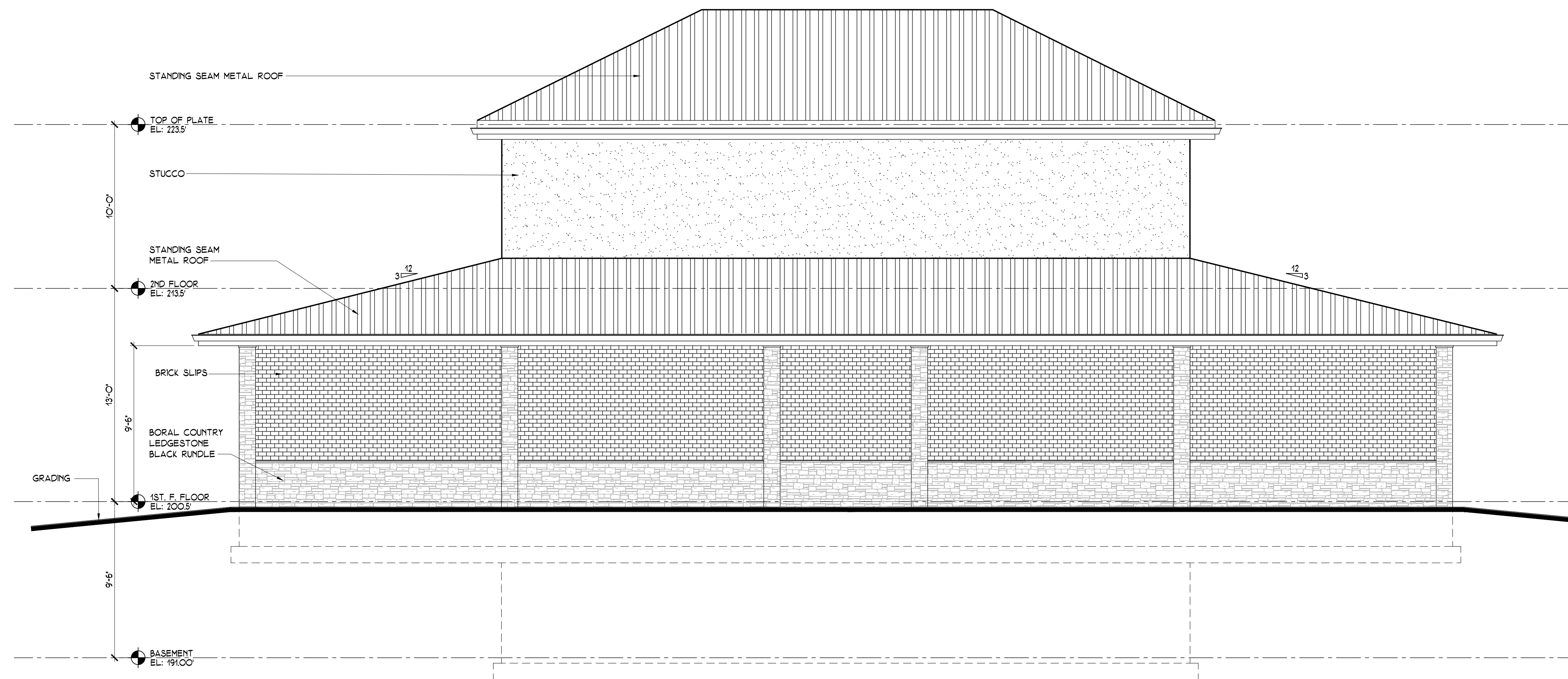
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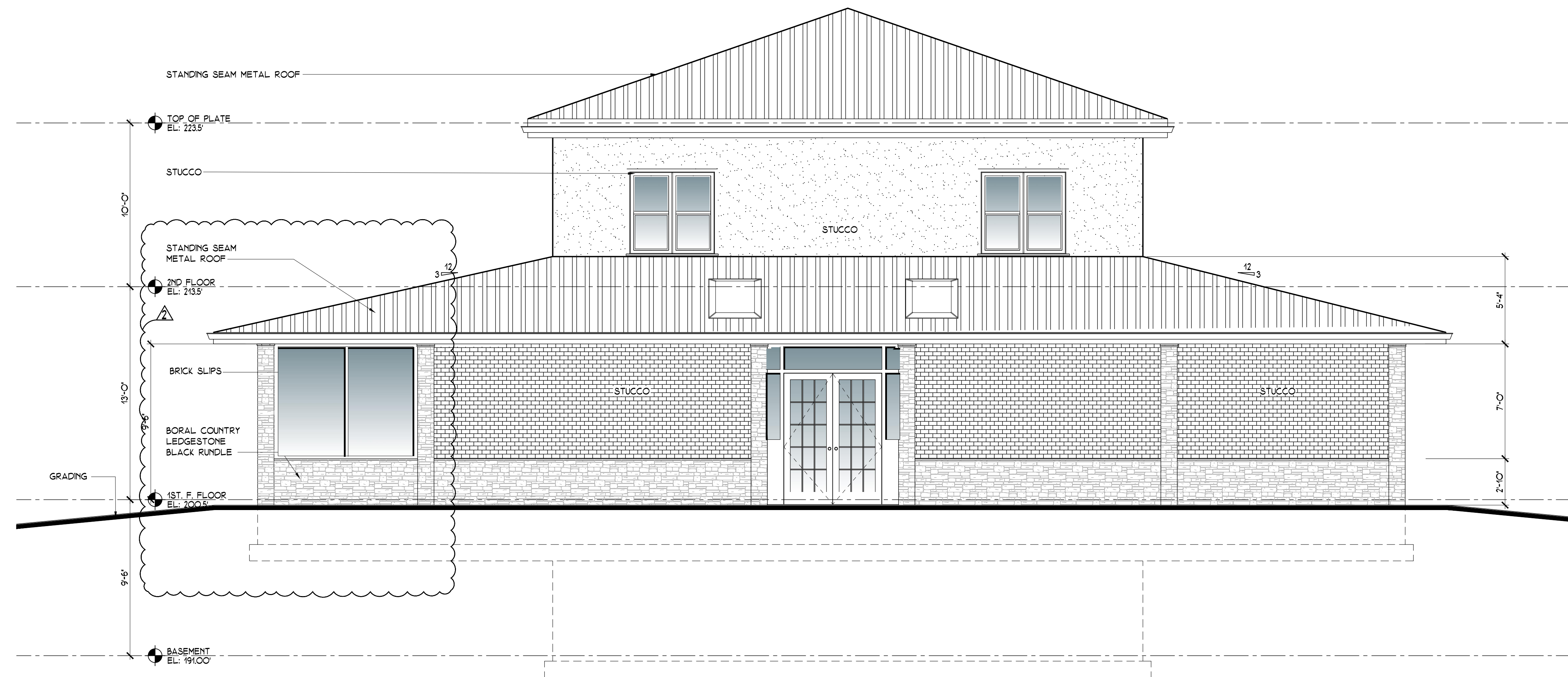
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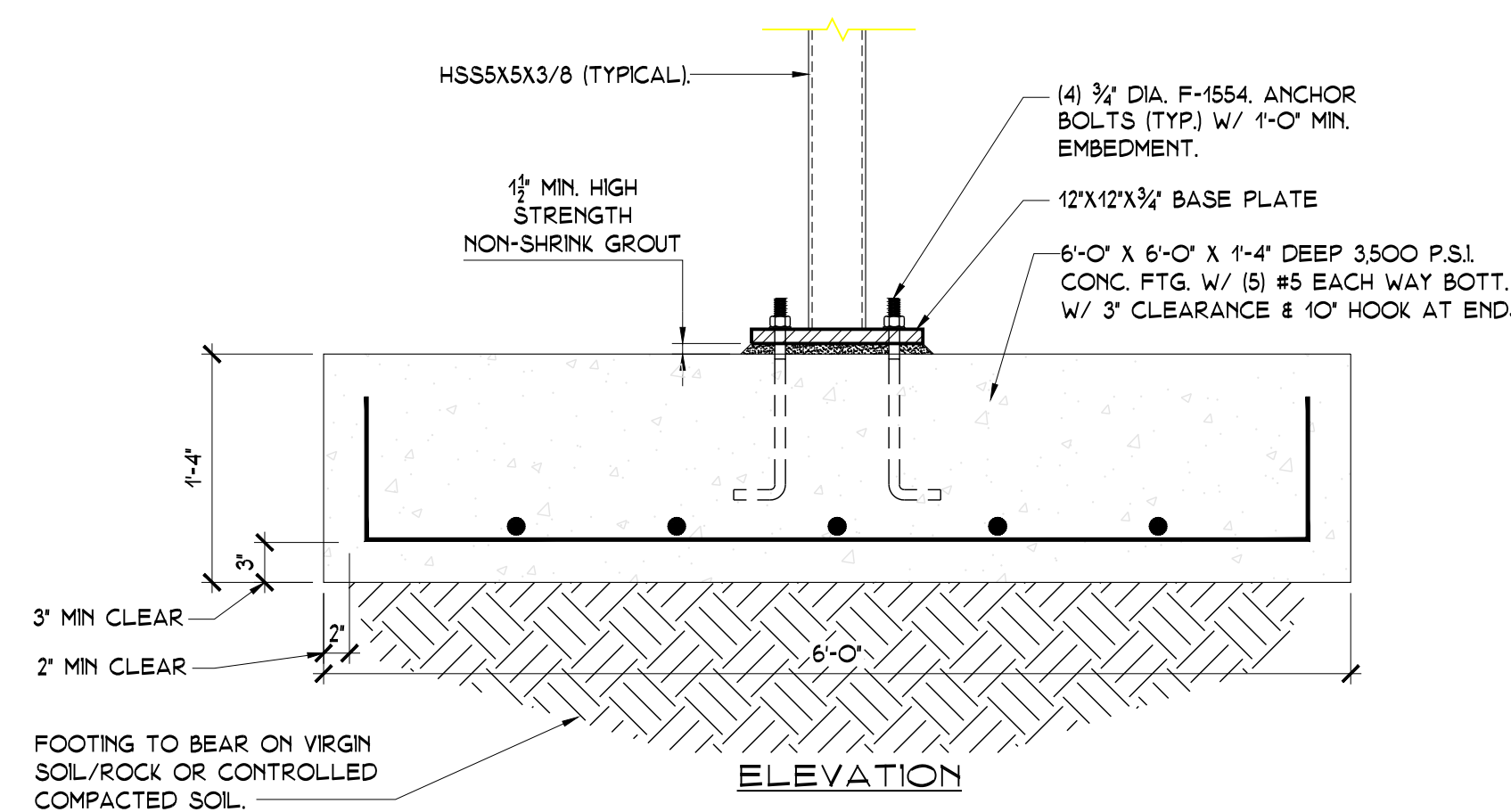
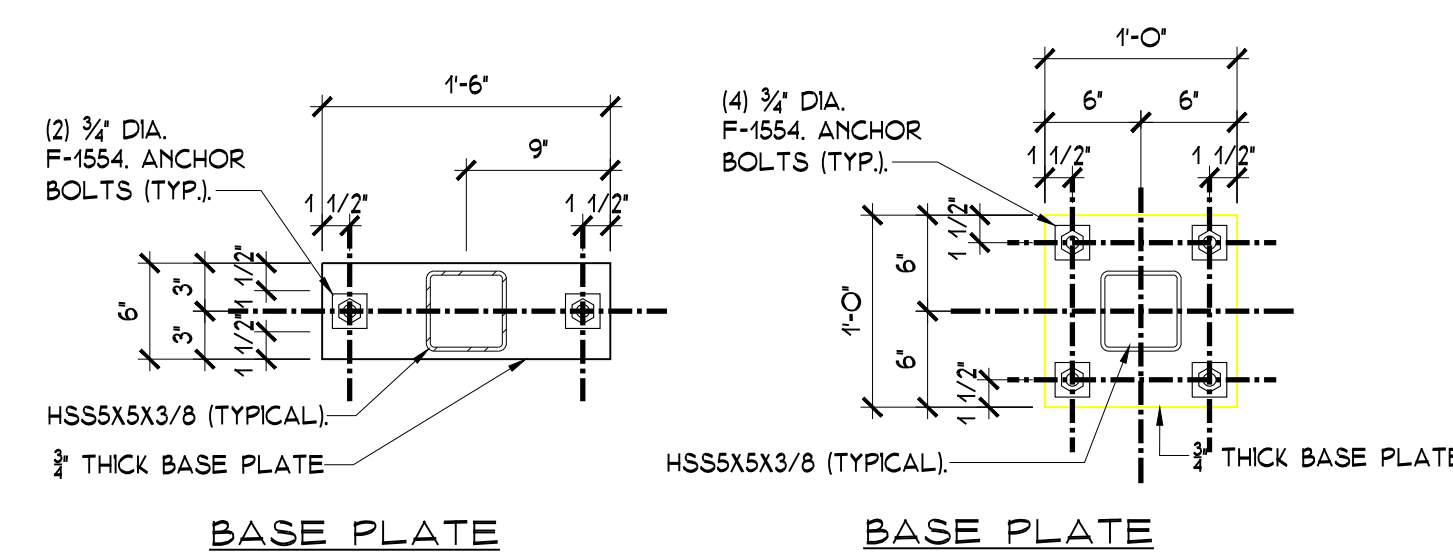
13 OF 15



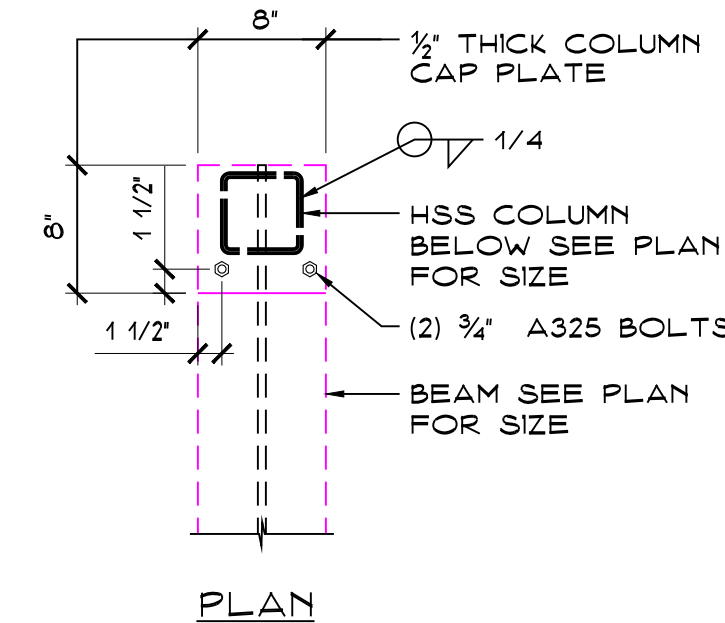
PROPOSED REAR ELEVATION 1/4"=1'-0"



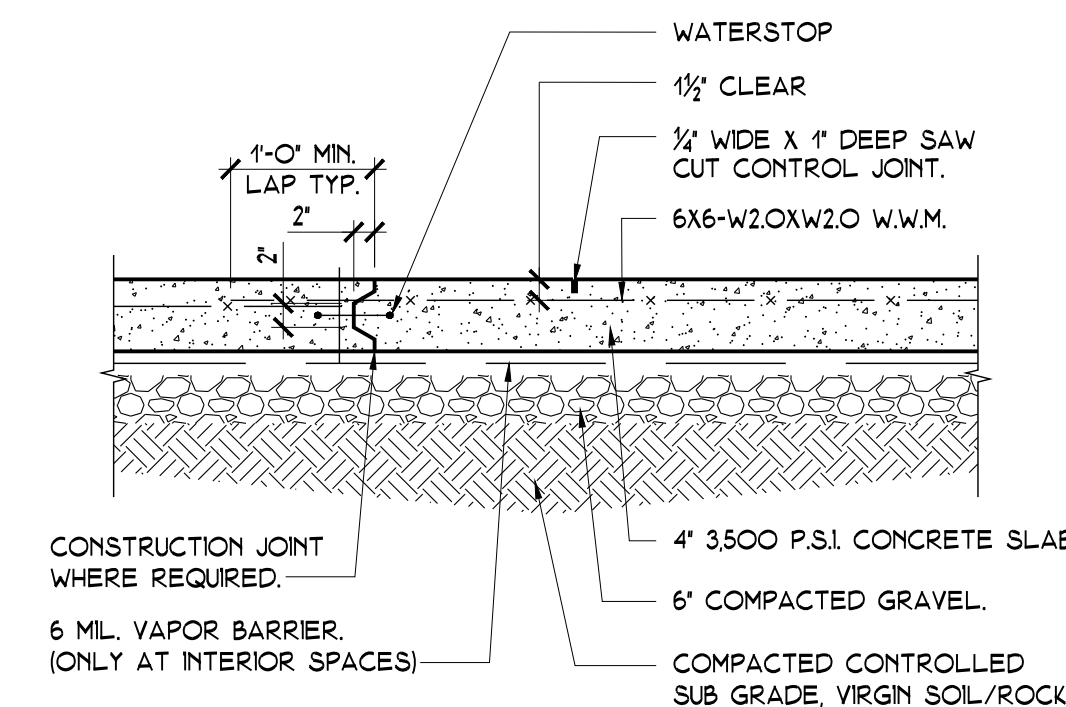
PROPOSED LEFT SIDE ELEVATION 1/4"=1'-0"



FOOTING @ CENTER COLUMN 1' = 1" = 0'

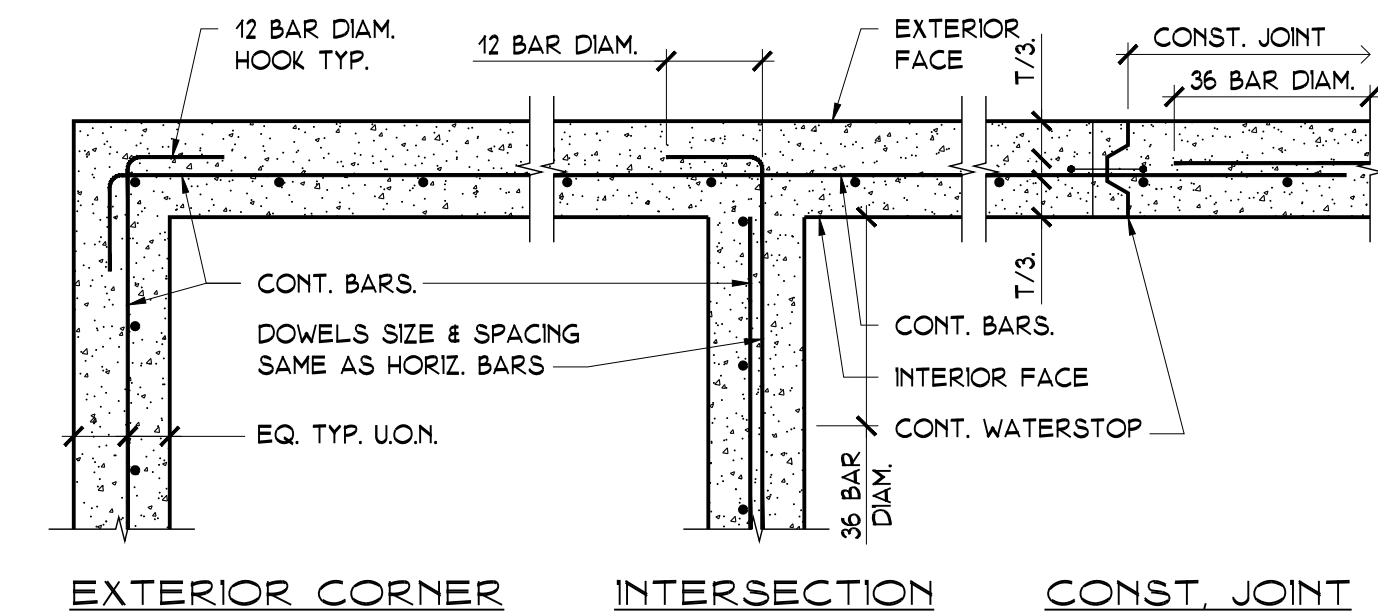


TYP. BEAM TO COLUMN CONNECTION DETAIL

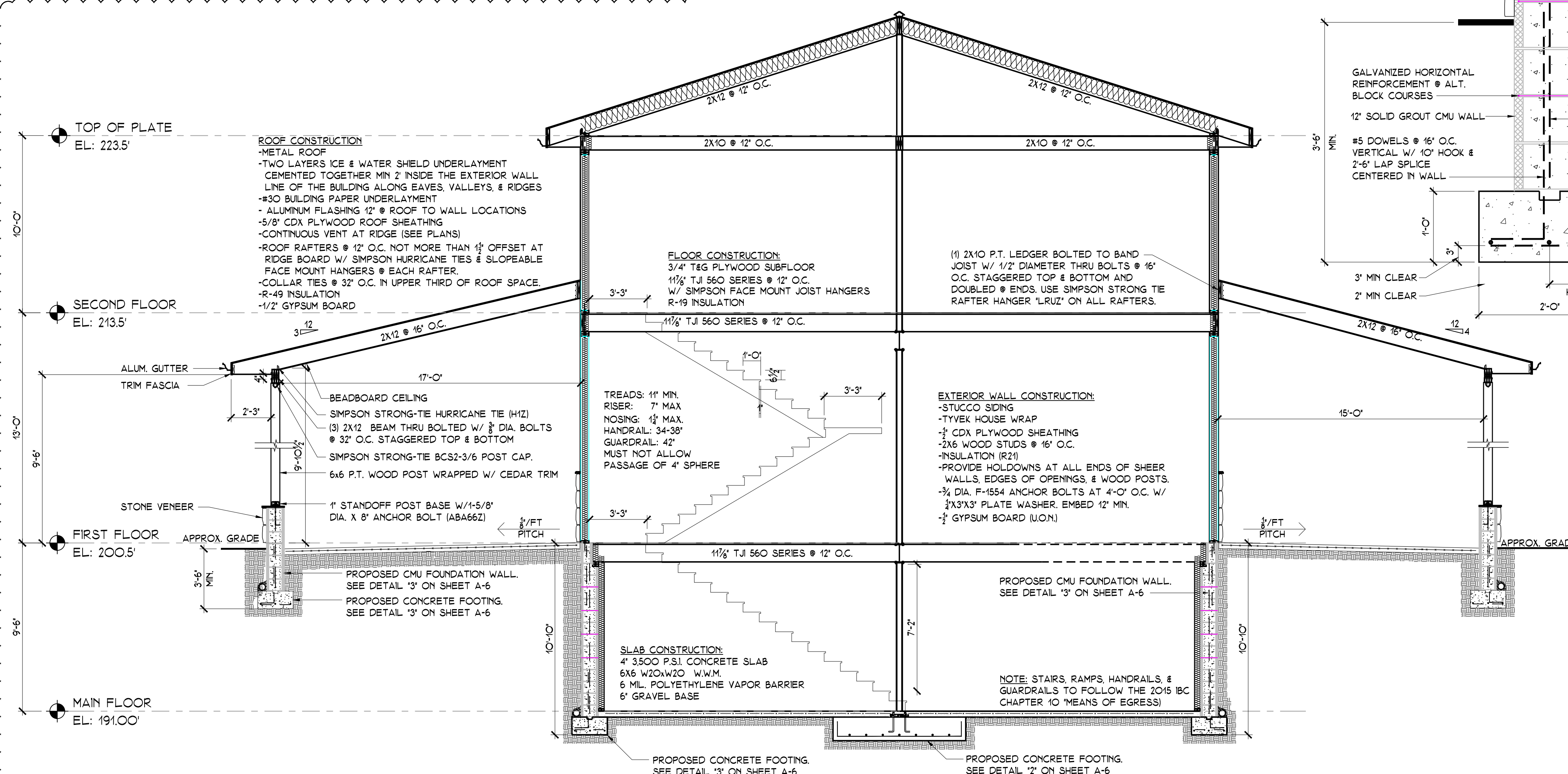
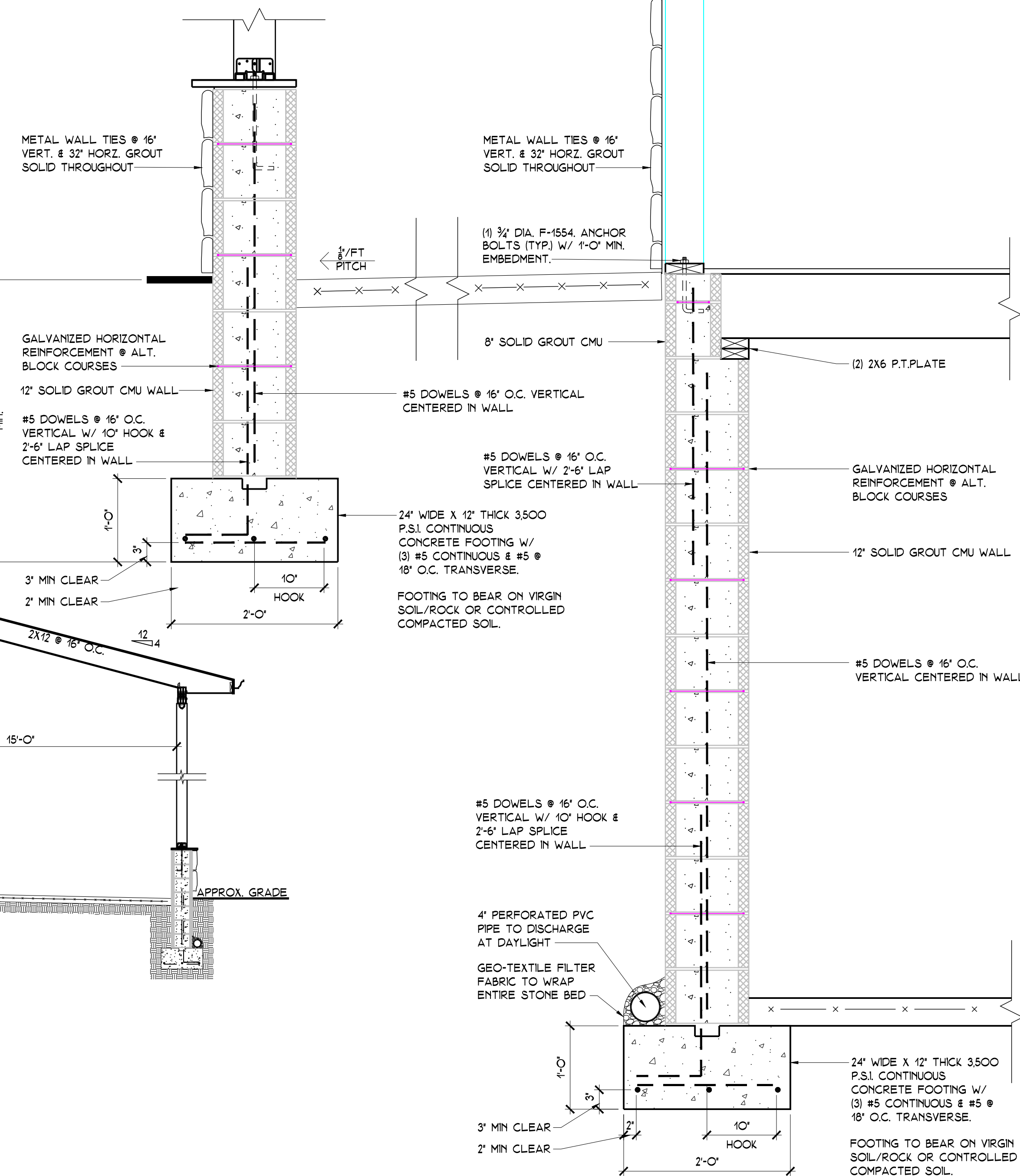


NOTES:

1. AT INTERIOR SPACES PROVIDE CONTROL OR CONSTRUCTION JOINTS @ 20'-0" O.C. MAX.
2. AT EXTERIOR EXPOSURE PROVIDE CONSTRUCTION OR SAWCUT CONTROL JOINTS AT 5'-0" O.C. MAX. AND EXPANSION JOINTS W/ COMPRESSIBLE FILLER AT 15'-0" O.C. MAX.
3. PROVIDE EPOXY COATED W.W.M. AT EXTERIOR AREA.
4. SEE OTHERS FOR ALL SUBSURFACE WORK INCLUDING VAPOR BARRIER, WATERPROOFING, DRAINAGE, ETC



NOTES:
1. PROVIDE (2) #5 @ ENDS OF WALLS, CORNERS, JAMBS AND AT T.&B. OF ALL DOOR OPENINGS. EXTEND 2'-6" BEYOND EDGE OF OPENING.



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 LICENSE NUMBER: 030424-1
 CERTIFICATE NUMBER: 0973256
 7 FIELDSTONE DRIVE
 NEW FAIRFIELD, CONNECTICUT 06812-000

[illegible]

DRAWING TITLE:

SECTIONS & DETAILS

PROJECT:
PEDRO RUSTICA
AMENDED SITE PLAN

PROJECT ADDRESS:
1360 ALBANY POST RD
CROTON ON HUDSON
N.Y. 10520

DOB EXAMINER SIGNATURE:

DOB BSCAN STICKER:

SEAL & SIGNATURE



DATE: _____

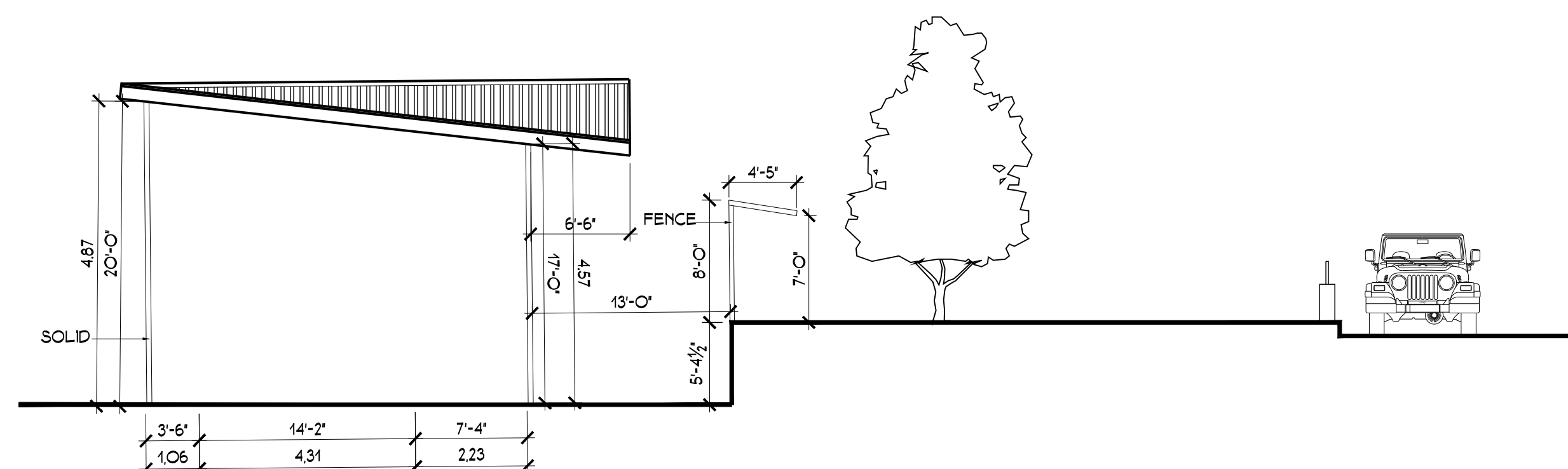
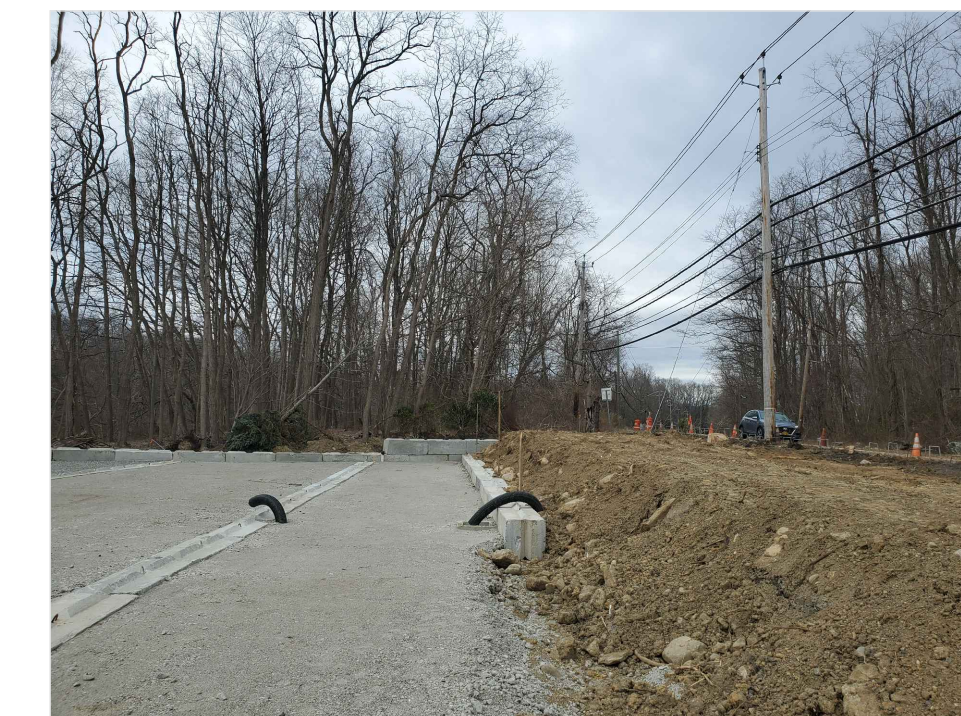
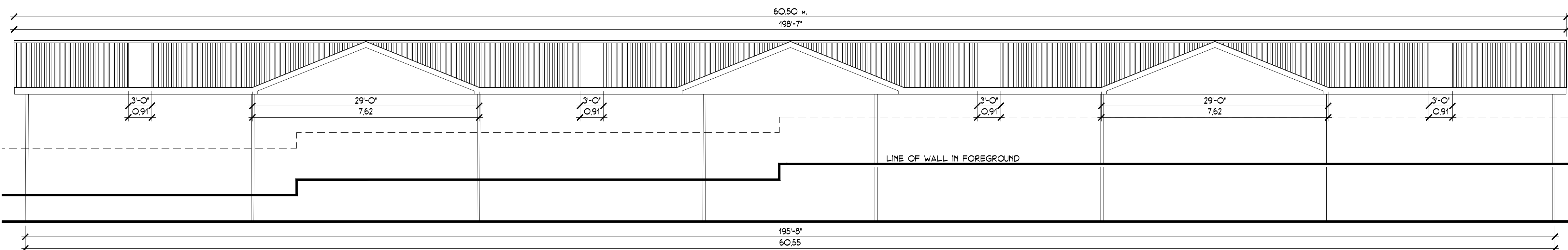
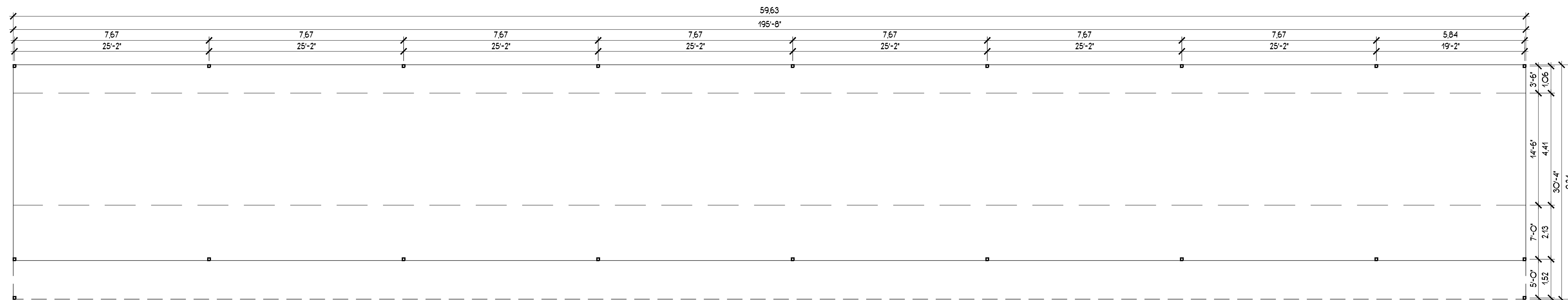
DATE: 08/23/2019
PROJECT NO.: 19091

DRAWING BY:

ARQ

DWG NO:

CAR FILE NO.



JORGE B. HERNANDEZ R.A. A.I.A.
 LICENSE NUMBER: 030424-1
 CERTIFICATE NUMBER: 0973256
 7 FIELDSTONE DRIVE
 NEW FAIRFIELD, CONNECTICUT 06812-0000

OWNER COMMENT	01/5/18	ARG
OWNER COMMENT	2/28/18	ARG
PB COMMENTS	3/23/18	ARG
PB COMMENTS	4/10/18	ARG
OWNER COMMENT	6/04/18	ARG
COORDINATION	09/05/19	ARG
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COORDINATION	1/31/20	ARG
COORDINATION	2/11/20	ARG
△ AS-BUILT	3/31/20	ARG
COORDINATION	6/3/20	ARG
REV.	7/9/20	ARG
COORDINATION	7/24/20	ARG
P.B. SITE MEETING	8/19/2020	ARG
P.B. COMMENTS	9/17/2020	ARG
△ COORDINATION	10/9/20	ARG

DRAWING TITLE:

PROPOSED METAL
RACK & RENDERING

PROJECT:
PEDRO RUSTICA
AMENDED SITE PLAN

PROJECT ADDRESS:
1360 ALBANY POST RD
CROTON ON HUDSON
N.Y. 10520

DOB EXAMINER SIGNATURE:



DOB BSCAN STICKER:



SEAL & SIGNATURE



DATE: _____	DWG. NO.:
08/23/2019	
PROJECT NO: _____	A=8
19091	
DRAWING BY: _____	CAD FILE NO.:
ARQ	
CHECKED BY: _____	
JBH	15 OF 15