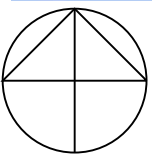


ACCESSORY DWELLING UNIT TO: RUGGAN RESIDENCE

49 VAN WYCK STREET
CROTON ON HUDSON, NY 10520



LOCATION MAP
SCALE: N.T.S.

THE INFORMATION ABOVE WAS TAKEN FROM GIS WESTCHESTER MAPS 2025

PROJECT INFORMATION

CLIENT:.....RICK DUGGAN
49 VAN WYCK STREET
CROTON-ON-HUDSON, NY

GOVERNING CODE:.....2020 RESIDENTIAL CODE OF NEW YORK STATE
2020 ENERGY CONSERVATION CODE OF NYS
VILLAGE OF CROTON ON HUDSON LOCAL CODE
NYSTRETCH ENERGY CODE 2020

SCOPE OF WORK:.....INTERIOR ALTERATIONS
TAX ID:.....78.8 - 5 - 28

USE & OCCUPANCY CLASSIFICATION

USE:.....FAMILY RESIDENTIAL

BUILDING CONSTRUCTION TYPE

BUILDING TYPE.....TYPE V B
FIRE SPRINKLE SYSTEM.....NO

Village of Croton-on-Hudson
Building Department
1 VAN WYCK STREET
CROTON ON HUDSON, NY 10520

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

LOCATION: Croton - on - Hudson, NY													Zip Code: 10520
Ground Snow Load	Wind Design				Seismic Design Category (RCNY Only)	Subject to Damage From			Climate Zone	Ice Barrier Underlayment Req'd.	Flood Hazards	Air Freezing Index	Mean Annual Temp.
	Speed (mph)	Topo Effects	Special Wind Region	Wind-borne Debris Zone		Weathering	Frost Line Depth	Termite					
30	* Special Wind Region	No	Yes	No	C	Severe	42"	Moderate to Heavy	4A	Yes	No	2000	51.6

* 115 MPH to 120 MPH. The special wind region should serve as a warning, to design professionals in evaluating wind loading conditions. Wind speeds higher than the derived values taken from Section 1609 of the IBC and Figure R301.2(4)A of the IRC are likely to occur and should be considered in the design.

General notes:

- The Architect is not contracted for supervision and so is not responsible for methods of construction or materials used.
- Contractor shall verify all existing conditions in the field and shall notify the Architect of any discrepancies before starting work.
- Contractor shall obtain all permits, certificates, inspections, etc.. required by law or code. Owner shall pay for same.
- All work is to be done in accordance with all applicable codes. In the absence of other standards, the 2020 Residential Code of New York State, Uniform Fire Prevention and 2020 Energy Code of New York State shall govern.
- Drawings have been completed to conform to the 2020 Energy Code of New York State, Chapter 3, Table C301.1 using Climate Zone 4A (Westchester County) Criteria.
- Contractor shall maintain Workman's Compensation and liability insurance in adequate amounts to render the owner harmless in case of an accident to person or property involved in this project.
- Contractor shall perform all work required for the total completion of the project, whether or not indicated on the drawings. The intention of the drawings is to produce a complete and proper functioning project.
- Owner confirms adequacy of all services (gas, electrical etc.). If additional is required, notify owner
- Contractor shall remove all existing material and construction interfering with the proposed new work whether or not shown on the drawings.
- In some cases, the existing structure has been assumed in so far as the directions of framing, size etc. New structure has been designed based on this assumption. During demolition or any other phase of work, if there is any discrepancies in the assumed condition, which is actually in place, notify the Architect at once.
- All sections and details shall be considered typical and apply for the same, and similar conditions, unless otherwise specifically noted.
- Contractor shall furnish and be solely responsible for all temporary bracing and shoring required to maintain stability of the structure during construction.
- Any required shop drawings if any shall be submitted to Architect for approval prior to fabrication.
- All surfaces, new existing areas disturbed by construction to be prepared for proper finishing.
- Substitutions of material and/or methods of construction shall be approved by Architect and Owner prior to signing of construction contract.
- All work shall be guaranteed for one of year.
- Construction not to commence pending approval of plans.
- General notes to be strictly adhered to unless otherwise noted on drawings.

Wood Framing:

- All lumber to have min. stress grade of 850 PSI. Lumber exposed to exterior shall be pressure treated.
- Min. Bearing of all framing members to be 3 1/2".
- All framing to be erected plumb, level and true.
- Use double jack studs at all openings greater than 5'-0" and at all corners.
- All headers to be 2-2X8's unless otherwise noted.
- Connections:
 - Wall Assembly
 - Top plate to top plate connection 2-16d commons per foot
 - Top plate intersection connection 4 -16d commons each side joint
 - Stud to stud connection 2 - 16d commons 24" o.c.
 - Header to header connection 16d commons 16" o.c. - edges
 - Choose top or bottom plate to stud connection 2-16d commons per 2 x 4 stud
 - Wall Assembly to Floor Assembly
 - Blocking to Floor Joist Connection 2-8d Commons each end
 - Band Joist to Floor Joist Connection 3-16d Commons per Joist
 - Floor Assembly to Wall Assembly
 - Floor joist to Top Plate Connection 4-8d Commons per Joist
 - Blocking to Sill or Top Plate Connection 2-61d Commons per foot

Window and Exterior Doors:

- Windows and exterior doors to be installed as per details and specs.
- All window units below 18" AFF. An Anti-shatter film shall be applied

Insulation:

- The code required minimum insulation requirements shall be met for glazing and insulation.
- A U-factor of 0.27 shall be provide for all fenestrations in conditioned space, framed walls shall have an R-Value of 21 and floor beneath conditioned space shall have an R-Value of 30

Plumbing:

- All plumbing work shall be performed by a licensed plumber.
- Provide all labor and material for complete execution of all plumbing work indicated on plans.
- Plumbing contractor shall verify all local plumbing code requirements prior to start of work.

Electrical:

- All electrical work shall be performed by a licensed electrician.
- All work shall conform to all codes and requirements of authorities having jurisdiction.
- Contractor is responsible for procurement of all inspection certificates.
- Electrical plans reflect minimum electrical and lighting requirements. Client shall field locate all fixtures and electrical requirements as desired.
- All smoke, heat and carbon monoxide detectors shall be hardwired and interconnected.
- Smoke Detecting alarms are to be installed in per section R314 of the 2020 Residential Code of New York State. N.F.P.A. # 72 and all other applicable codes and requirements having jurisdiction.
- Carbon Monoxide Detectors are to be installed as required by 2020 Residential Code of New York State Section R315 and local codes and ordinances. Carbon Monoxide Alarms shall be provided in the following locations:

HVAC System:

- Contractor shall coordinate with Architect to provide system options and prices to present to owner for final approval.
- All Heating and Air Conditioning accessories and appurtenances shall be U.L. listed and installed in accordance with same.

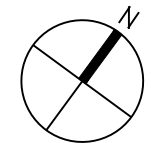
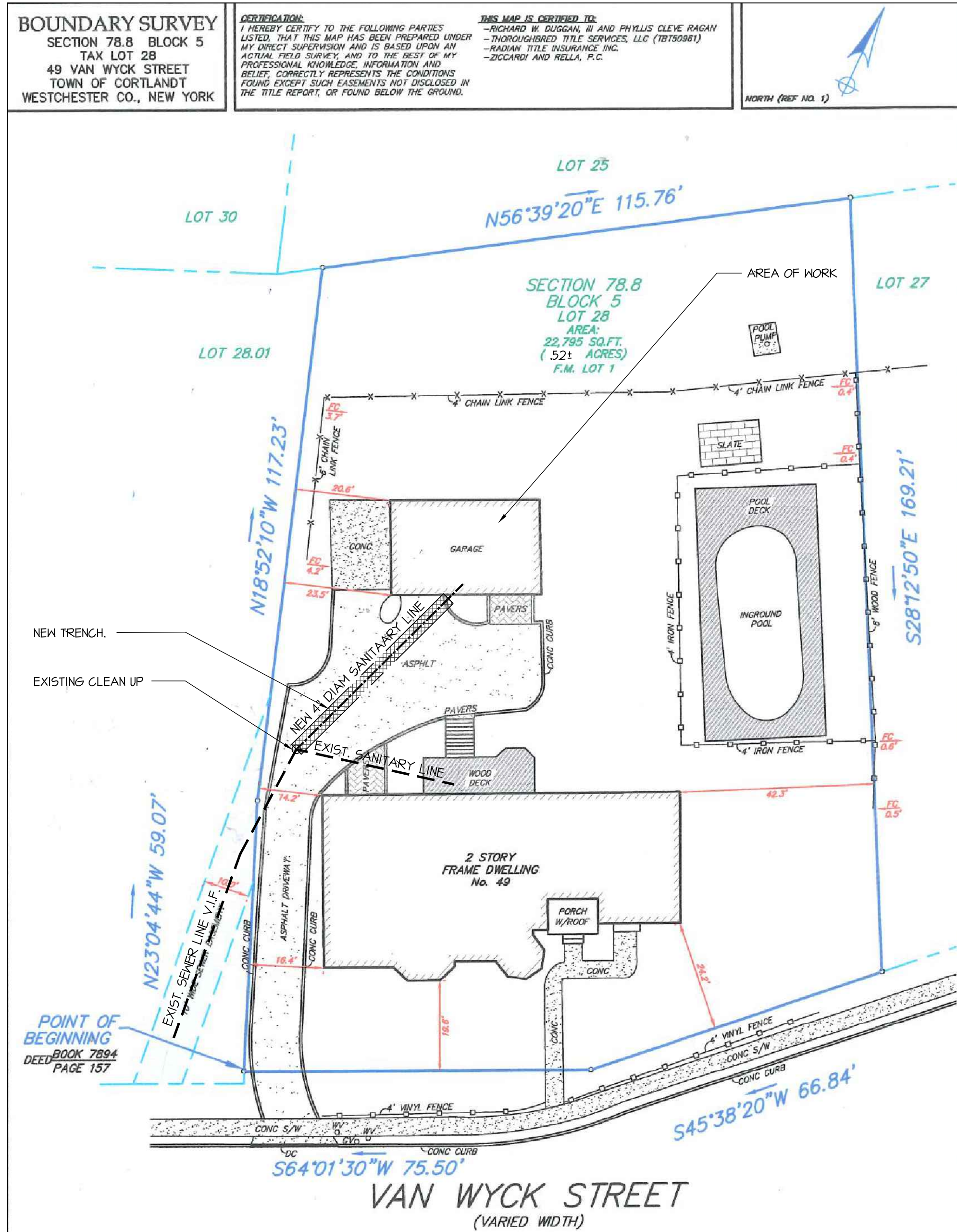
Interior Finishes:

- New and renovated areas to receive 1/2" Gyp. Board throughout. Unless noted otherwise. Use 1/2" green board in bathrooms and 1/2" cement board in any walls designated to receive tile.
- Gyp. board to receive min. two coats taping compound, sanded smooth to receive paint or wall covering.
- Walls to receive one coat primer and two coats finish paint min. Ensure proper coverage.
- All trim shall match existing.
- Interior doors to be 1 3/8" thick, style to match existing. If existing can not be matched, contractor to supply sample of substitution, for client approval, prior to signing of contract.
- Door hardware to be specified by owner. Provide allowance for hardware to match existing.
- Bathroom accessories (towel bars, mirrors etc.) to be supplied by owner and installed by contractor.
- Closets to be per owner direction.
- Finish flooring to match existing. Remove carpet install owner provide LVT
- Ceramic tile floors to be installed over 1/2" cement board underlayment glued and screwed to plywood subfloor.
- Approx. full sheet Sof drywall to be removed from garage ceiling to allow electrical, plumbing and hvac contractor to perform work. all sheet to be reinstalled.
- One layer of Type "X" 5/8" drywall to be installed over existing garage ceiling and fire taped.

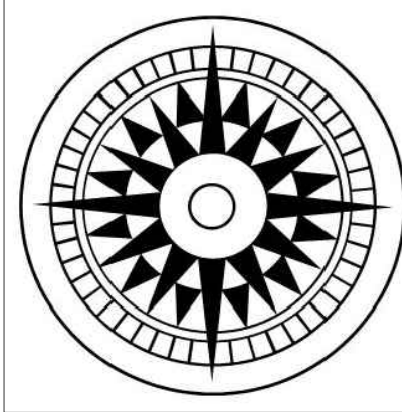
Energy Code Certification Statement:

- To the best of my knowledge and belief, these drawings and specifications are prepared in conformance with the 2020 Energy Conservation Code of New York State requirements for Climate Zone 4A (Westchester County) Criteria and the NYSTRETCH energy code 2020
- All insulation will be confirmed to be code compliant.

Richard Duggan, R.A.



SITE PLAN
SCALE: 1"= -20'-0"



RIVERSTONE
DESIGN

49
VAN WYCK STREET
CROTON-ON-HUDSON
NEW YORK
10520

No.	Date	Description
05	04-05-25	As per BD Comments
03	04-04-25	As per BD Comments
02	08-29-25	As per Owner Comments
01	07-29-25	As per BD Comments

Revisions:

Date	Description
06-13-2025	FOR BD. SUBMISSION
	Issued For

Submissions:

Project:
ACCESSORY DWELLING UNIT
DUGGAN RESIDENCE
49 VAN WYCK STREET
CROTON ON HUDSON, NY.

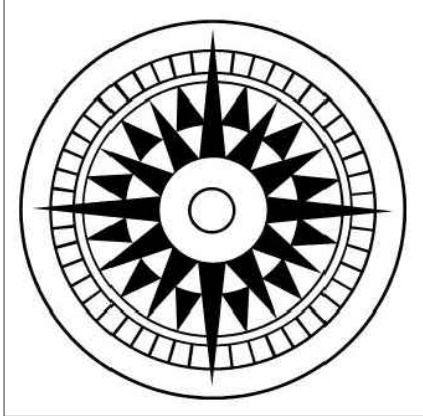
Title:
TITTLE SHEET, GENERAL NOTES
AND SITE PLAN

Date: 06-12-2025

Scale: As Noted

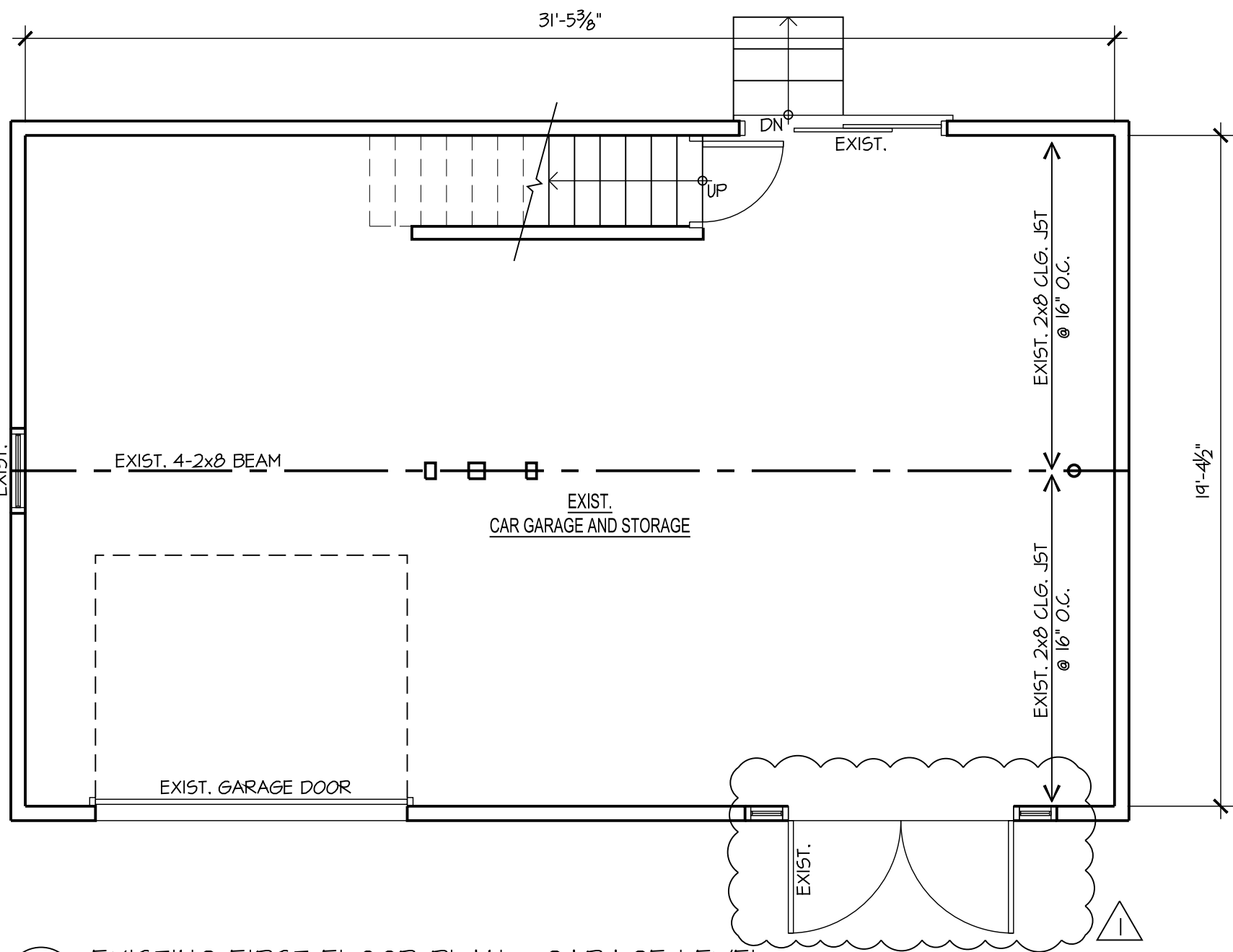
Drawn by: RG - DA

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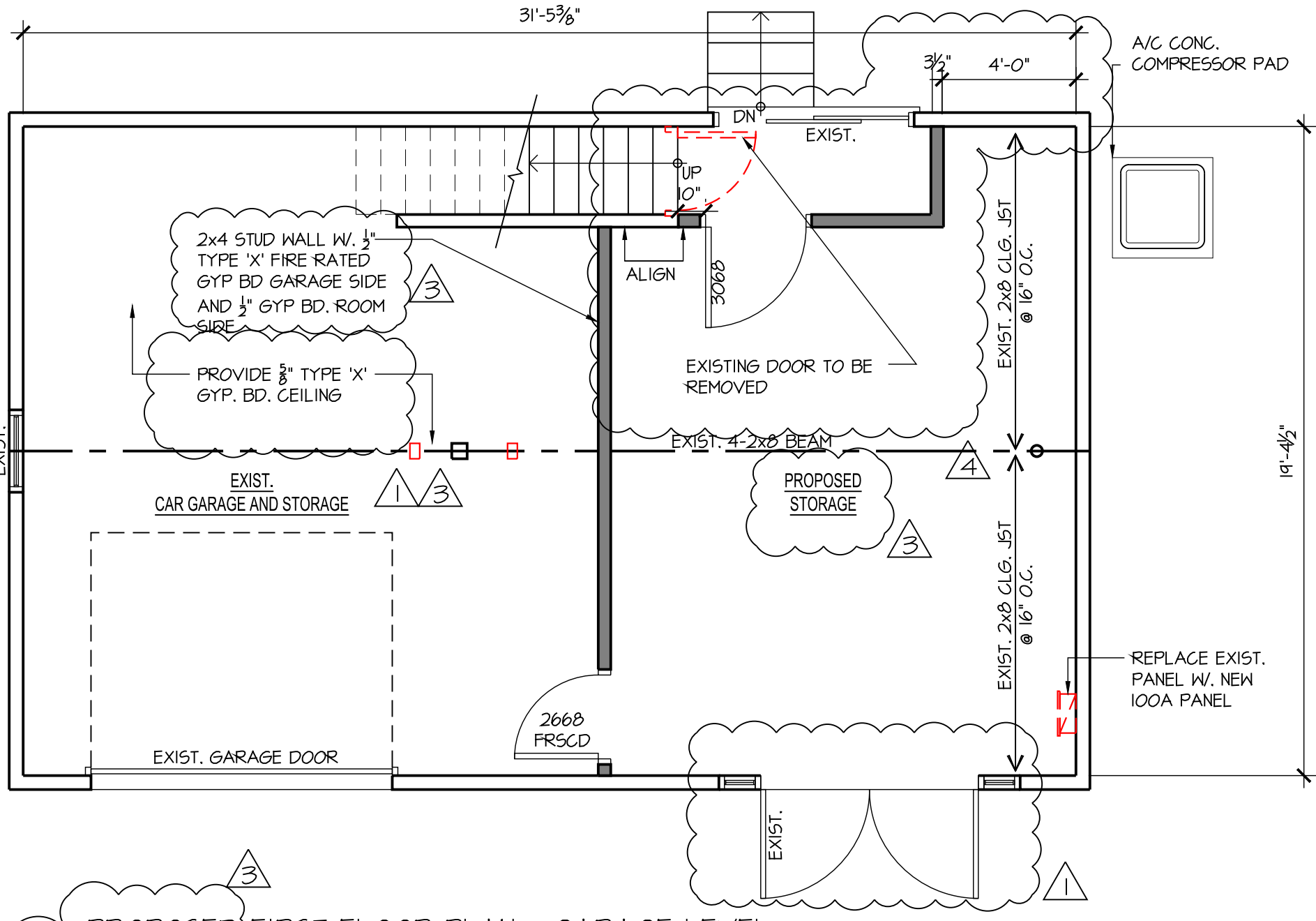


RIVERSTONE
DESIGN
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VAN WYCK STREET
CROTON-ON-HUDSON
NEW YORK
10520

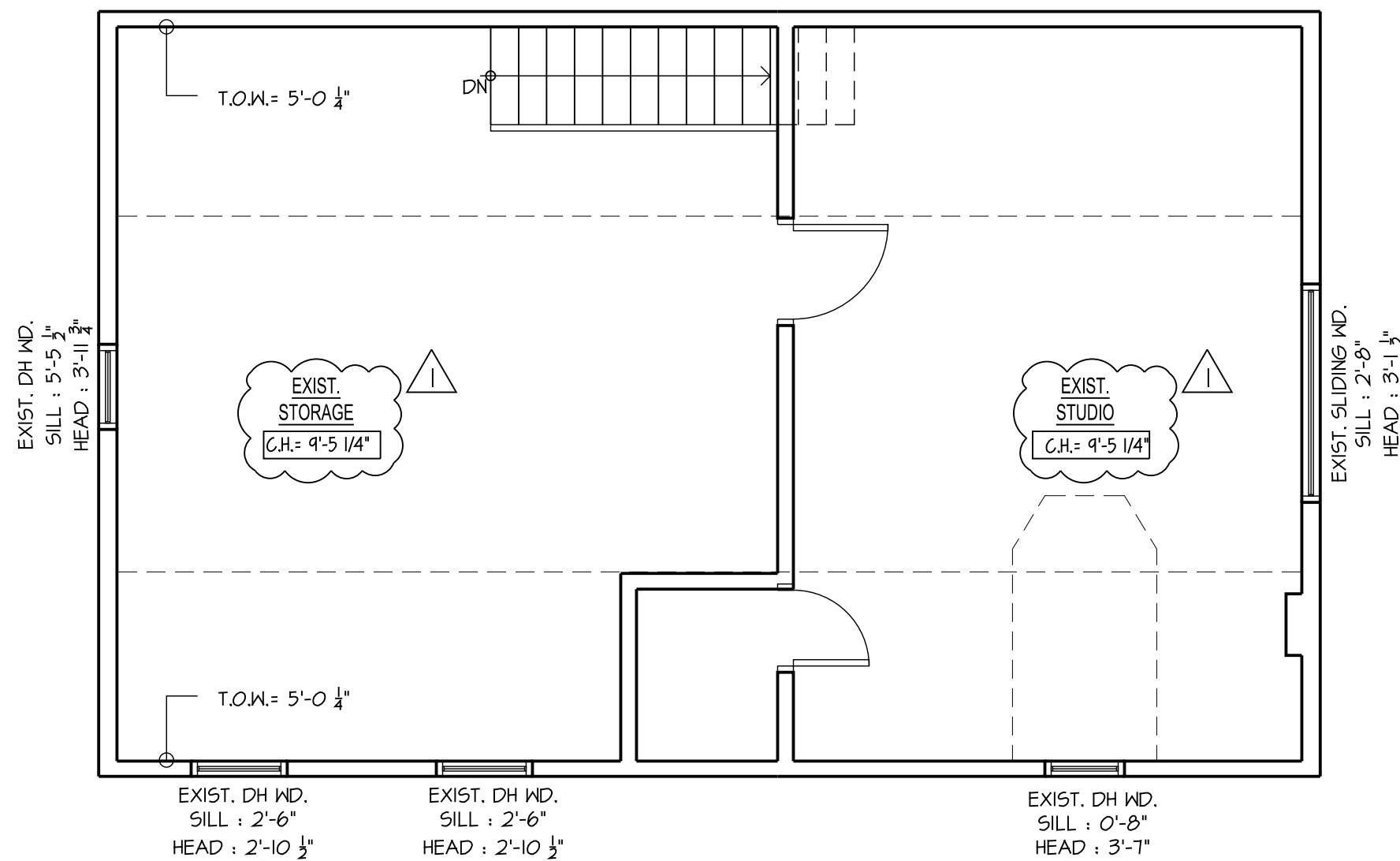
DEMOLITION LEGEND:	
SYMBOL	DESCRIPTION
	EXISTING WALL TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED
	EXIST. DOOR TO BE REMOVED INDICATES EXST. DOOR SIZE
	INDICATES THE EXISTING DIRECTION OF FRAMING
	INDICATES TEMPORARY SUPPORT WALL



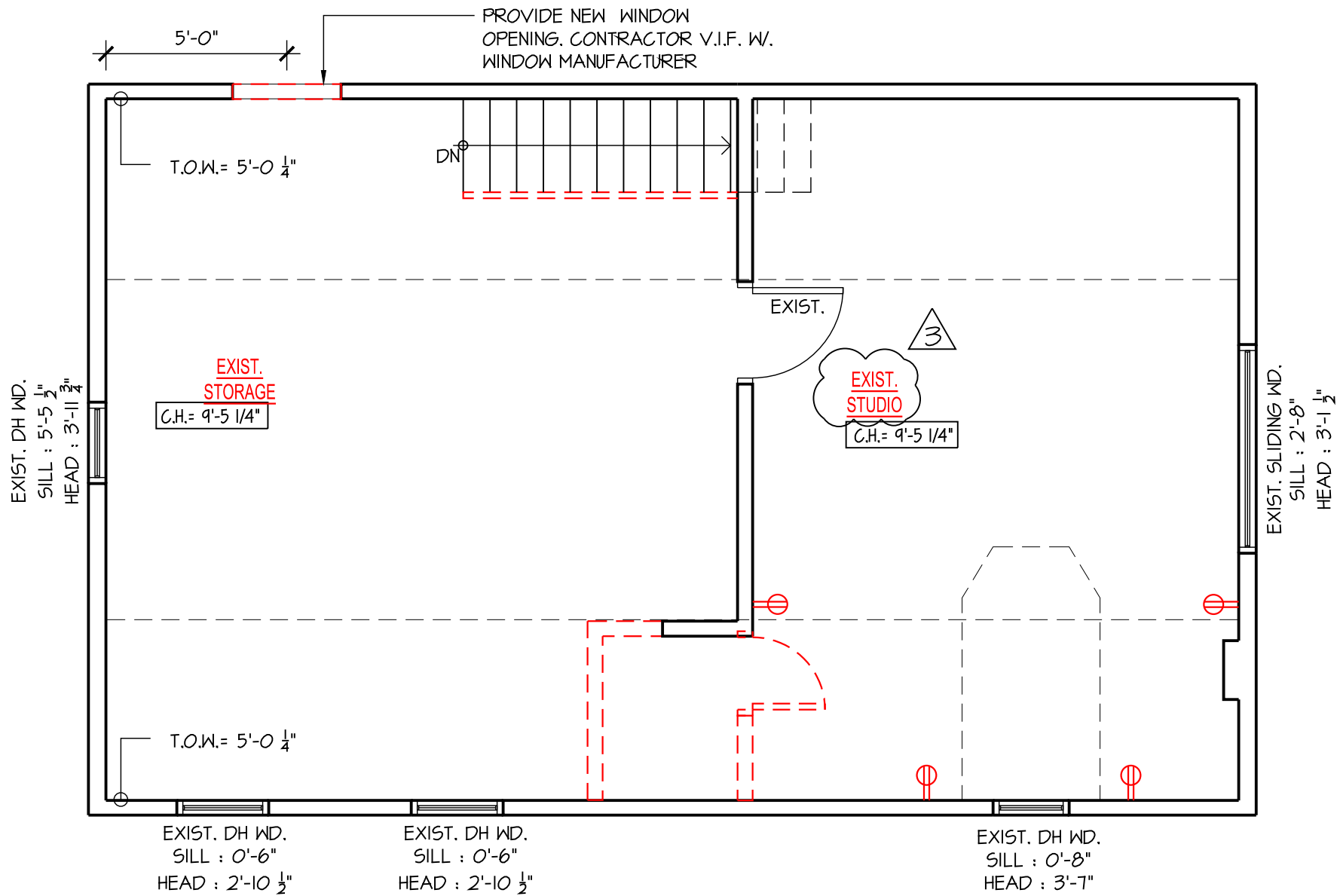
1 EXISTING FIRST FLOOR PLAN - GARAGE LEVEL
SCALE: 1/4"=1'-0"



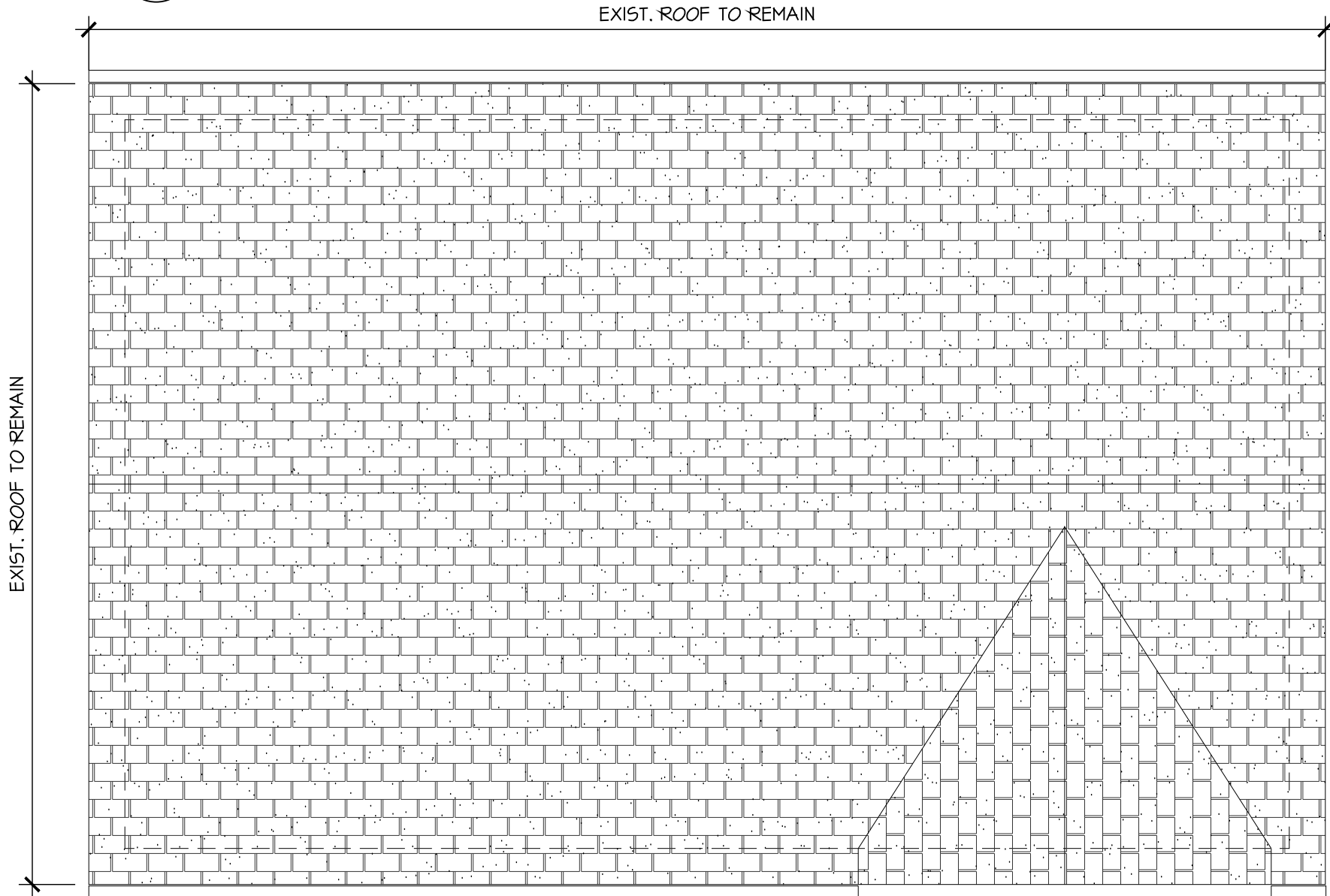
1 PROPOSED FIRST FLOOR PLAN - GARAGE LEVEL
SCALE: 1/4"=1'-0"



2 EXISTING SECOND FLOOR PLAN - STORAGE
SCALE: 1/4"=1'-0"



2 DEMOLITION SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



3 EXISTING ROOF PLAN
SCALE: 1/4"=1'-0"

GENERAL DEMOLITION NOTES:

- DEMOLISH AS REQUIRED TO ACCOMPLISH WORK INDICATED IN THESE DOCUMENTS. ALL REQUIRED DEMOLITION WORK SHALL BE INCLUDED IN THE BASE BID PACKAGE SUBMITTED BY THE CONTRACTOR.
- DO NOT ALLOW MATERIALS AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE ON THE JOB SITE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER TO A LEGAL DISPOSAL FACILITY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY DUMPSTERS AND CARTING FEES. NO ON SITE SALE OR BURNING OF REMOVED ITEMS IS PERMITTED.
- THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE ENTIRE SET OF CONSTRUCTION DRAWINGS. DO NOT REMOVE ANY ITEMS WITHOUT VERIFYING AND COORDINATING WITH ALL GENERAL TRADES AS TO HOW THEY RELATE TO THE OVERALL PROJECT.
- THE CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE PUBLIC AND/OR WORKMEN ON THE SITE TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES AND REGULATIONS PERTAINING TO SAFETY AND THE PREVENTION OF ACCIDENTS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING WEATHER TIGHTNESS OF FACILITY DURING CONSTRUCTION.
- CONTRACTOR SHALL PATCH AND/OR LEVEL EXISTING SURFACES AS REQUIRED TO RECEIVE NEW FINISHES.

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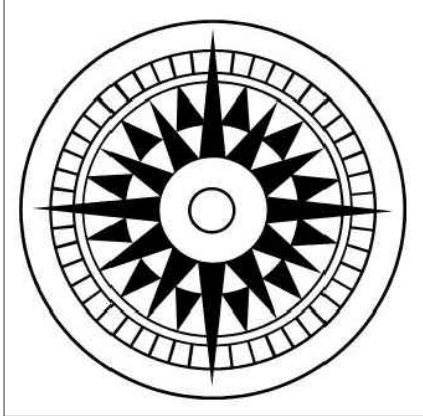
Revisions:

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06-13-2025	Issued For

Submissions:

Project:
ACCESSORY DWELLING UNIT
DUGGAN RESIDENCE
49 VAN WYCK STREET
CROTON ON HUDSON, NY.

Title:
EXISTING, DEMOLITIONS FLOOR
PLANS
Date: 06-12-2025
Scale: As Noted
Drawn by: RG - DA



RIVERSTONE
DESIGN

49
VAN WYCK STREET
CROTON-ON-HUDSON
NEW YORK
10520

EXISTING LEGEND:	
SYMBOL	DESCRIPTION
	EXISTING WALL TO REMAIN
	EXIST. DOOR INDICATES EXST. DOOR
	WINDOW INDICATES EXISTING WINDOW
	INDICATES THE EXISTING DIRECTION OF FRAMING

ELECTRICAL LEGEND:	
SYMBOL	DESCRIPTION
	SINGLE POLE LIGHT SWITCH
	THREE WAY SWITCH
	DUPLEX OUTLET
	DUPLEX OUTLET W/ GROUND FAULT INTERRUPTOR
	CEILING MOUNTED LIGHT FIXTURE AS SELECTED BY OWNER
	RECESSED LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	EXHAUST FAN/ LIGHT COMBO VENTED TO OUTSIDE AIR
	CEILING FAN W. LED LIGHT (NEW)
	NEW HARDWIRED SMOKE DETECTOR INTERCONNECTED TO OTHERS IN HOUSE
	NEW HARDWIRED AND INTERCONNECTED SMOKE DETECTOR AND CARBON MONOXIDE COMBO

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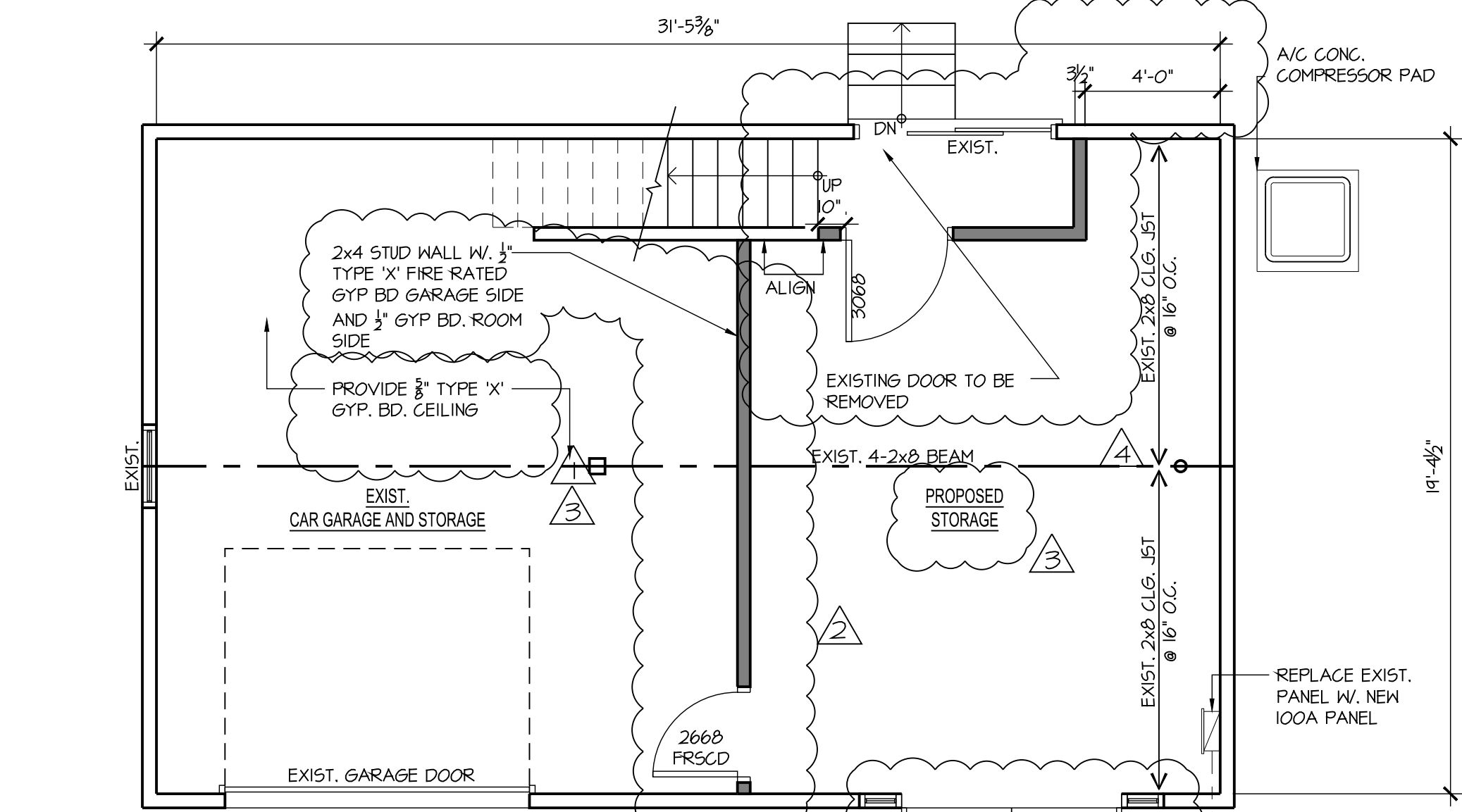
Project:
ACCESSORY DWELLING UNIT
BUGGAN-RESIDENCE
49 VAN WYCK STREET
CROTON ON HUDSON, NY.

Title:
PROPOSED FLOOR PLANS AND
DETAILS

Date: 06-12-2025

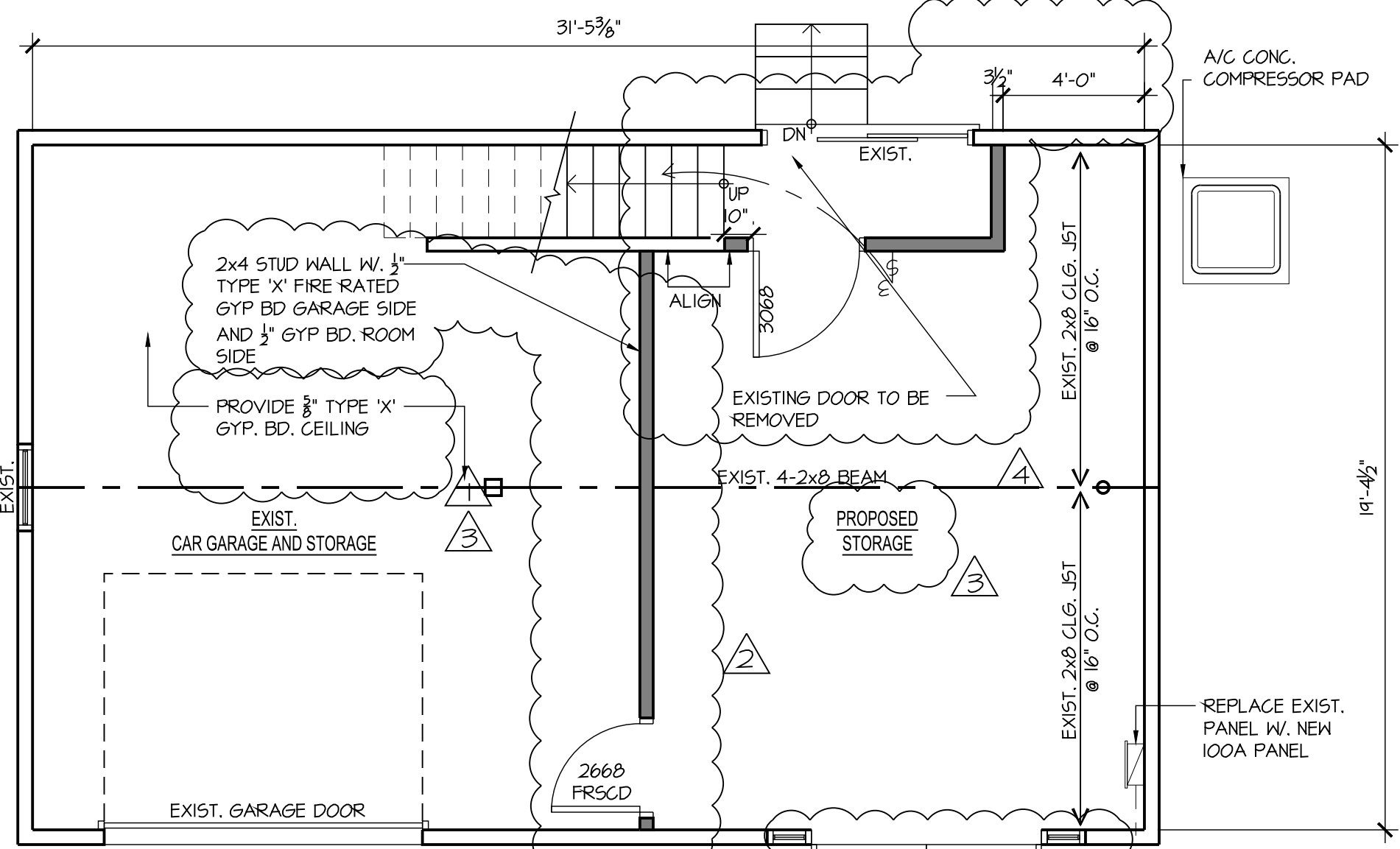
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Drawn by: RG - DA



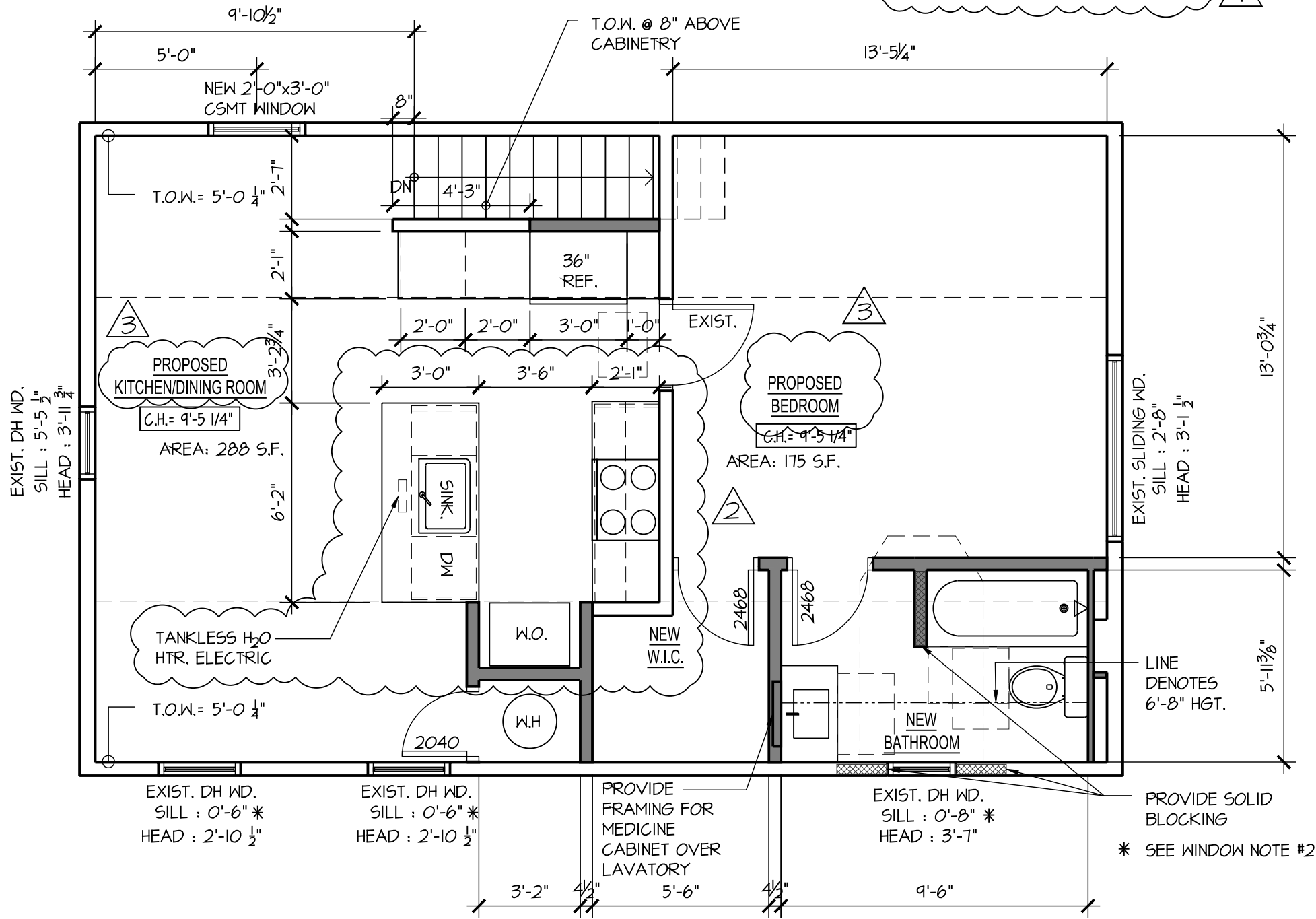
1 FIRST FLOOR CONSTRUCTION PLAN - GARAGE LEVEL

SCALE: 1/4"=1'-0"



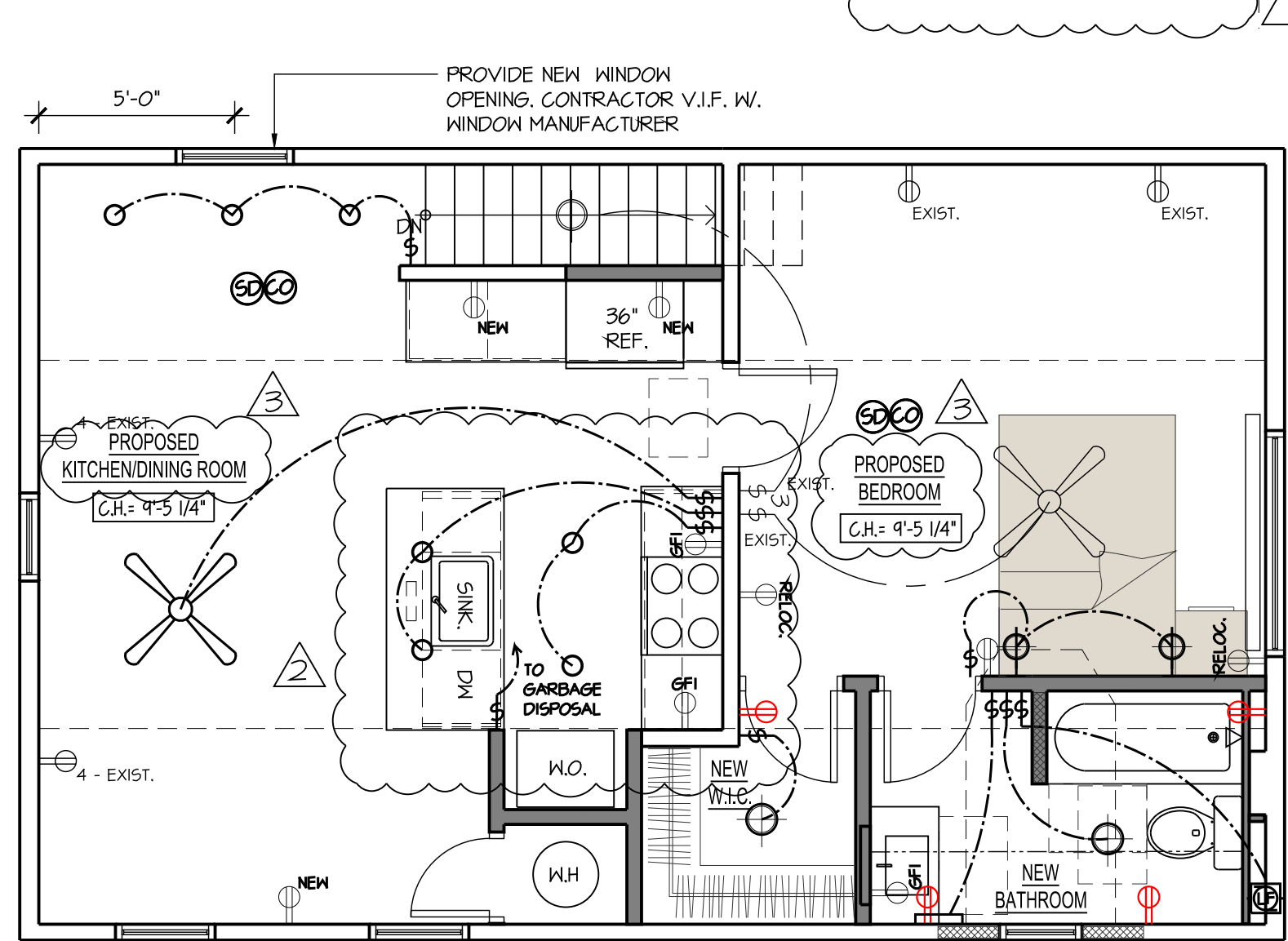
4 FIRST FLOOR ELECTRICAL PLAN - GARAGE LEVEL

SCALE: 1/4"=1'-0"



2 SECOND FLOOR CONSTRUCTION PLAN

SCALE: 1/4"=1'-0"



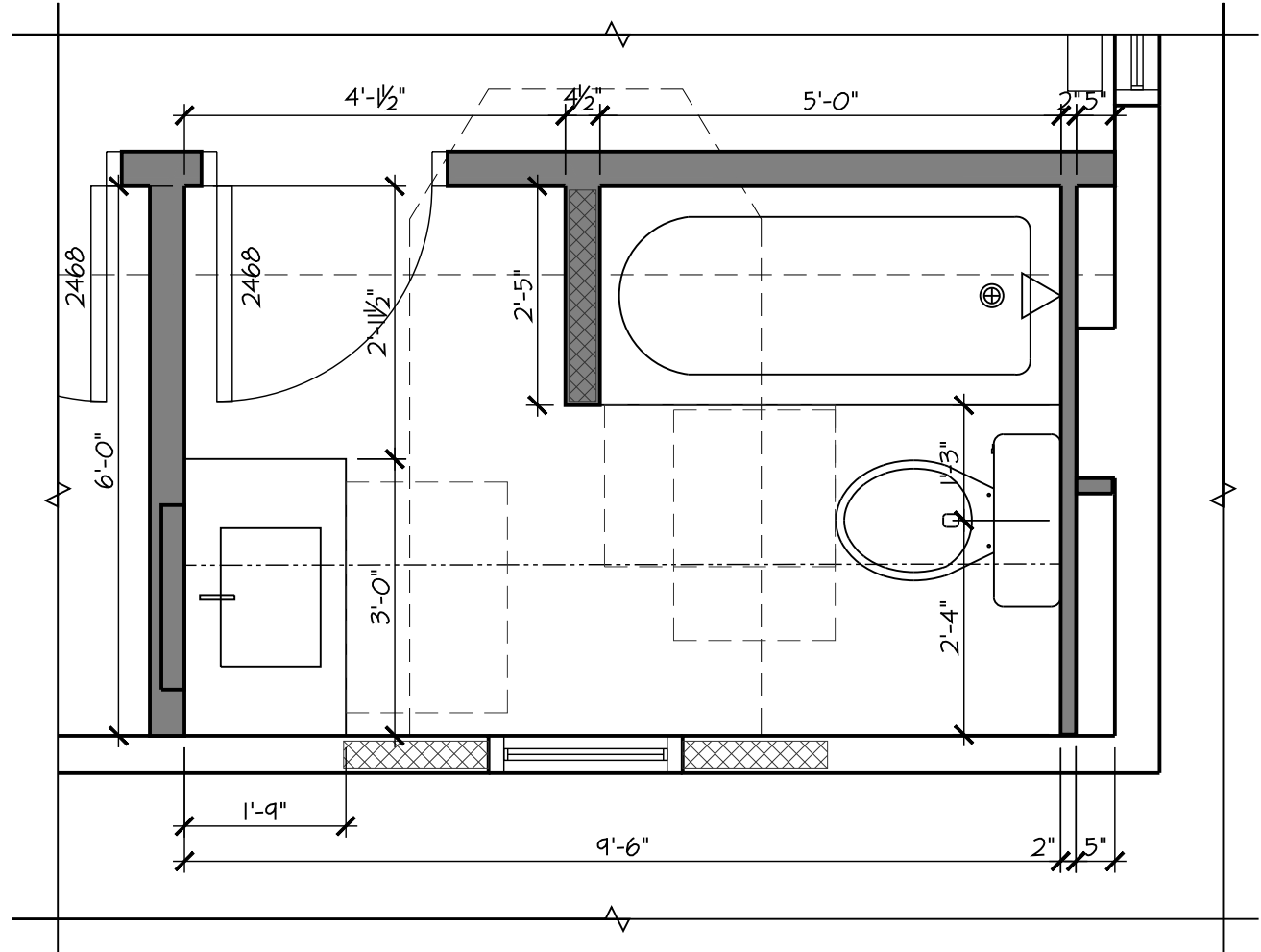
5 SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/4"=1'-0"

R311.7.6 Landings for stairways. There shall be a floor or landing at the top and bottom of each stairway. The width perpendicular to the direction of travel shall be not less than the width of the flight served. For landings of shapes other than square or rectangular, the depth at the walk line and the total area shall be not less than that of a quarter circle with a radius equal to the required landing width. Where the stairway has a straight run, the depth in the direction of travel shall be not less than 36 inches (914 mm).

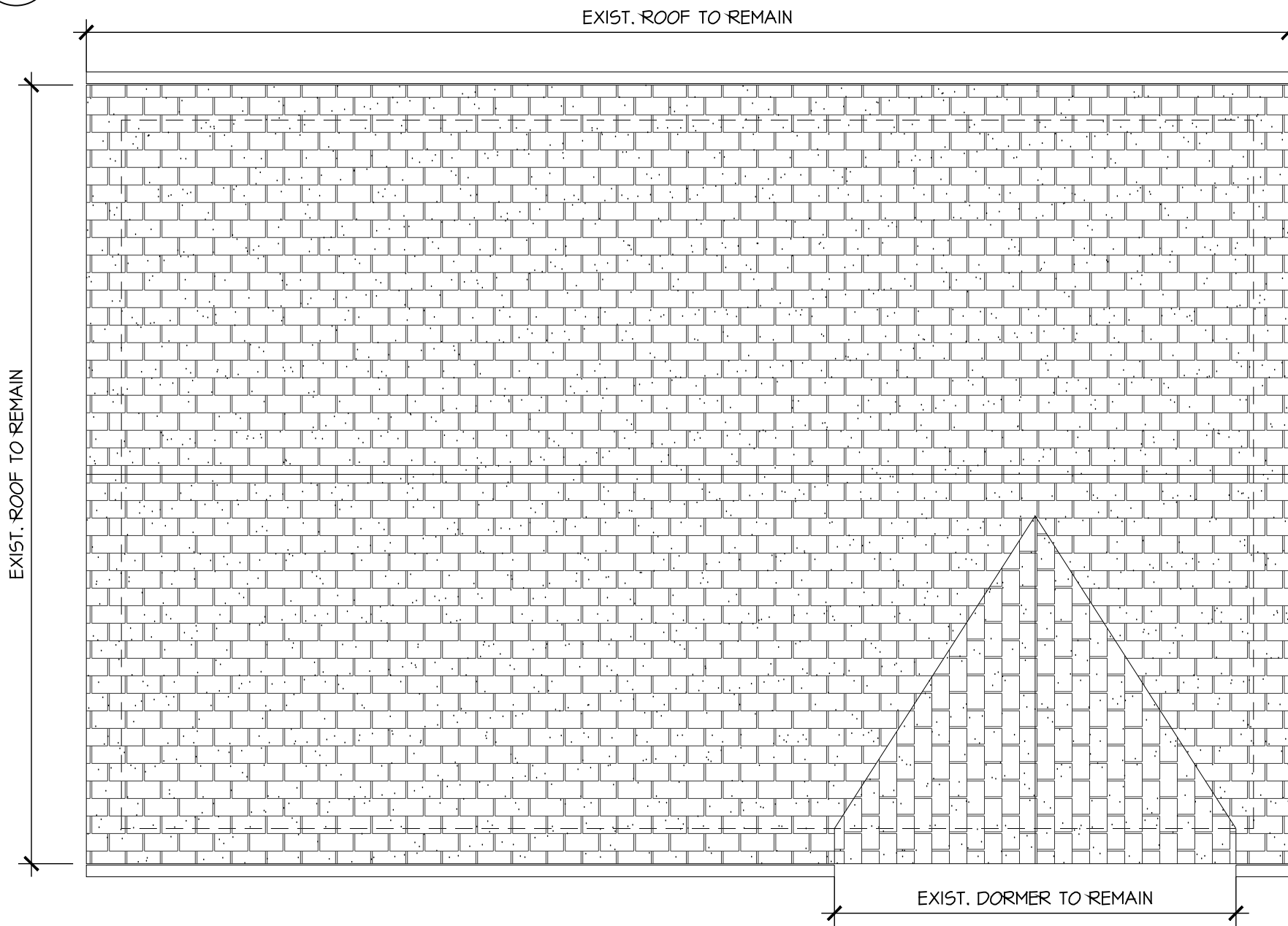
Exception: A floor or landing is not required at the top of an interior flight of stairs, including stairs in an enclosed garage, provided that a door does not swing over the stairs.

NATURAL LIGHT AND VENTILATION CALCULATIONS					
ROOM:	SQ. FT. :	REQUIRED:		PROPOSED:	
		VENT 4%	LIGHT 8%	VENT	LIGHT
ATTIC FLOOR PLAN					
EXISTING STUDIO	288	11.52	23.04	17.35	34.7
EXIST. OFFICE	175	7	14	7.25	14.5



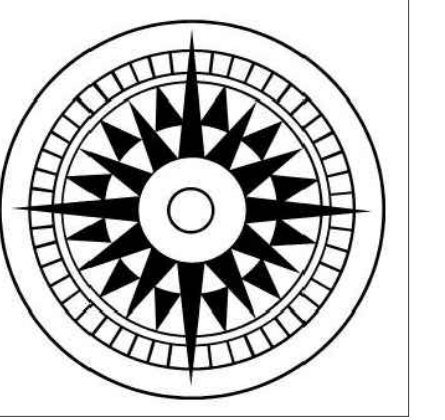
6 ENLARGED BATHROOM FLOOR PLAN

SCALE: 1/2"=1'-0"



3 ROOF PLAN

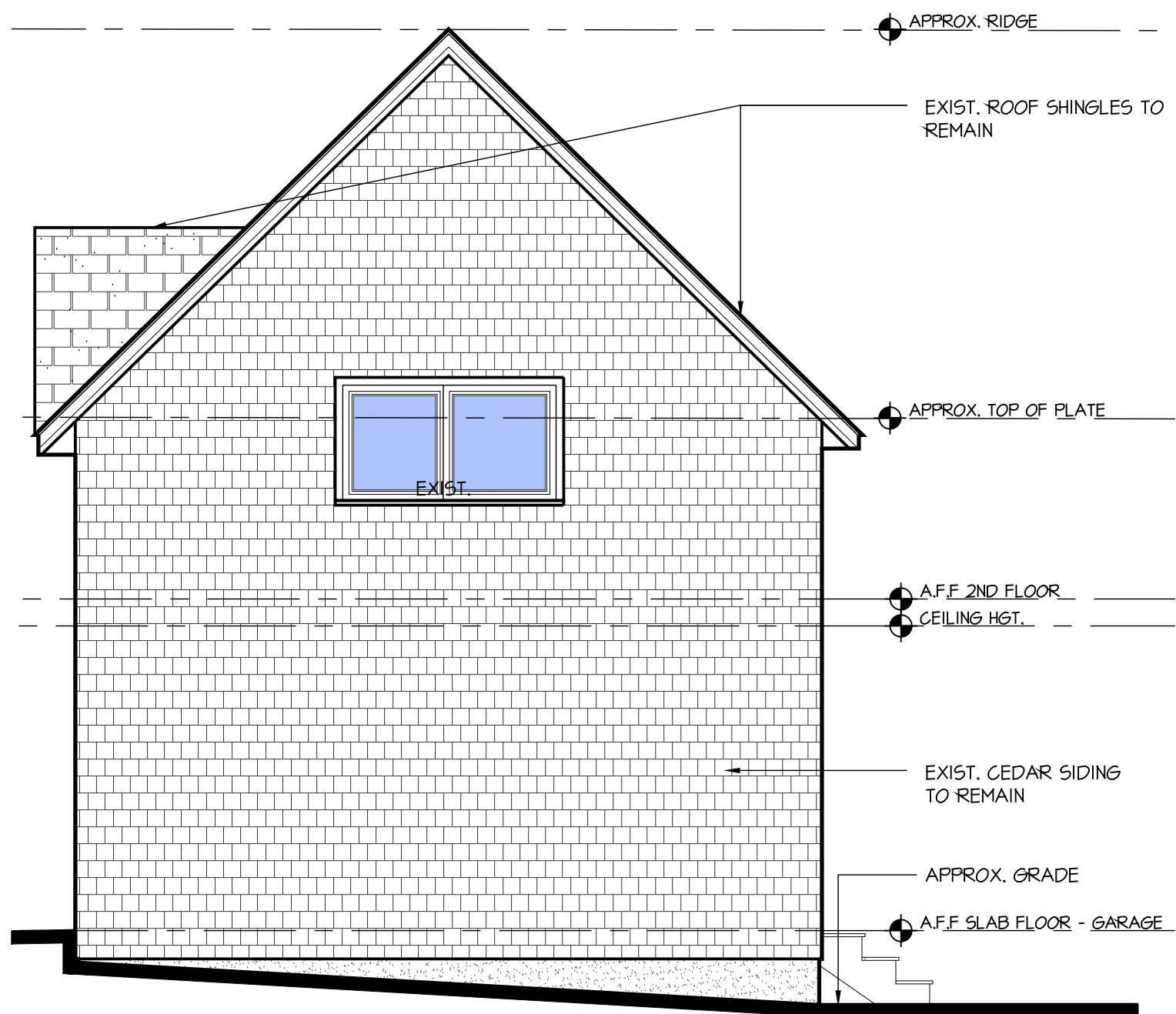
SCALE: 1/4"=1'-0"



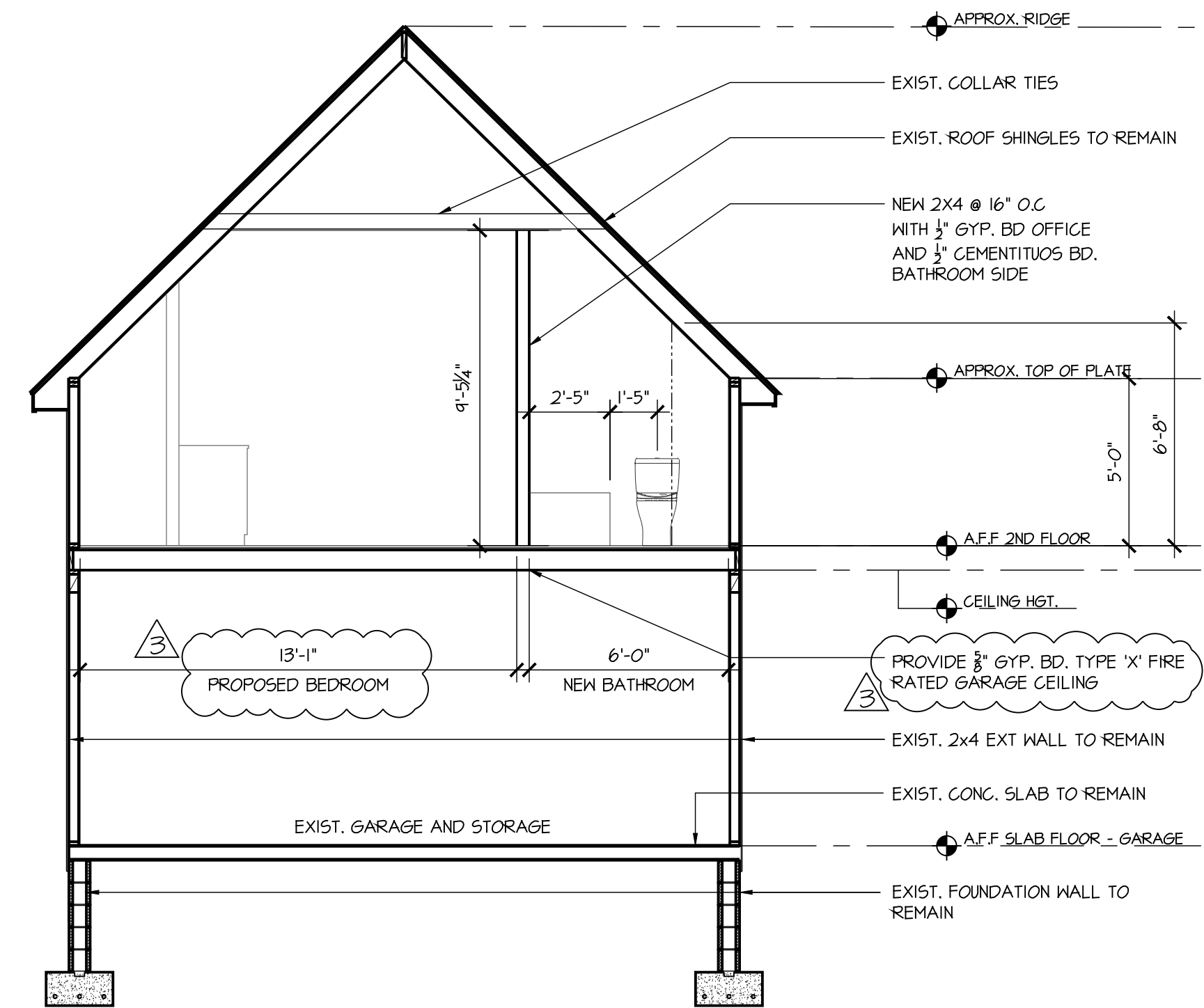
RIVERSTONE
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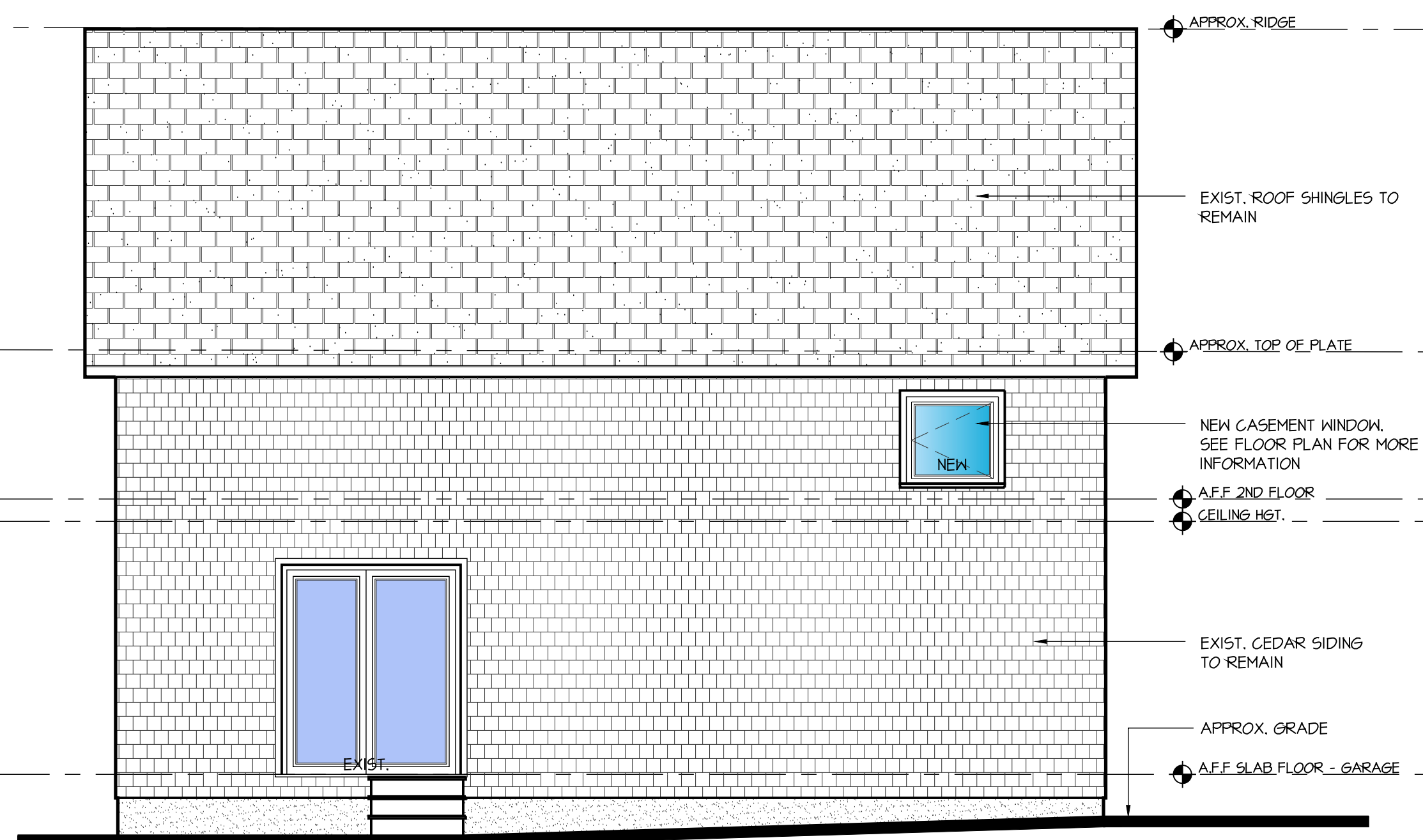
1 NORTH ELEVATION - FRONT SIDE
SCALE: 1/4"=1'-0"



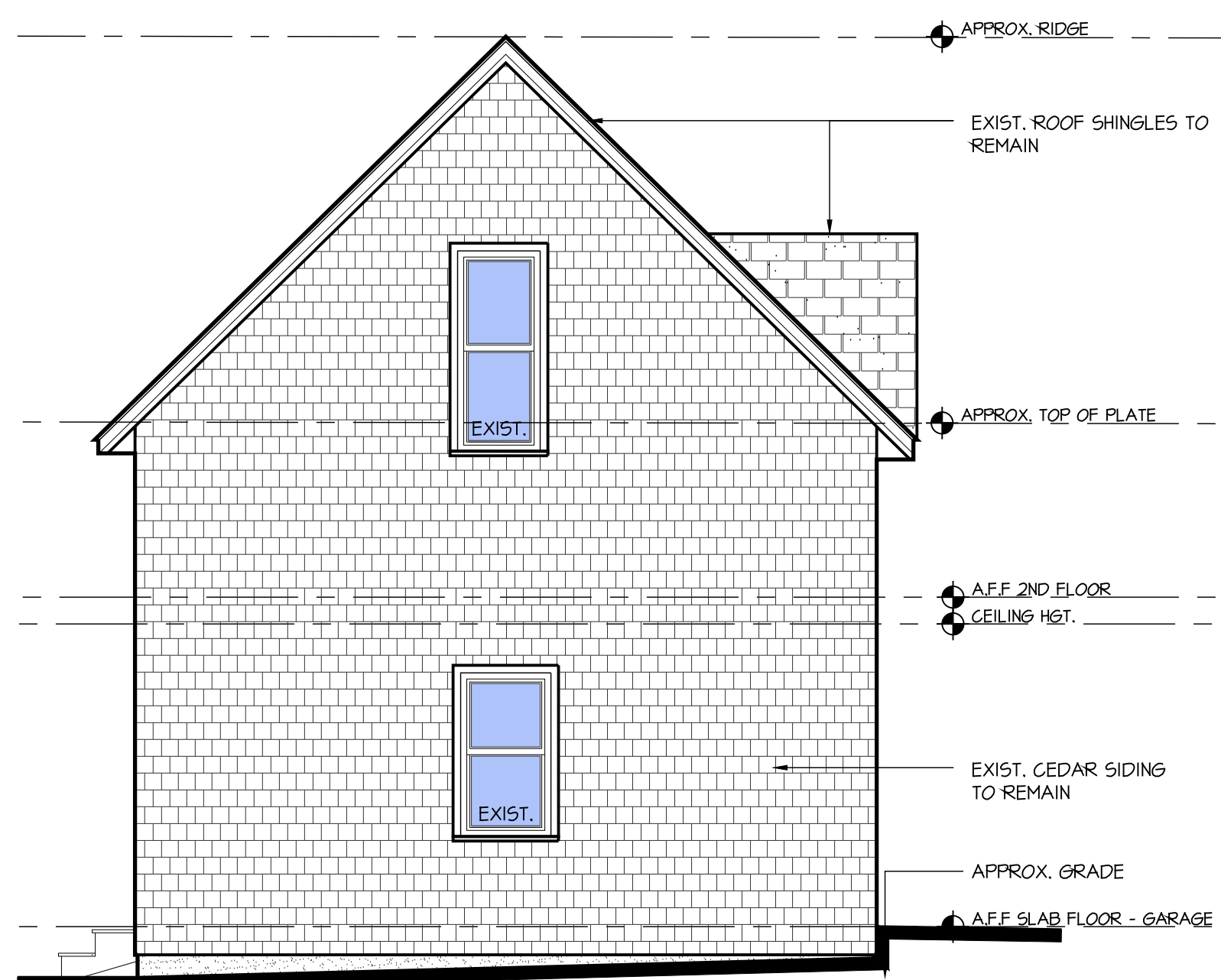
2 EAST ELEVATION - RIGHT SIDE
SCALE: 1/4"=1'-0"



5 SCHEMATIC SECTION
SCALE: 1/4"=1'-0"



3 SOUTH ELEVATION - BACK SIDE
SCALE: 1/4"=1'-0"



4 WEST ELEVATION - LEFT SIDE
SCALE: 1/4"=1'-0"

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49 VAN WYCK STREET
CROTON ON HUDSON, NY.

Title:
EXTERIOR ELEVATIONS
AND SCHEMATIC SECTION
Date: 06-12-2025
Scale: As Noted
Drawn by: RG - DA