

NEW CONSTRUCTION:

ROBINSON RESIDENCE & NEWTON CT. CROTON-ON-HUDSON, NY

DRAWING LIST:

T-1 - TITLE SHEET AND PROJECT DATA

SP-1 - SITE / PLOT PLAN & ZONING DATA

D-1 - DEMO PLAN AND EXISTG PHOTOS

A-0 - BASEMENT AND FOUNDATION PLAN

A-1 - MAIN LEVEL PLAN

A-2 - UPPER LEVEL PLAN

A-3 - ROOF PLAN

A-4 - FRONT ELEVATION

A-5 - END ELEVATION

A-6 - REAR ELEVATION

A-7 - GARAGE ELEVATION

NOTE:
GENERAL CONTRACTOR TO PROVIDE MATERIAL SAMPLES, PRODUCT SAMPLES, COLOR SAMPLES, FINISH SAMPLES, MANUFACTURER'S SYSTEM INFORMATION, MOCKUPS, AND SHOP DRAWINGS FOR REVIEW AND APPROVAL BY ARCHITECT PRIOR TO ORDERING AND/OR INSTALLING ANY ITEMS SPECIFIED IN THE 'PROJECT MANUAL' IN ADDITION TO SAMPLES REQUESTED IN THE ARCHITECTURAL DRAWINGS.

PROJECT SUMMARY

NEW CONSTRUCTION TO REPLACE CONSTRUCTION DESTROYED BY FIRE. NEW TWO STORY, FRAMED RESIDENCE TO BE BUILT ON EXISTING FOUNDATION. FOUNDATIONS OF ATTACHED GARAGE WERE DAMAGED AND SHALL BE REMOVED. NEW ATTACHED GARAGE TO SHALL BE LARGER THAN PRE-EXISTING GARAGE.

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE 2020 NEW YORK STATE RESIDENTIAL BUILDING CODE.
- ALL COMPONENTS INCORPORATED INTO THE WORK SHALL CONFORM TO MATERIAL STRESSES, CAPACITIES AND METHODS OF CONSTRUCTION, PRESCRIBED BY LOCAL AND STATE CODES.
- THE GENERAL CONTRACTOR AND HIS/HER SUB-CONTRACTOR(S) SHALL CHECK AND VERIFY ALL EXISTING CONDITIONS AND CHECK ALL DIMENSIONS OF THE BUILDING IN THE FIELD BEFORE STARTING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE START OF WORK.
- THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED DEPARTMENT OF BUILDING PERMITS PRIOR TO THE START OF WORK. OWNER SHALL REIMBURSE THE CONTRACTOR FOR ALL REQUIRED BUILDING, PLANNING, ZONING, HEALTH AND OTHER ASSOCIATED AGENCIES FILING AND FILING PERMITTING FEES. PERMITS MUST BE POSTED AND REMAIN VISIBLE AT THE JOBSITE AT ALL TIMES DURING CONSTRUCTION.
- THE GENERAL CONTRACTOR AND HIS/HER SUB-CONTRACTOR(S) SHALL REVIEW ALL CONSTRUCTION DOCUMENTS AND SHALL COORDINATE THEIR WORK WITH THE WORK OF OTHER TRADES.
- THE GENERAL CONTRACTOR SHALL COORDINATE HIS/HER WORK WITH THAT OF OTHER SUB-CONTRACTORS AND SUPPLIERS RETAINED BY THE OWNER.
- ALL TRADES SHALL COOPERATE TO ASSURE THE STEADY PROGRESS OF ALL WORK UNDER THIS CONTRACT.
- ALL HIGHLANDS ARCHITECTURE DRAWINGS, SPECIFICATIONS AND CONSTRUCTION NOTES ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY ONE WILL BE BINDING AS IF CALLED FOR BY ALL; ANY WORK SHOWN OR REFERRED TO ON ANY DOCUMENT SHALL BE PROVIDED AS THOUGH SHOWN ON ALL DOCUMENTS.
- THE CHARACTER AND SCOPE OF WORK ARE ILLUSTRATED BY THE DRAWINGS. TO INTERPRET AND EXPLAIN THE DRAWINGS, OTHER INFORMATION DEEMED NECESSARY BY HIGHLANDS ARCHITECTURE WILL BE FURNISHED TO THE CONTRACTOR WHEN AND AS REQUIRED BY THE WORK, AND IT IS TO BE UNDERSTOOD THAT THE SAID ADDITIONAL DRAWINGS ARE TO BE OF EQUAL FORCE WITH THE DRAWINGS AND SHALL BE CONSIDERED AS FORMING PART OF THESE NOTES TO WHICH THEY REFER.
- CONTRACTOR SHALL NOT OBSTRUCT ACCESS TO ROADWAYS AT ANY TIME.
- ALL DIMENSIONS NOTED ON PLANS ARE TO ROUGH FRAMING UNLESS OTHERWISE NOTED.
- NO DRAWING IS TO BE SCALED, USE PROVIDED DIMENSIONS ONLY.
- CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THIS DOCUMENT AND CONTRACT DOCUMENTS ISSUED TO OTHERS PRIOR TO THE START OF THE WORK.
- PENETRATIONS IN WALL PARTITIONS OR FLOORS FOR PIPE SLEEVES, FLUES, DUCTWORK AND ELECTRICAL DEVICES, ETC... SHALL BE PACKED AND/OR SEALED WITH FIRE-STOPPING INSULATION.
- ALL LICENSED TRADES ARE TO CONDUCT THEIR WORK IN CONFORMANCE WITH GOVERNING BODIES HAVING JURISDICTION OVER THE SITE.
- IF, IN THE INTERPRETATION OF CONTRACT DOCUMENTS, REQUIREMENTS WITHIN THE DRAWINGS AND SPECIFICATIONS CONFLICT, OR IT APPEARS THAT THE DRAWINGS AND SPECIFICATIONS ARE NOT IN AGREEMENT, THE REQUIREMENT TO BE FOLLOWED SHALL BE DECIDED BY THE ARCHITECT. WHERE THERE IS A DISCREPANCY IN THE QUALITY, THE CONTRACTOR SHALL PROVIDE THE SUPERIOR QUALITY.
- PROJECT/SITE ACCESS SHALL BE PROVIDED TO ARCHITECT AT ALL TIMES THROUGHOUT THE COURSE AND DURATION OF CONSTRUCTION (MONDAY - SUNDAY 7AM - 7 PM) ACCESS TIME-FRAME, TYPICAL.

R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA PROVIDED BY THE VILLAGE OF CROTON-ON-HUDSON, NEW YORK							
GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			ICE BARRIER UNDERLAYMENT REQ	FLOOD HAZARDS
WEATHERING	FROST LINE DEPTH	TERMITES					
30	115	C	SEVERE	42"	MODERATE TO HEAVY	YES	NO PER NFIP 2013

2020 INTERNATIONAL ENERGY CONSERVATION CODE

ENERGY EFFICIENCY REQUIREMENTS FROM TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT WITH AMENDMENTS PER NYS STRETCH ENERGY CODE 2020 AS ADOPTED BY THE VILLAGE OF CROTON-ON-HUDSON AND CITED IN THE VILLAGE CODE, BUILDING CODE ADMINISTRATION SECTION 06-16. CLIMATE ZONE: 4A WESTCHESTER COUNTY

ITEM	REQUIRED	PROVIDED
FENESTRATION U-FACTOR	U = 0.27 (MAX)	
SKYLIGHT	U = 0.50 (MAX)	
GLAZED FENESTRATION SHGC	SHGC = 0.40 (MAX)	
CEILING R-VALUE	R-49 (MIN)	
WOOD FRAME WALL R-VALUE	R-21 (MIN) IN STUD CAVITY OR R-20 CAVITY + 5 ci (MIN) OR R-13 CAVITY + 10 ci (MIN)	
MASS WALL R-VALUE	R-15/20 (MIN)	
FLOOR R-VALUE	R-30 (MIN) **	
BASEMENT WALL R-VALUE	R-15/19 (MIN) [CONTINUOUS/CAVITY]	
SLAB R-VALUE AND DEPTH	R-10, 4 FT (MIN)	
CRAWL SPACE WALL R-VALUE	R-15/19 (MIN) [CONTINUOUS/CAVITY]	

NOTE: THE PRESCRIPTIVE CODE REQUIREMENTS FOR THE BUILDING THERMAL ENVELOPE SHOWN ABOVE ARE FOR NEW, HABITABLE AND CONDITIONED RESIDENTIAL CONSTRUCTION ONLY.

** OR INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY AND PROVIDING NOT LESS THAN AN R-VALUE OF R-19.

PROJECT DATA

CLASSIFICATION:	
OCCUPANCY	R - RESIDENTIAL
CONSTRUCTION	TYPE 5B - FRAME CONSTRUCTION
DESIGN CRITERIA:	
MIN. UNIFORM DISTRIBUTED LIVE LOADS (LBS./S.F.):	
ATTICS W/O STORAGE	• 10
ATTICS W/ LIMITED STORAGE	• 20
HABITABLE ATTICS W/ FIXED STAIRS	• 30
BALCONIES AND DECKS	• 40
FIRE ESCAPES	• 40
GUARDS AND HANDRAILS	• 200
GUARD IN-FILL COMPONENT	• 50
GARAGES	• 50
ROOMS OTHER THAN SLEEPING ROOMS	• 40
SLEEPING ROOMS	• 30
STAIRS	• 40
WIND SPEED:	
115 M.P.H.	• STANDARD LIGHT-FRAME CONSTRUCTION IN THIS OCCUPANCY IS SUFFICIENT FOR THIS DESIGN CATEGORY
SPECIAL WIND REGION	
SEISMIC DESIGN CATEGORY:	
	• STANDARD LIGHT-FRAME CONSTRUCTION IN THIS OCCUPANCY IS SUFFICIENT FOR THIS DESIGN CATEGORY
FLOOD HAZARD: B	
THE EXISTING RESIDENCE IS NOT LOCATED WITHIN A FEMA FLOOD HAZARD AREA. THE NEIGHBORHOOD IS CONSIDERED AN 'AREA OF MINIMAL FLOOD HAZARD' (ZONE X) ACCORDING TO FEMA MAP OF THE VILLAGE OF CROTON-ON-HARMON, NY. MAP INCLUDED ON THIS DRAWING SHEET T-1.	

National Flood Hazard Layer FIRMette



SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

Legend

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE) Zone X, Zone AE, AD, AH, VE, AR
- With BFE or Depth Zone AE, AD, AH, VE, AR
- Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD

- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
- Future Conditions 1% Annual Chance Flood Hazard Zone X
- Area with Reduced Flood Risk due to Levees, See Notes, Zone X
- Area with Flood Risk due to Levees Zone X

OTHER AREAS

- NO SCREEN Area of Minimal Flood Hazard Zone X
- Effective LOMRs
- Area of Undetermined Flood Hazard Zone D

GENERAL STRUCTURES

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

OTHER FEATURES

- Cross Sections with 1% Annual Chance Water Surface Elevation
- Coastal Transect
- Limit of Study
- Base Flood Elevation Line (BFE)
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

MAP PANELS

- Digital Data Available
- No Digital Data Available
- Unmapped

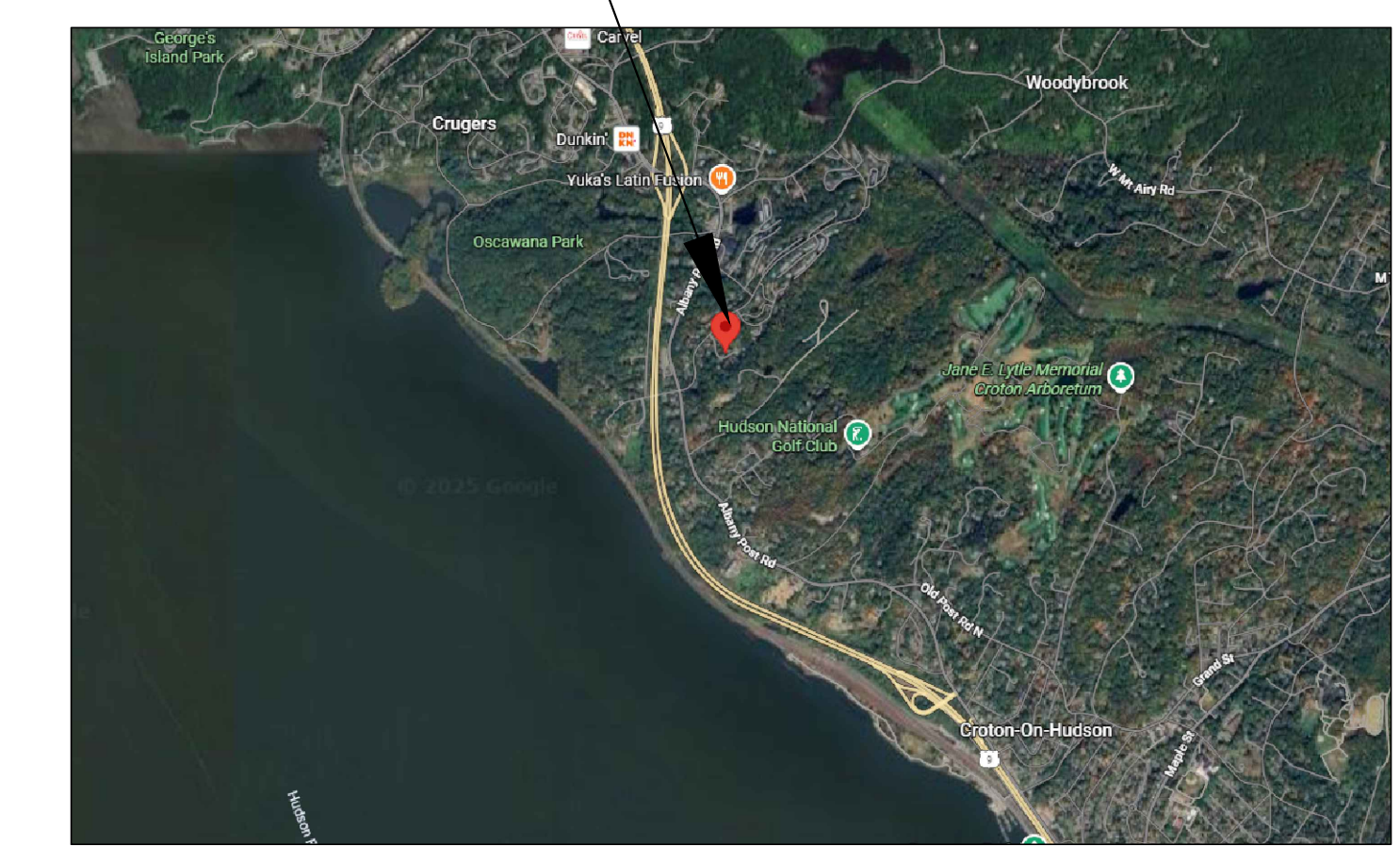
The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 9/18/2025 at 11:43 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmoderized areas cannot be used for regulatory purposes.

PROJECT LOCATION

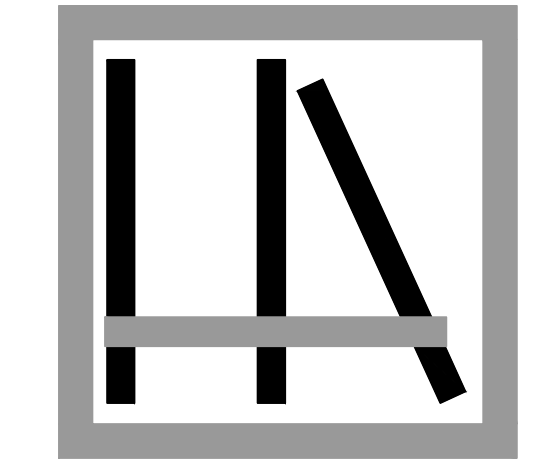


MATERIAL LEGEND

	STONE GRAVEL
	CONCRETE
	CONCRETE BLOCK
	BRICK
	RIGID INSULATION
	GYPSUM WALLBOARD PARTITION
	WOOD BLOCKING
	CONTINUOUS WOOD FRAMING
	FINISH WOOD
	PLYWOOD
	BATT INSULATION
	STEEL

SYMBOLS

	ELEVATION NUMBER OR LETTER
	SHEET NUMBER
	INTERIOR ELEVATION SYMBOL
	SECTION NUMBER OR LETTER
	SHEET NUMBER
	BUILDING/WALL SECTION MARK
	DETAIL MARK
	ELEVATION/DATUM POINT
	PARTITION TYPE
	ROOM OR OPEN SPACE IDENTIFICATION
	DOOR TAG
	WINDOW TAG
	PLAN SCALE
	DRAWING TITLE
	COLUMN GRIDS
	CENTER LINE
	BREAK LINE
	DOTTED LINE (LINE ABOVE OR BELOW PLAN - SOFFITS, ETC)
	DIMENSION LINE



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NEW CONSTRUCTION:
ROBINSON RESIDENCE
& NEWTON CT.
CROTON-ON-HUDSON, NY

PLANNING BOARD REVIEW

TITLE SHEET AND PROJECT DATA

T-1

DATE: 2 OCTOBER 2025

REVISIONS:

REVISIONS:

DRAWN BY: EN

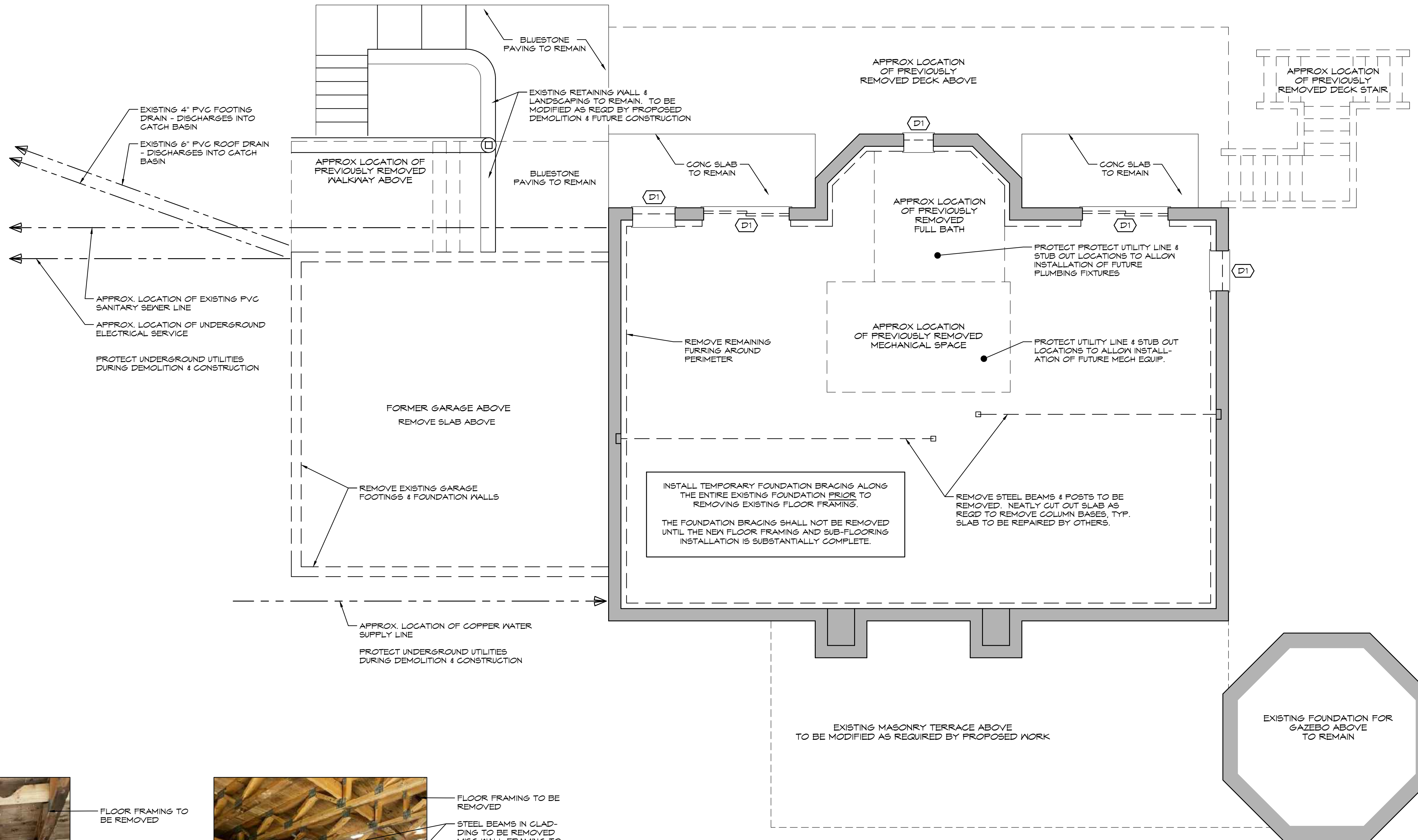
PROJECT NUMBER: 2505-ROBINSON



PHOTO OF REMAINING CONSTRUCTION - LOOKING NORTH

- NEIGHBORING HOME BEYOND
- FLOOR FRAMING & FINISH TO BE REMOVED
- EXISTING GAZEBO TO REMAIN
- EXISTING TERRACE TO REMAIN

CONTRACTORS TO PROVIDE TEMPORARY STRUCTURAL SUPPORT AS REQUIRED BY REMOVALS DURING DEMOLITION TO PREVENT INJURY AND TO PREVENT DAMAGE TO THE EXISTING STRUCTURE AND FINISHES THAT ARE TO REMAIN.



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- ALL DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.

DEMOLITION LEGEND:

- CONTINUOUS LINES WITH SHADING DENOTE EXISTING CONSTRUCTION TO REMAIN.
- DASHED LINES DENOTE EXISTING CONSTRUCTION TO BE DEMOLISHED OR REMOVED.

DEMOLITION KEY NOTES:

- (D1) REMOVE DOOR/WINDOW AND ITS FRAME FROM OPENING. EXISTING MASONRY OPENING TO BE CLEARED FOR INSTALLATION OF NEW DOOR/WINDOW.



PHOTO OF REMAINING CONSTRUCTION ALONG FOUNDATION WALL, TYPICAL

- FLOOR FRAMING TO BE REMOVED
- STEEL BEAM IN CLADDING TO BE REMOVED
- FURRING TO BE REMOVED, TYP



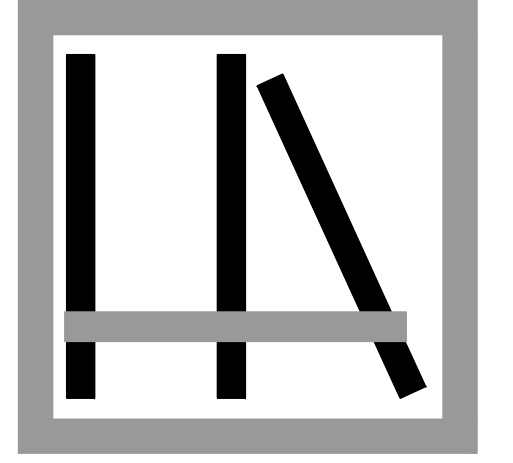
PHOTO OF REMAINING CONSTRUCTION AT FORMER MECHANICAL SPACE

- FLOOR FRAMING TO BE REMOVED
- STEEL BEAMS IN CLADDING TO BE REMOVED
- MISC WALL FRAMING TO BE REMOVED
- STEEL POSTS TO BE REMOVED. NEATLY CUT OUT SLAB AS REQD TO REMOVE COLUMN BASES, TYP.
- UTILITY LINE & STUB OUT TO BE PROTECTED, TYPICAL

1 DEMOLITION PLAN
1/4" = 1' - 0"



PLAN NORTH



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PLANNING BOARD REVIEW

DEMOLITION PLAN
& EXIST PHOTOS

D-0

DATE: 2 OCTOBER 2025

REVISIONS:

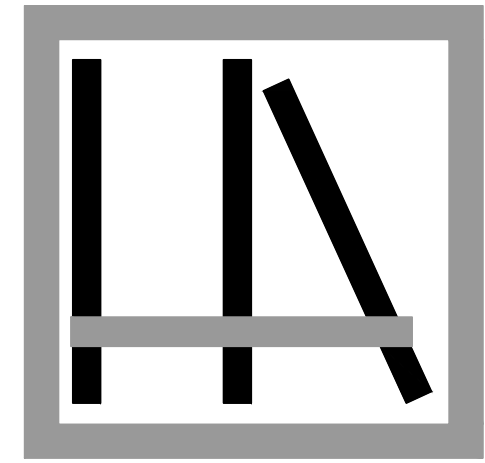
REVISIONS:

REVISIONS:

DRAWN BY: EN

PROJECT NUMBER: 2505-ROBINSON

THE EXISTING CONCRETE FOUNDATION HAS BEEN EVALUATED BY THE DESALVO ENGINEERING GROUP (DEG). RESTORATION OF THE SUPER STRUCTURE TO THE PREVIOUS DIMENSIONS IS RECOMMENDED PER DEG'S FINDINGS AS PRESENTED IN A LETTER DATED SEPTEMBER 17, 2025 FROM DEG TO HIGHLANDS ARCHITECTURE, PFLC.
(REFERENCE DEG PROJECT NO. M25170.00)



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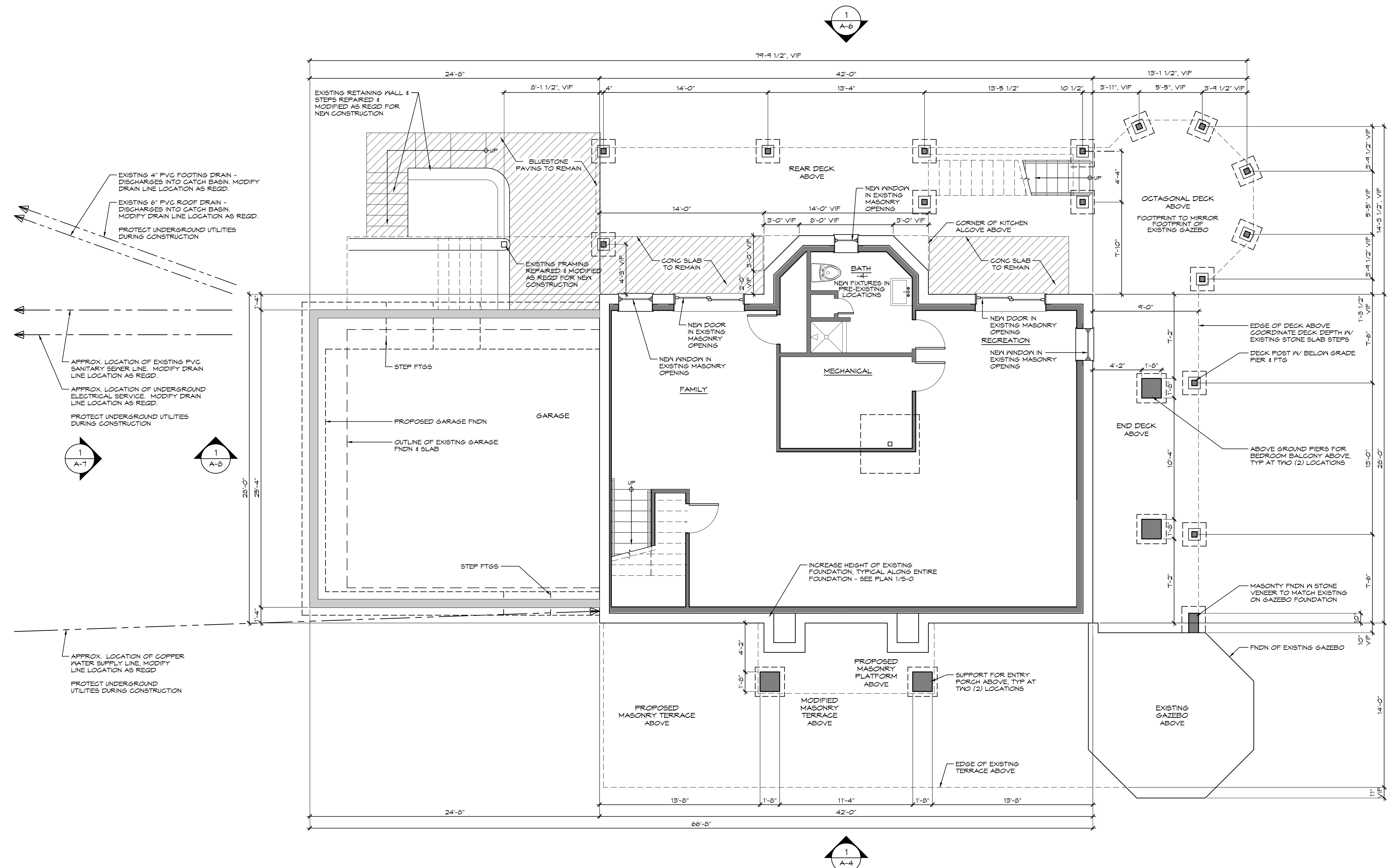
NEW CONSTRUCTION:
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PLANNING BOARD REVIEW

BASEMENT AND FOUNDATION PLAN

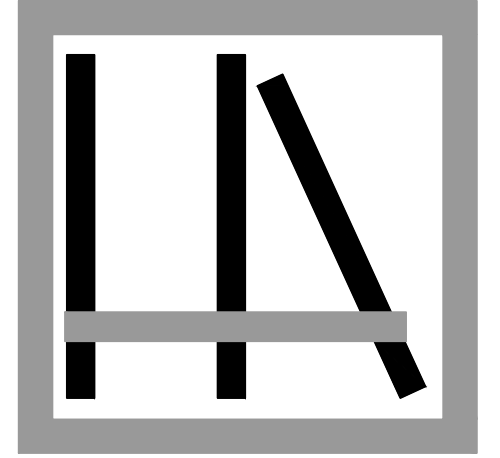
A-0

DATE: 17 OCTOBER 2025
REVISIONS:
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DRAWN BY: JK, EN
PROJECT NUMBER: 2505-ROBINSON



1
A-0
BASEMENT AND FOUNDATION PLAN
1/4" = 1' - 0"





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PLANNING BOARD REVIEW

UPPER LEVEL PLAN

A-2

DATE: 17 OCTOBER 2025

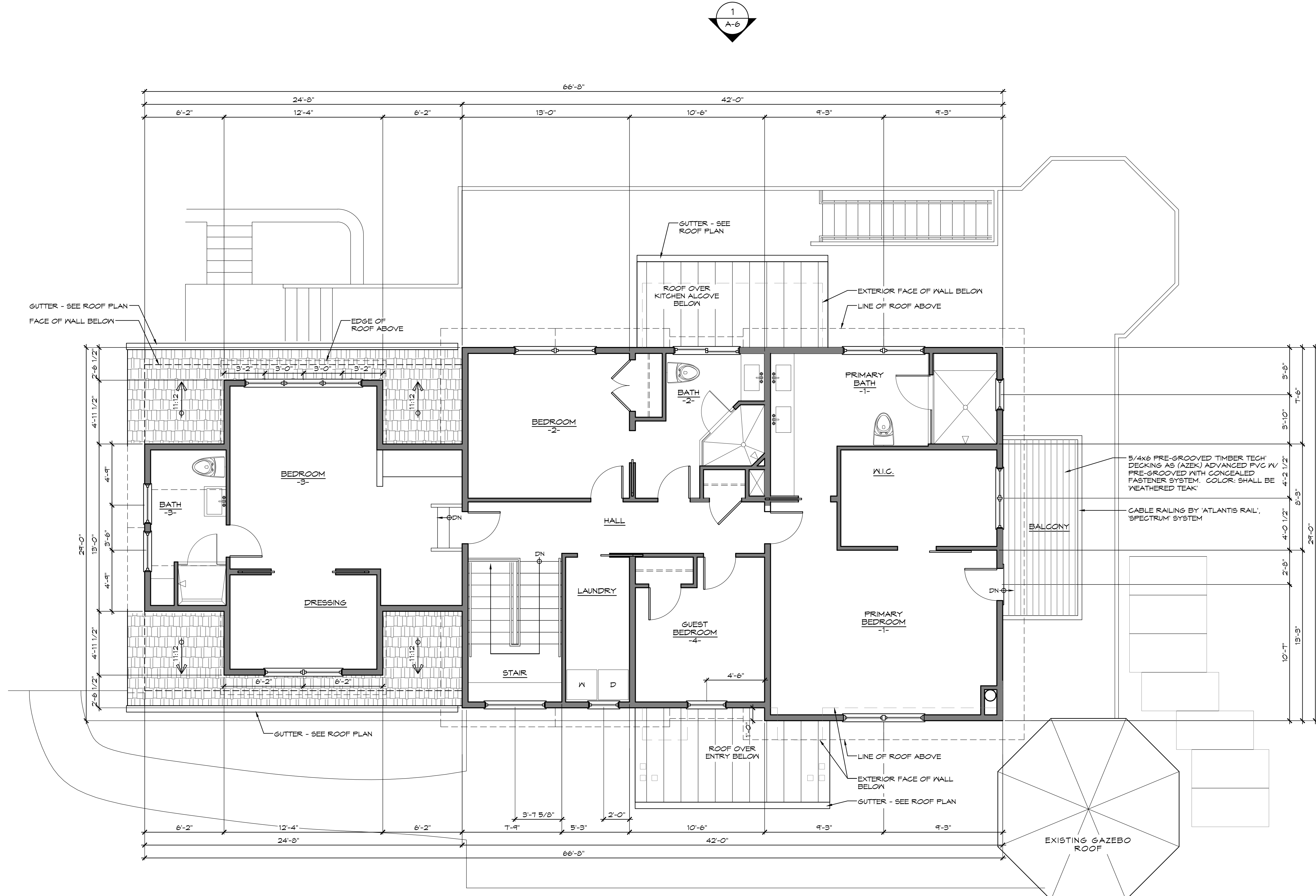
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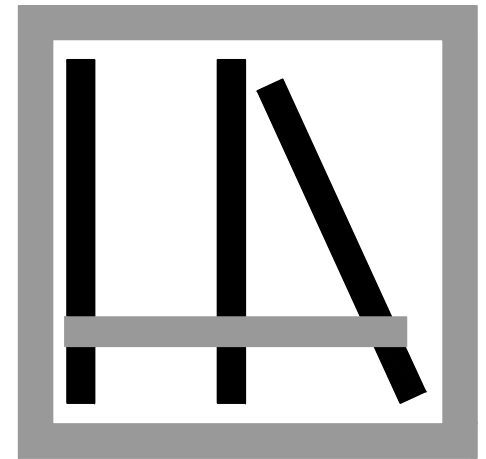
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PROJECT NUMBER: 2505-ROBINSON



1 UPPER LEVEL PLAN
A-2 1/4" = 1' - 0"





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8 NEWTON CT.
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PLANNING BOARD REVIEW

ROOF PLAN

A-3

DATE: 17 OCTOBER 2025

REVISIONS:

REVISIONS:

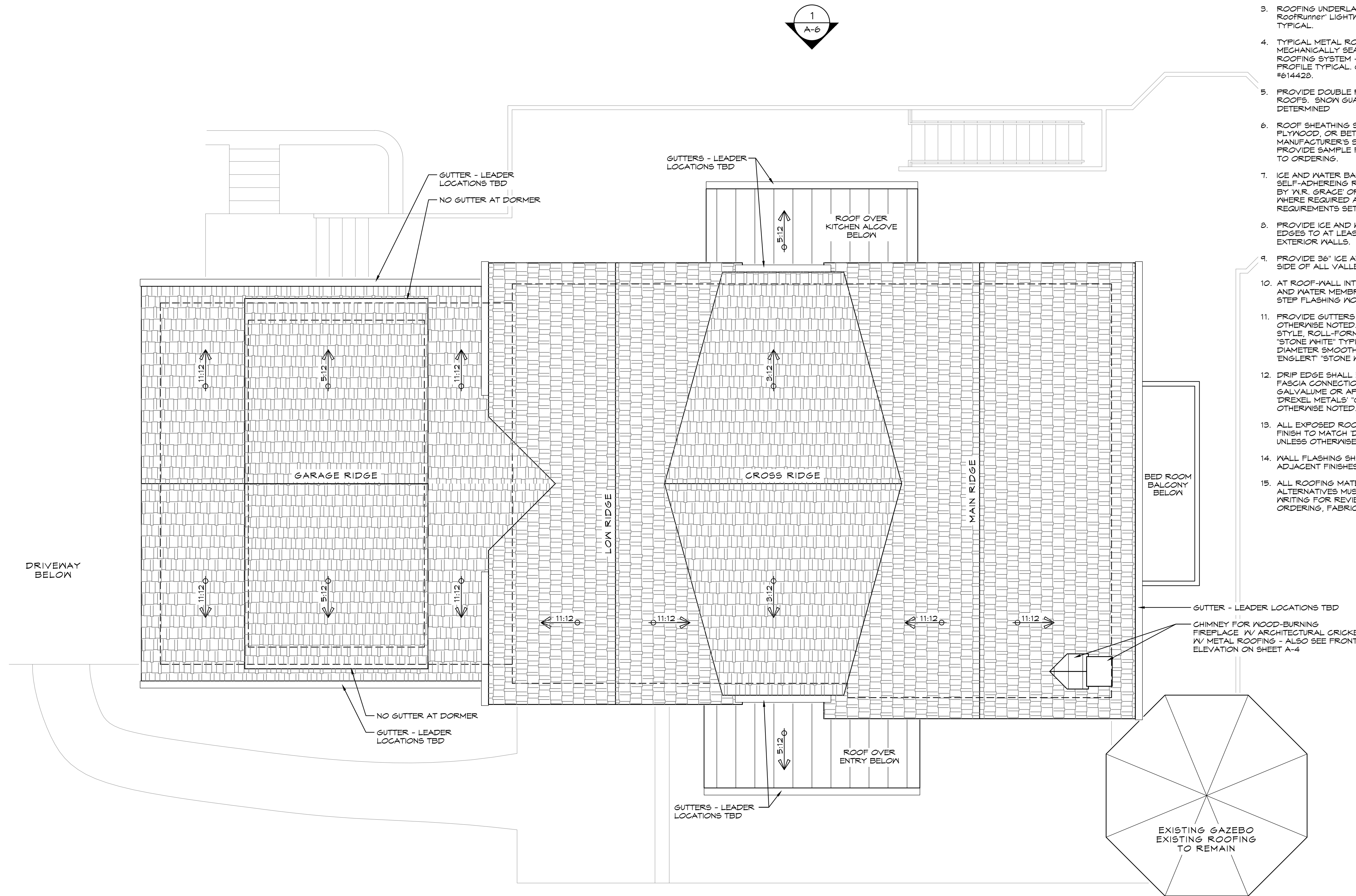
REVISIONS:

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PROJECT NUMBER: 2505-ROBINSON

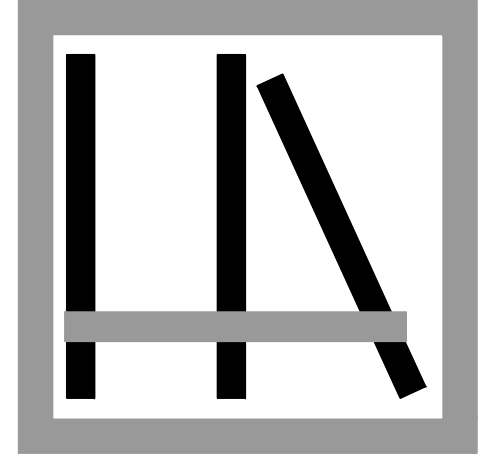
ROOF NOTES

- SEE MANUFACTURERS DETAILS AND INSTALLATION INSTRUCTIONS TYPICAL FOR ALL SHINGLES, METAL ROOFING, UNDERLAYMENTS, FLASHINGS AND ANY AND ALL ASSOCIATED ROOFING COMPONENTS AND ACCESSORIES, TYPICAL.
- TYPICAL SHINGLE ROOFING SYSTEM SHALL BE CERTAINTED INTEGRITY SYSTEM, LANDMARK PRO SERIES SHINGLES, COLOR TO BE "MAX DEF GEORGETOWN GRAY" OR "MAX DEF GRANITE GRAY". INSTALL PER MANUFACTURER'S SPECIFICATION. CONTRACTOR TO PROVIDE SAMPLE FOR REVIEW AND APPROVAL PRIOR TO ORDERING.
- ROOFING UNDERLAYMENT SHALL BE CERTAINTED "ROOFrunner" LIGHTWEIGHT SYNTHETIC UNDERLAYMENT, TYPICAL.
- TYPICAL METAL ROOFING SYSTEM SHALL BE MECHANICALLY SEALED STANDING SEAM METAL ROOFING SYSTEM - DREXEL DMC 10355 WITH 1" PAN PROFILE TYPICAL. COLOR SHALL BE "CHARCOAL" #614428.
- PROVIDE DOUBLE ROW OF SNOW GUARDS AT ALL METAL ROOFS. SNOW GUARD SYSTEM AND COLOR TO BE DETERMINED.
- ROOF SHEATHING SHALL BE 3/4" EXTERIOR-GRADE PLYWOOD, OR BETTER. INSTALL PER ROOFING MANUFACTURER'S SPECIFICATION. CONTRACTOR TO PROVIDE SAMPLE FOR REVIEW AND APPROVAL PRIOR TO ORDERING.
- ICE AND WATER BARRIER SHALL BE VYCOR SELF-ADHEREING ROOFING UNDERLAYMENT AS SUPPLIED BY "W.R. GRACE" OR APPROVED EQUAL, AND SHALL BE WHERE REQUIRED AND SHALL CONFORM WITH THE REQUIREMENTS SET OUT IN THE NOTES BELOW.
- PROVIDE ICE AND WATER BARRIER ALONG ALL ROOF EDGES TO AT LEAST 3 FEET UP FROM INTERIOR FACE OF EXTERIOR WALLS.
- PROVIDE 36" ICE AND WATER BARRIER ALONG EACH SIDE OF ALL VALLEYS.
- AT ROOF-WALL INTERSECTIONS PROVIDE CONTINUOUS ICE AND WATER MEMBRANE UP WALL 12" AND INSTALL METAL STEP FLASHING MOVEN INTO ROOFING.
- PROVIDE GUTTERS ALONG ALL EAVES, UNLESS OTHERWISE NOTED. GUTTERS SHALL BE 6" SEAMLESS, K STYLE, ROLL-FORMED GALVALUME TO MATCH ENGLERT "STONE WHITE" TYPICAL. LEADERS SHALL BE 3" DIAMETER SMOOTH ROUND GALVALUME TO MATCH ENGLERT "STONE WHITE" TYPICAL.
- DRIP EDGE SHALL BE 2" HIGH x 4" WIDE AT ALL ROOF TO FASCIA CONNECTIONS. ALL DRIP EDGE TO BE 0.090 GALVALUME OR APPROVED EQUAL. COLOR TO MATCH DREXEL METALS "CHARCOAL" 614428 UNLESS OTHERWISE NOTED.
- ALL EXPOSED ROOF FLASHING SHALL BE GALVALUME FINISH TO MATCH DREXEL METALS "CHARCOAL" 614428 UNLESS OTHERWISE NOTED.
- WALL FINISHING SHALL BE GALVALUME FINISH TO MATCH ADJACENT FINISHES, UNLESS OTHERWISE NOTED.
- ALL ROOFING MATERIAL SUBSTITUTIONS AND SUGGESTED ALTERNATIVES MUST BE PRESENTED TO ARCHITECT IN WRITING FOR REVIEW AND APPROVAL PRIOR TO ORDERING, FABRICATING AND/OR INSTALLING.



1 ROOF PLAN
A-3 1/4" = 1' - 0"





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PLANNING BOARD REVIEW

END ELEVATION

A-5

DATE: 17 OCTOBER 2025

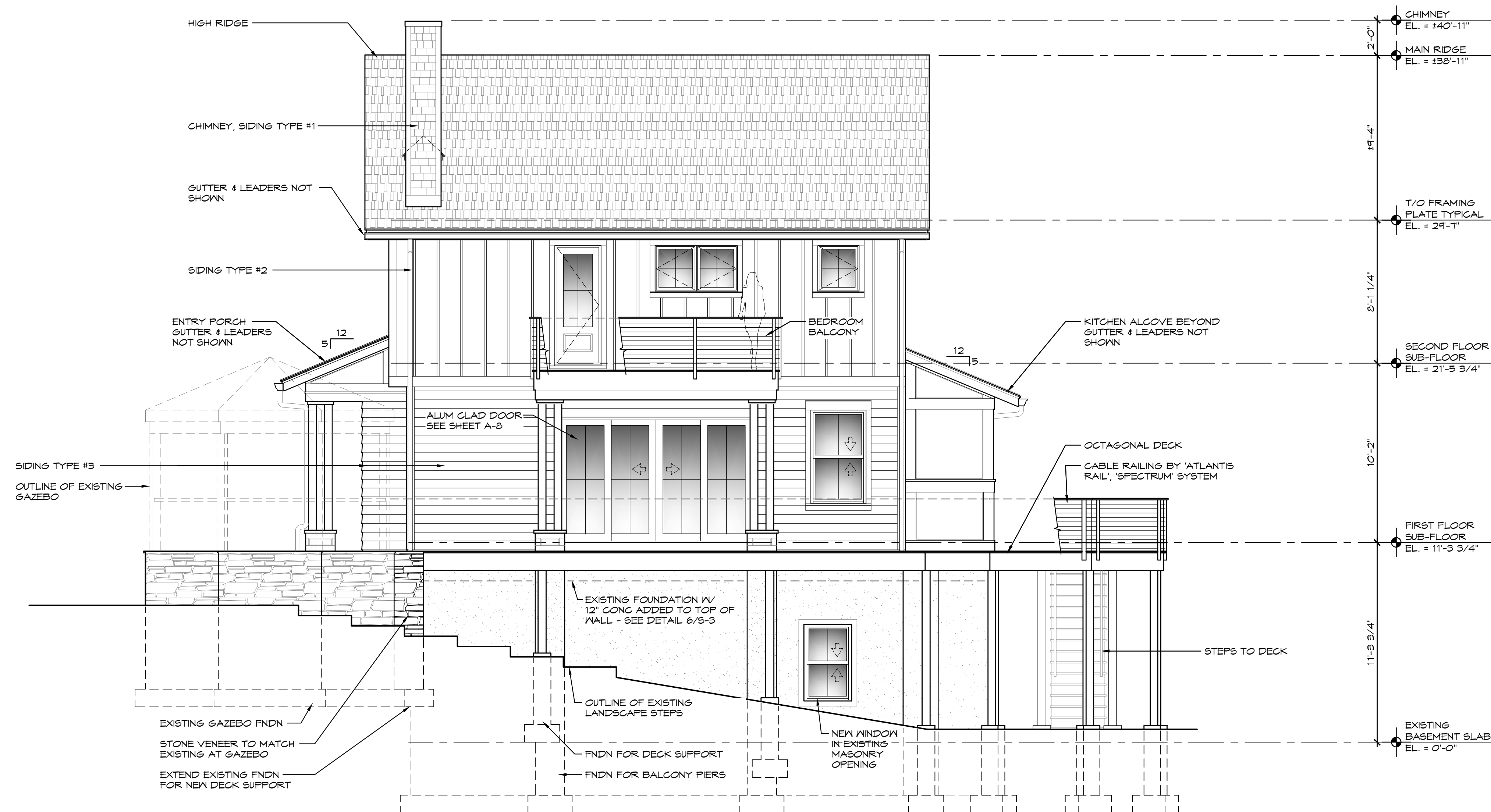
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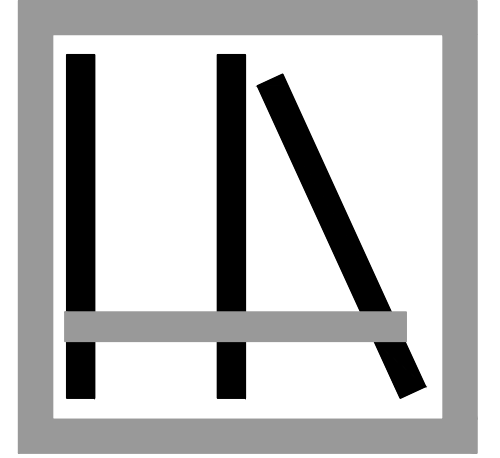
REVISIONS:

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1 END ELEVATION - EAST
A-5 1/4" = 1' - 0"



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PLANNING BOARD REVIEW

REAR ELEVATION

A-6

DATE: 17 OCTOBER 2025

REVISIONS:

REVISIONS:

REVISIONS:

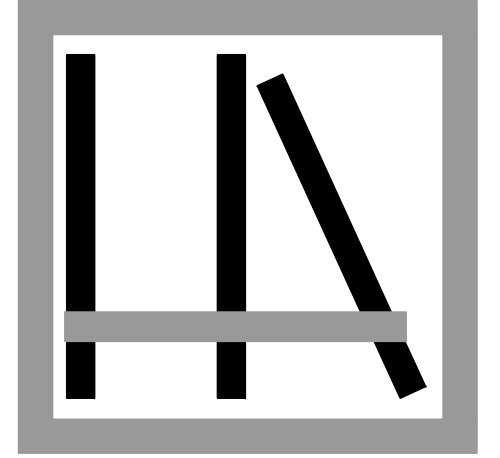
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© HIGHLANDS ARCHITECTURE 2025



1 REAR ELEVATION - NORTH
A-6 1/4" = 1' - 0"



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PLANNING BOARD REVIEW

**GARAGE
ELEVATION**

A-7

DATE: 17 OCTOBER 2025

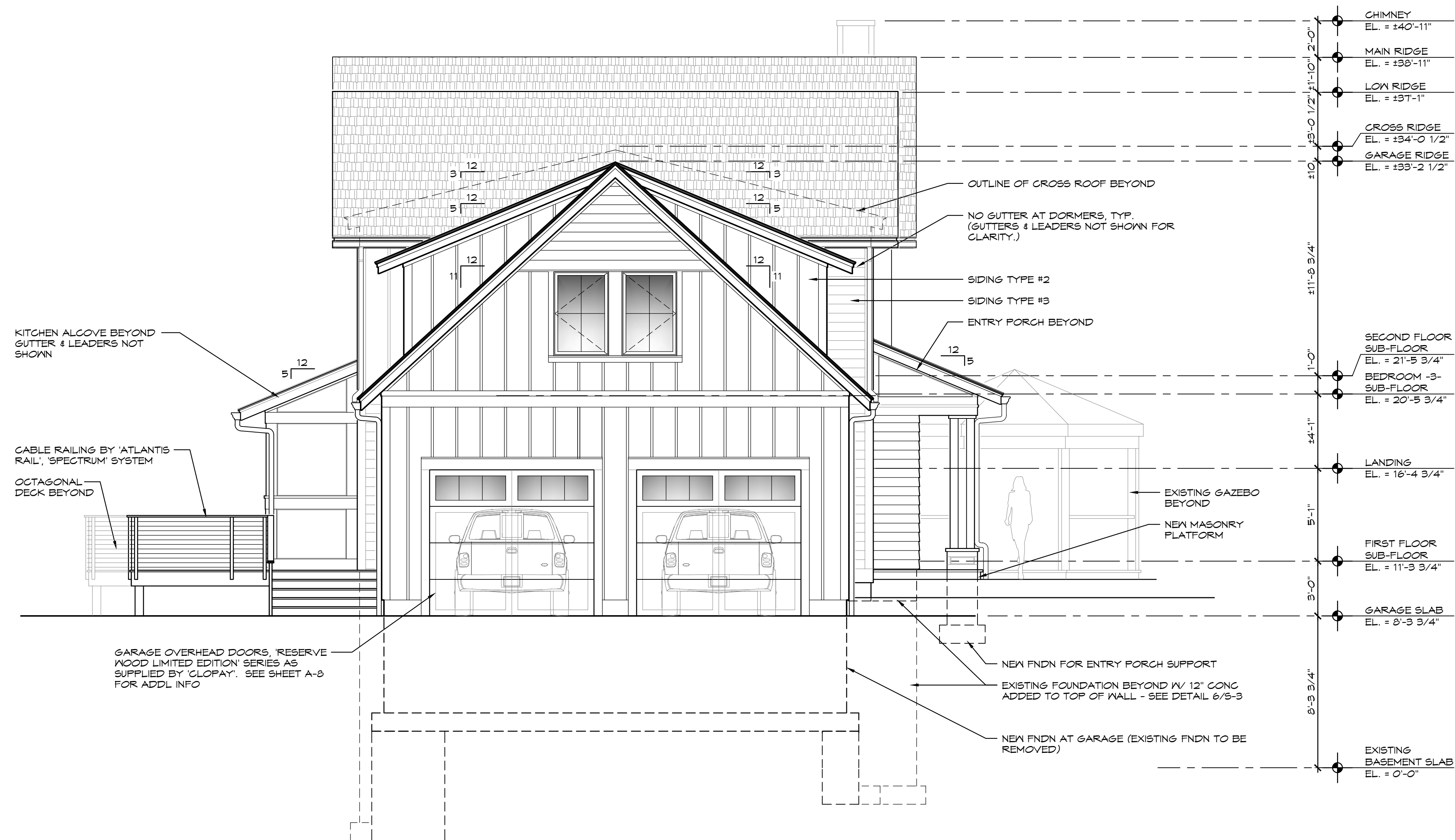
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REVISIONS:

REVISIONS:

DRAWN BY: JK, EN

PROJECT NUMBER: 2505-ROBINSON



1 GARAGE ELEVATION - WEST
A-7 1/4" = 1' - 0"