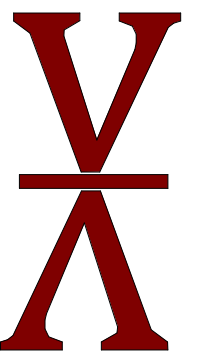


# MINDSET DISPENSARY

370 S Riverside Ave, Croton On Hudson, NY 10520



VIVID ARC

TELEPHONE NUMBER: 551.206.6196  
E-MAIL ADDRESS: arlenis@vivid-arc.com  
WEBSITE: vivid-arc.com

MINDSET DISPENSARY

370 S Riverside Ave, Croton On Hudson, NY

Best Dispensary Near Me Bay Street LLC



NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED BY ARCHITECT

ARCHITECT OF RECORD:  
ARLENIS DOMINGUEZ  
NY LIC. NUMBER: 043511

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DATE	DRN	CHK	DESCRIPTION
10/10/25	SW	AD	PERMIT SET

#	Date	DRN	CHK	Description

PROJ. NO.:	SCALE
1396	As indicated

DWG. NAME:  
**TITLE SHEET**

DWG. NO.:  
**T-100**

SHEET NO. OF PLOT DATE

**PROJECT INFORMATION**

PROJECT: MINDSET DISPENSARY  
ZONE: C-2, GENERAL COMMERCIAL MUNICIPAL PLACE OVERLAY  
BLOCK: 24  
LOT: 107  
CLIMATE ZONE: 4A  
EXISTING USE: COMMERCIAL - RETAIL  
PROPOSED USE: COMMERCIAL - RETAIL

PROJECT ARCHITECT:  
VIVID ARC  
511 S BROAD ST.  
ST. 2A  
GLEN ROCK, NJ

**BUILDING CODE CRITERIA**

**2. USE GROUP (IBC SECTION 309.1):**

GROUP "M" MERCANTILE

**3. CONSTRUCTION TYPE:**

II-B (ASSUMED) - SPRINKLERED BUILDING

**4. BUILDING GROSS SF**

TOTAL TENANT AREA: 1,601.79 S.F.

**5. MAXIMUM TRAVEL DISTANCE TO FLOOR EXIT (IBC TABLE 1017.1 "EXIT ACCESS TRAVEL DISTANCE"):**

250' MAX. (SPRINKLERED)

**6. CORRIDOR FIRE-RESISTANCE RATING (IBC TABLE 1020.2):**

0 HOUR (SPRINKLERED)

**7. DEAD ENDS (IBC 1020.5):**

50' MAX. (SPRINKLERED)

ALL INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E84 OR UL723. FINISHES SHALL BE CLASS A WITH FLAME SPREAD INDEX 0-25; SMOKE DEVELOPED 0-450. INTERIOR FLOOR FINISH FOR CARPET SHALL BE CLASSIFIED IN ACCORDANCE WITH NFPA253 CLASS I AND SHALL COMPLY WITH THE DOC FF-1 "PILL TEST" (CPSC 16 CFR, PART 1630).

**DRAWING LIST:**

Sheet Number	Sheet Name
T-100	TITLE SHEET
G-001	ADA REQUIREMENTS
G-100	GENERAL NOTES
A-100	PROPOSED AND FINISH FLOOR PLAN
A-200	PROPOSED REFLECTIVE CEILING PLAN AND SECURITY PLAN
A-300	PROPOSED ELEVATIONS AND SECTIONS
A-700	DOOR SCHEDULE AND PENETRATION DETAILS

**APPLICABLE BUILDING CODES**

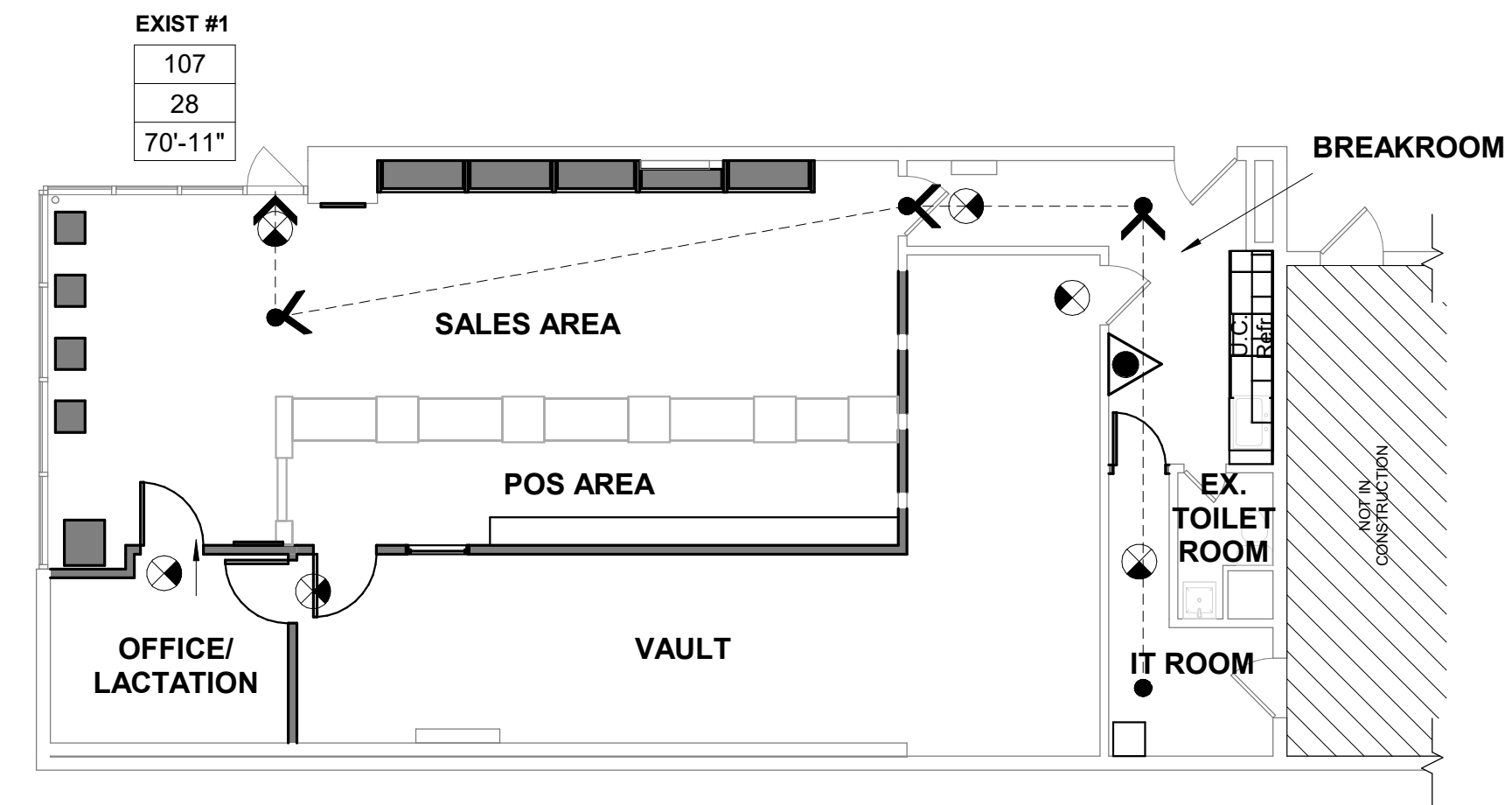
2020 BUILDING CODE OF NEW YORK STATE  
2020 EXISTING BUILDING CODE OF NEW YORK STATE  
2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE  
2020 PLUMBING CODE OF NEW YORK STATE  
2020 FIRE CODE OF NEW YORK STATE  
2020 FUEL GAS CODE OF NEW YORK STATE  
2020 MECHANICAL CODE OF NEW YORK STATE

**LIFE SAFETY LEGENDS:**

- EXISTING FIRE EXTINGUISHER
- SINGLE-SIDED EMERGENCY EXIT SIGN WITH DIRECTION
- SINGLE-SIDED EMERGENCY EXIT SIGN
- EXIT #**
- ALLOWABLE EXIT VOLUME
- ACTUAL EXIT VOLUME
- MAX. LENGTH OF TRAVEL
- PATH OF TRAVEL

**EGRESS SCHEDULE:**

ROOM NUMBER	ROOM NAME	ROOM OCCUPANCY	LOAD FACTOR (IBC 1004.5)	ROOM AREA	OCCUPANT LOAD
1	SALE FLOOR	M-MERCANTILE	60	519	9
2	POS AREA	M-MERCANTILE	60	207	4
3	VAULT	M-MERCANTILE (STORAGE)	300	482	2
4	OFFICE	B-BUSINESS	150	98	1
5	IT ROOM	-	-	69	1
6	BREAKROOM	A2 ASSEMBLY	15	147	10
7	ADA BATHROOM	-	-	26	1
TOTAL OCCUPANT					28



1 EGRESS FLOOR PLAN  
1/8" = 1'-0"





**DEMOLITION NOTES**

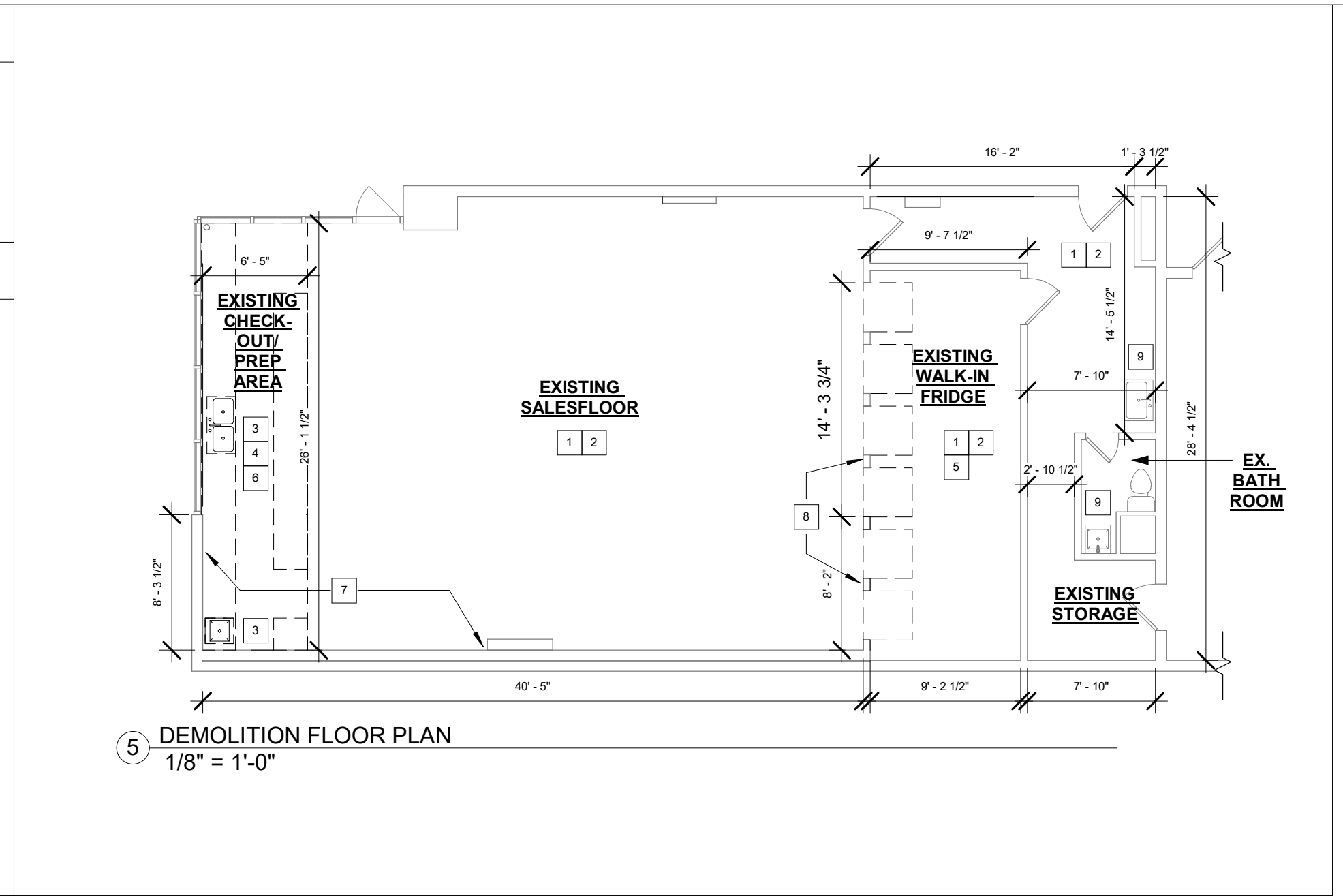
- DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING FIELD CONDITIONS SO AS TO FAMILIARIZE THEMSELVES WITH OVERALL SCOPE OF THE PROJECT TO PRODUCE THE FINAL RESULT INTENDED IN THE CONTRACT DRAWING
- BEFORE WORK IS BEGUN, IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE ALL BARRICADES, FENCES, TEMPORARY BRACING, SUPPORTS, SHORING OR OTHER SAFETY MEASURES TO EXISTING STRUCTURE AS REQUIRED, TO INSURE COMPLETE SAFETY DURING THIS WORK. SUCH PROTECTIVE DEVICES MUST BE MAINTAINED FOR THE DURATION OF THE WORK AND COMPLETELY REMOVED UPON COMPLETION OF THE CONTRACT BY THE CONTRACTOR.
- DEMOLITION CONTRACTOR SHALL INCLUDE COMPLETE REMOVAL OF ALL MATERIALS AND DEBRIS FROM SITE, LEAVING THE AREA CLEAR AND CLEAN FOR THE NEW CONSTRUCTION. ALL WORK DEMOLISHED AND THE DEBRIS RESULTING THEREFROM, BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PROPERTY AT FREQUENT INTERVALS. CONTRACTOR MUST PROVIDE ALL BARRICADES AND PROTECTION AS REQUIRED TO INSURE SAFETY.
- CONTRACTORS SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, STANDARDS AND GOOD PRACTICE. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORK HOURS & THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY & HOLD THE ARCHITECT OR ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- UTILITIES SERVING THE EXISTING BUILDING MUST BE SAFEGUARDED AGAINST DAMAGE THROUGHOUT THE DEMOLITION WORK.
- CONTRACTOR TO PROVIDE ALL TEMPORARY BRACING, SUPPORTS, AND SHORING TO EXISTING STRUCTURE AS REQUIRED DURING ERECTION & IN ACCORDANCE WITH THE REQUIREMENTS OF THE CODE OF STANDARD PRACTICE, LATEST EDITION, OF AISC. THE BRACING SHALL BE DESIGNED TO TAKE CARE OF ALL LOADS TO WHICH THE STRUCTURE MAY BE SUBJECT TO INCLUDING EQUIPMENT AND THE OPERATION OF THE SAME. SUCH BRACING SHALL BE LEFT IN PLACE UNTIL THE ENTIRE STRUCTURE FUNCTIONS AS A UNIT OR LONGER IF REQUIRED FOR SAFETY.
- DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS & RELATED FEES.

**HAZARDOUS MATERIALS:**

- IF THE PRESENCE OF UNANTICIPATED HAZARDOUS MATERIALS IS ASCERTAINED OR SUSPECTED DURING CONSTRUCTION, IMMEDIATELY CEASE WORK IN THE IMMEDIATE AREA OF THE MATERIALS ENCOUNTERED. CONTACT THE OWNER PRIOR TO ARRANGING TO HAVE THE TOXICITY AND EXTENT OF THE MATERIALS TESTED. A DETERMINATION BY THE OWNER AND THEIR CONSULTANT(S) WILL BE MADE AS TO THE PREFERRED METHOD OF ISOLATING, REMOVING AND DISPOSING OF THE HAZARDOUS MATERIAL.

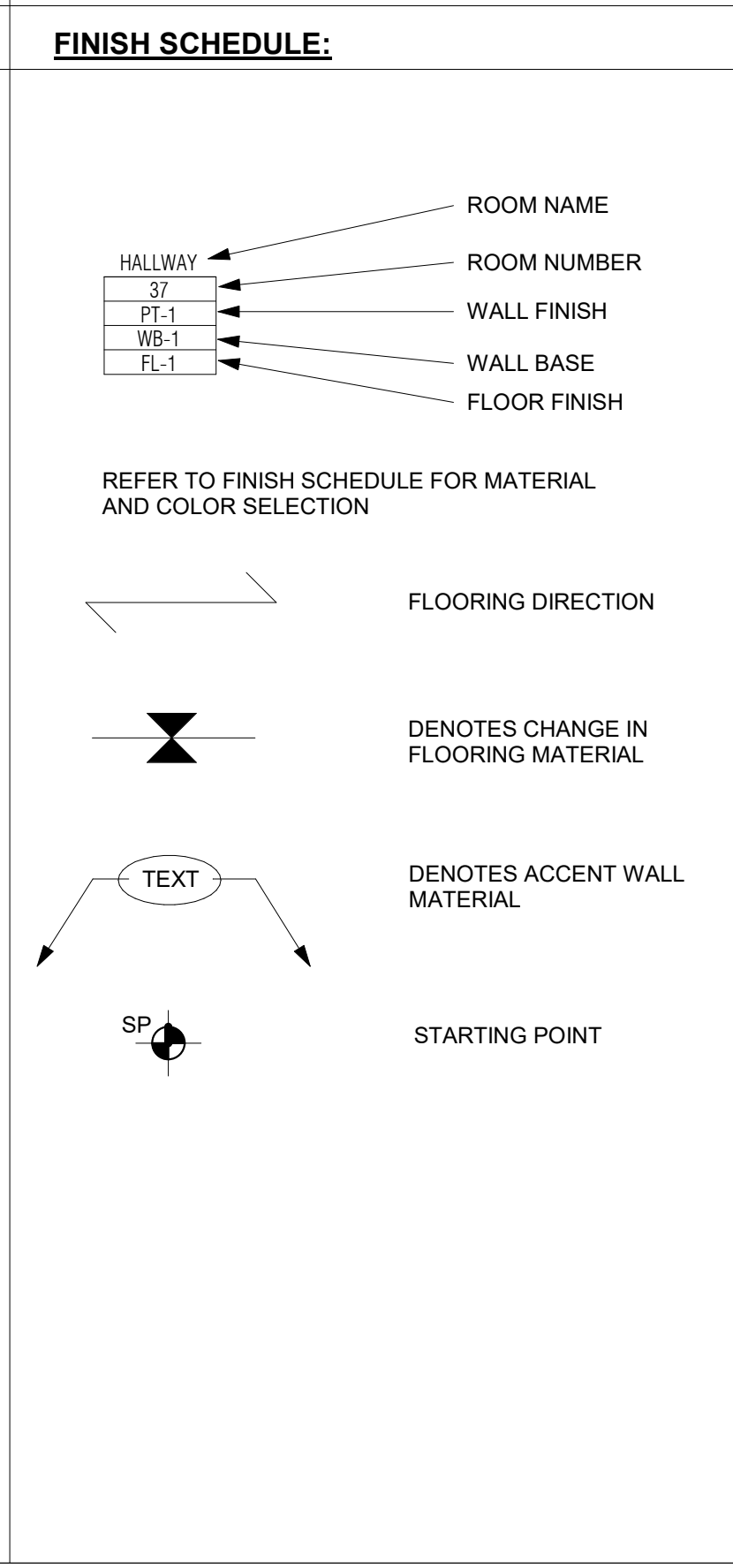
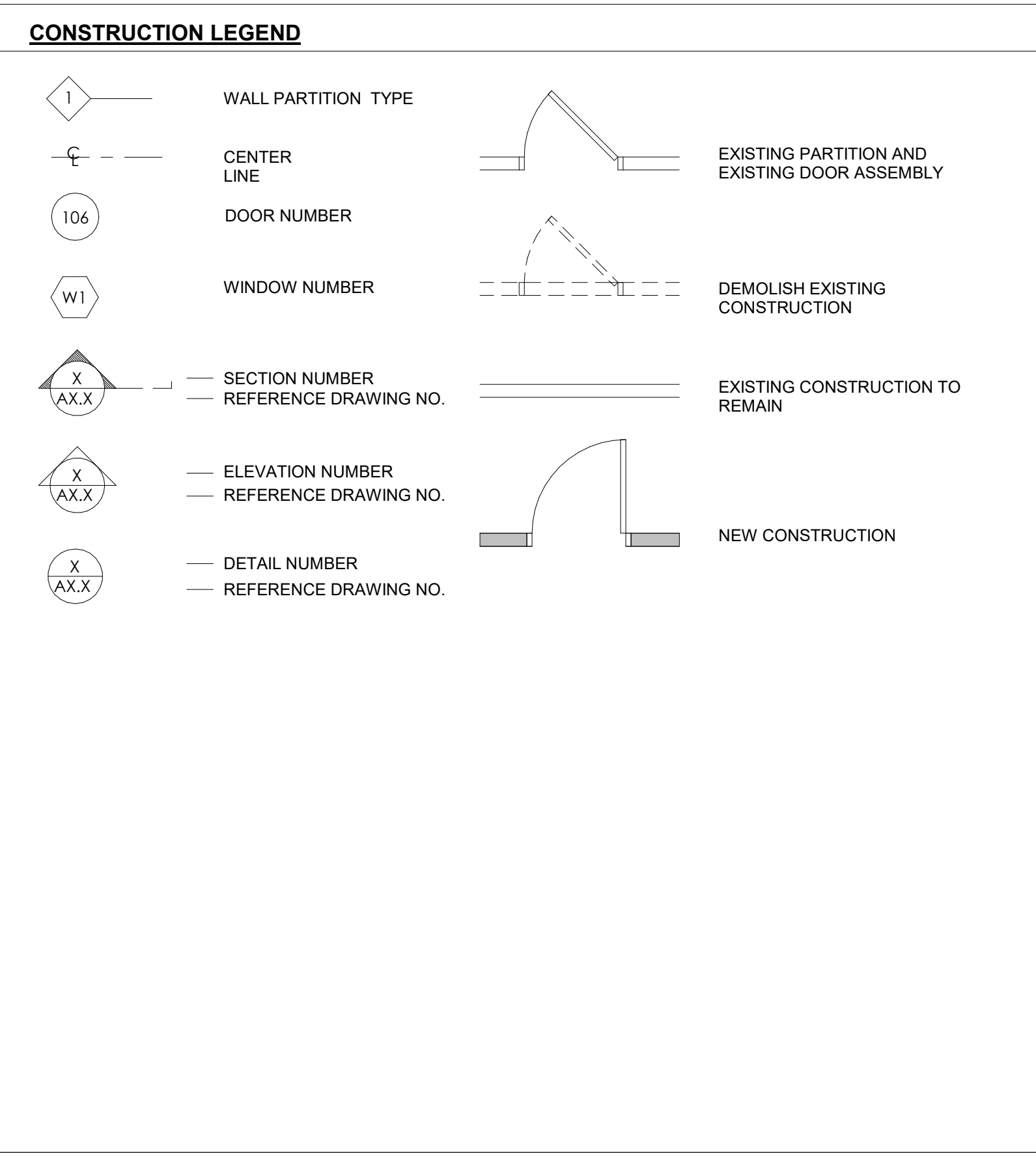
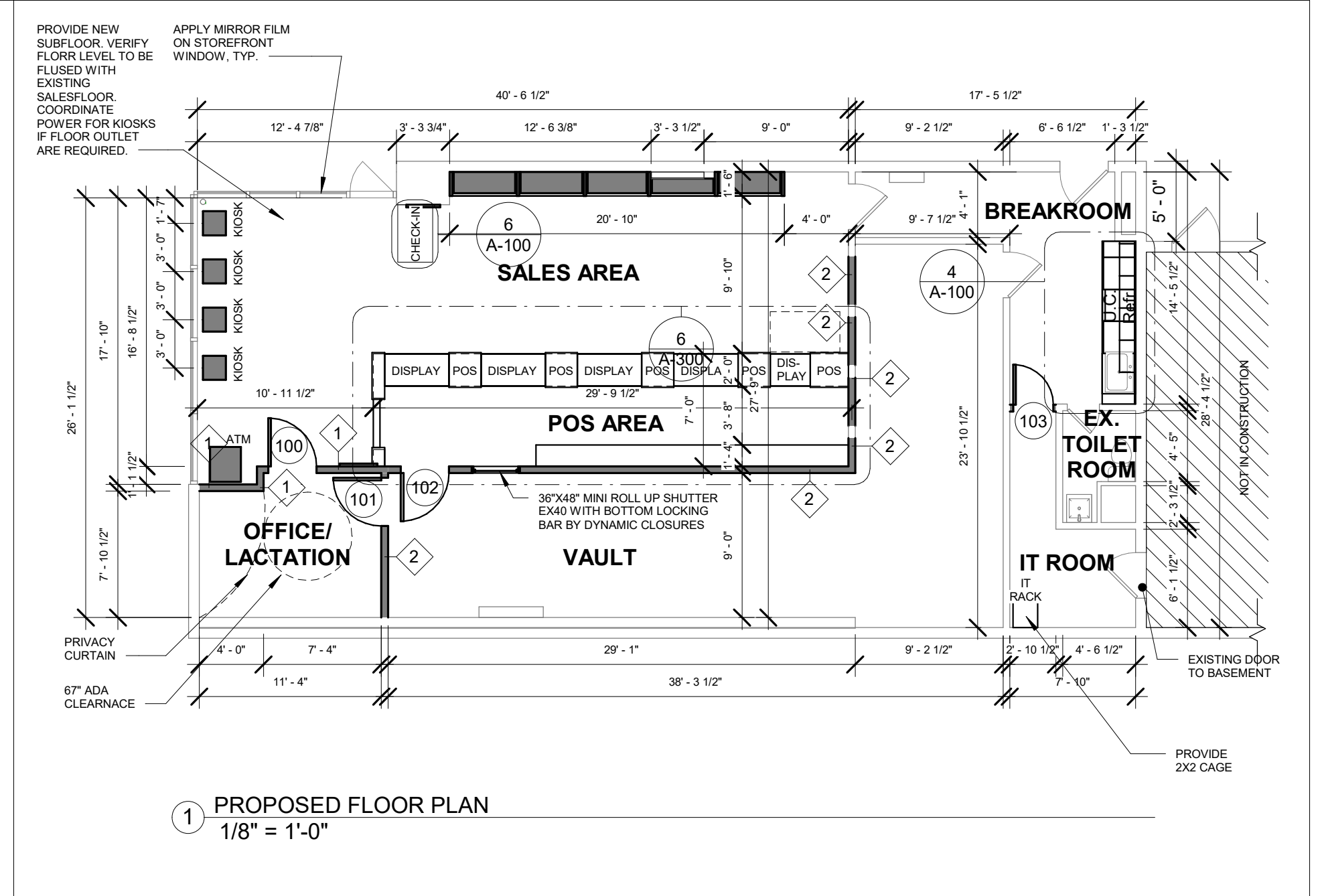
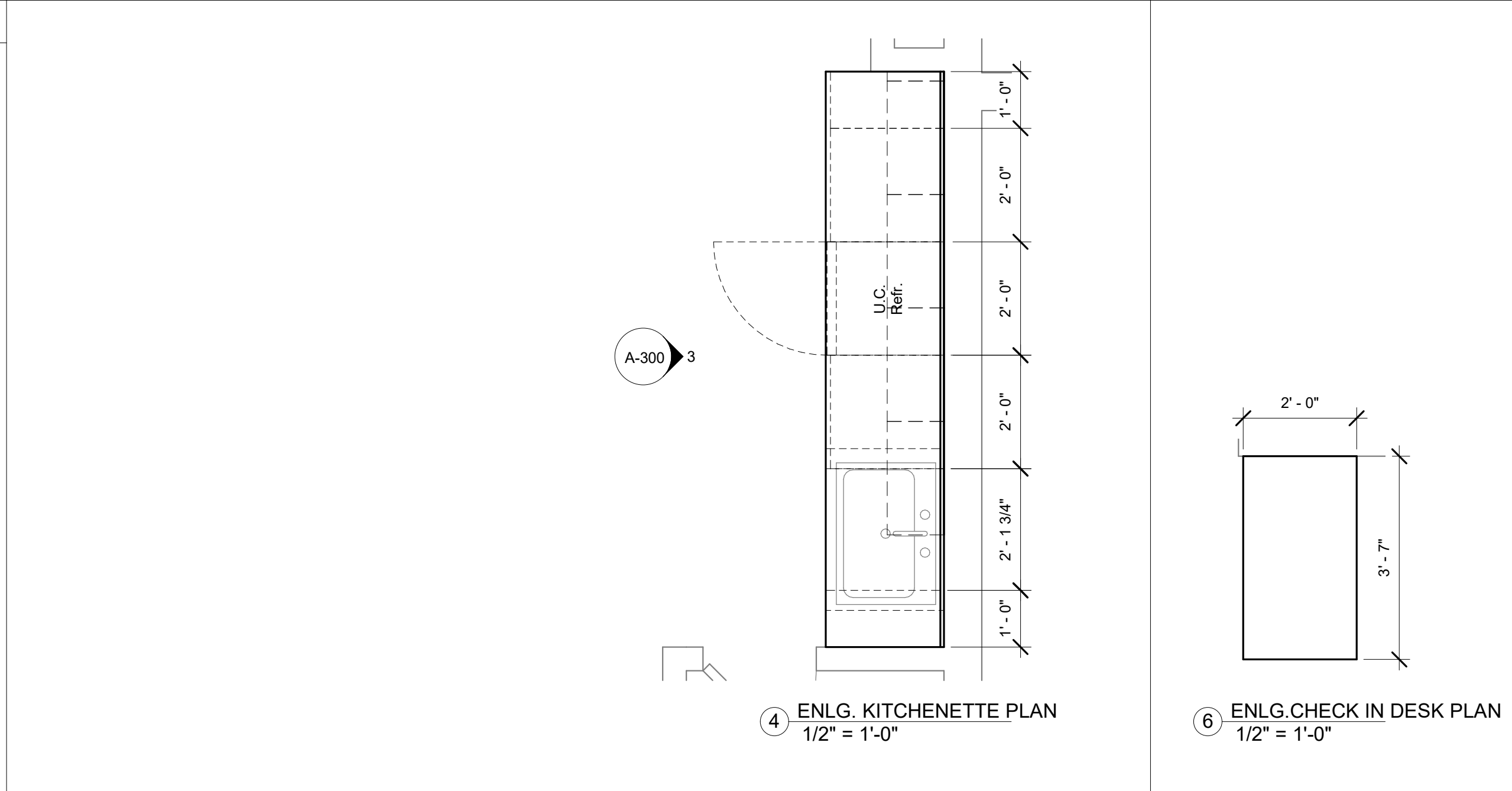
**DEMOLITION KEYNOTES**

1 EXISTING FLOORING TO BE REMOVED AND PREPARE FOR NEW FINISH. PATCH & REPAIR AS REQUIRED.	6 EXISTING RAISED PLATFORM TO BE DEMOLISHED AND PREPARE FOR NEW FINISH. PATCH & REPAIR AS REQUIRED.
2 ALL WALL TO BE PRIMED AND PREPARED FOR PAINT. PROVIDE MIN. (2) COATS OF PRIMER PRIOR TO FINAL COLOR. PATCH AND REPAIR AS REQUIRED	7 EXISTING WALL TILE TO BE REMOVED
3 EXISTING SINKS TO BE REMOVED. CAP EXISTING PLUMBING LINE	8 EXISTING MECHANICAL UNITS TO BE REMOVED
4 EXISTING MILLWORK TO BE REMOVED. PATCH EXISTING FLOOR SUBSTRATE TO RECEIVE NEW FINISH.	9 EXISTING PLUMBING FIXTURE TO BE REMOVED. CAP FOR NEW REPLACEMENT IN-KIND.
5 EXISTING REFRIGERATORS TO BE REMOVED.	



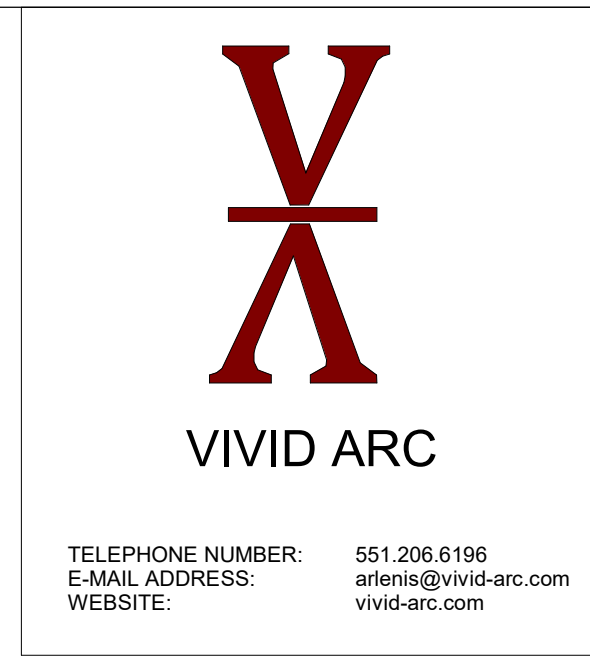
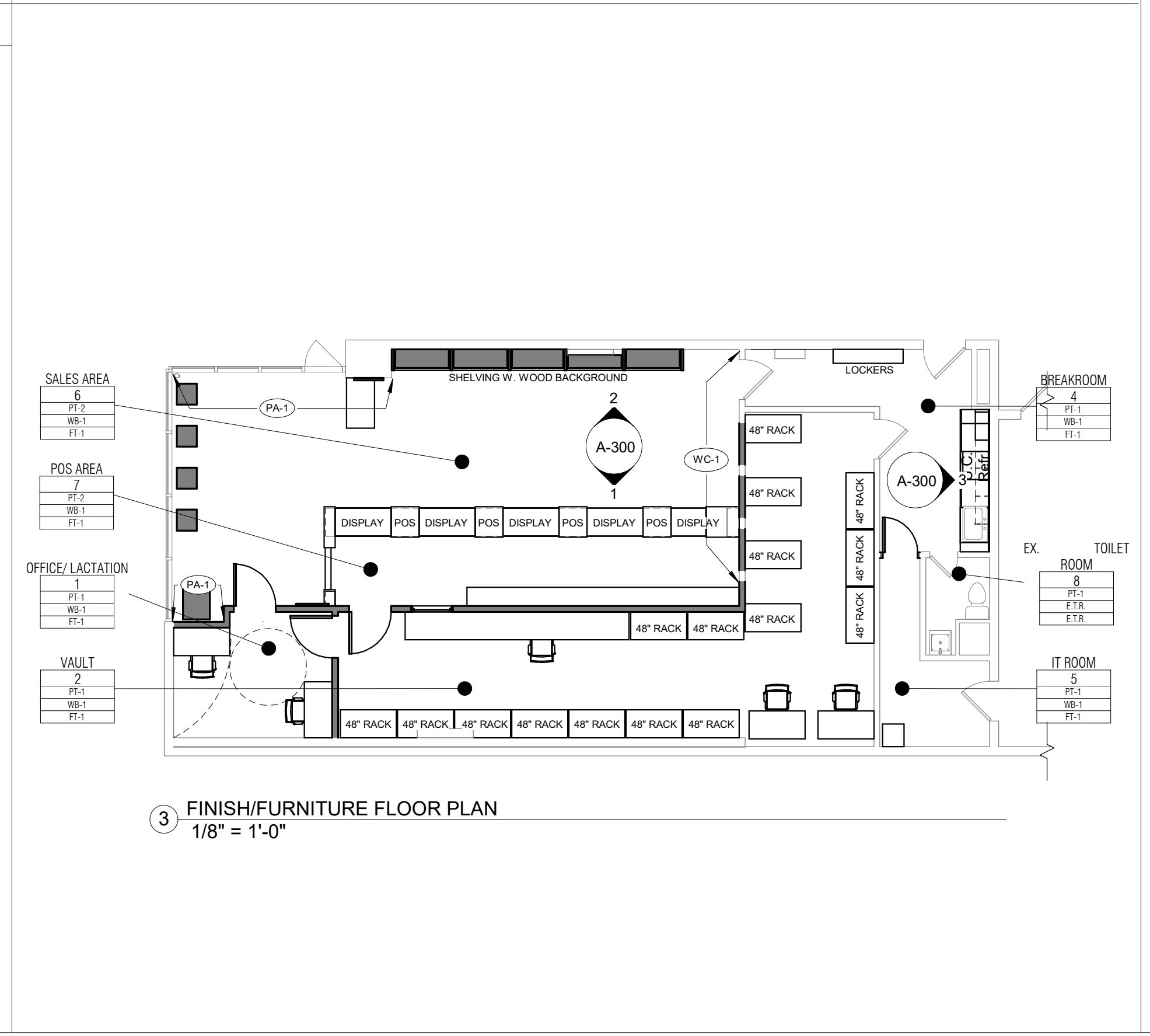
**CONSTRUCTION NOTES:**

- CONSTRUCTION NOTES ARE SUPPLEMENTAL TO GENERAL NOTES FOR THE PROJECT. REVIEW GENERAL NOTES PRIOR TO COMMENCEMENT OF WORK.
- DO NOT SCALE DRAWINGS. ANY DIMENSIONAL CLARIFICATIONS OR ADDITIONAL INFORMATION WILL BE FURNISHED BY THE ARCHITECT UPON WRITTEN REQUEST OF THE CONTRACTOR. ARCHITECTS CONSTRUCTION PLAN SUPERCEDES ALL OTHER PLANS, BUT DOES NOT LIMIT CONTRACTOR TO CONSTRUCTION PLAN WORK ONLY.
- ALL DIMENSIONS ARE FINISH TO FINISH UNLESS OTHERWISE NOTED. DIMENSIONS MARKED "CLEAR" SHALL BE EXPRESSLY MAINTAINED. ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING CARPET, CERAMIC TILES, VCT, ETC.
- ALL DOORS FRAMES SHALL BE LOCATED 4" FROM FACE OF ADJACENT PERPENDICULAR WALL TO INSIDE FACE OF DOOR JAMB UNLESS OTHERWISE INDICATED. COMPLY WITH ANS117.1-2003 MANEUVERING REQUIREMENTS.
- ALL NEW PARTITIONS SHALL BE PERPENDICULAR OR PARALLEL OF BUILDING DATUM UNLESS OTHERWISE NOTED.
- FRAMING CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND COMMUNICATIONS/ SECURITY CONTRACTOR REGARDING LOCATIONS OF POWER AND COMMUNICATIONS RECEPTACLES AND TERMINATIONS, AND ANY OTHER SPECIAL FRAMING REQUIREMENTS.
- PROVIDE LATERAL BRACING OF PARTITIONS ABOVE CEILING AS REQUIRED. BRACING SHALL BE PROVIDED IN CONFORMANCE WITH ACCEPTABLE PRACTICE, APPLICABLE CODE, OR AS OTHERWISE MAY BE REQUIRED BY THE LOCAL SUB-CODE OFFICIAL.
- PROVIDE WOOD BLOCKING AS REQUIRED AT ALL PARTITIONS RECEIVING WALL HUNG CABINETS, FIXTURES, HARDWARE, ACCESSORIES, GRAB BARS, ETC. PROVIDE SOLID WOOD BLOCKING IN PARTITIONS AT ALL LOCATIONS WHERE WALL MOUNTED DOORSTOPS ARE TO BE INSTALLED.
- INSTALL WATER RESISTANT GYPSUM BOARD ("GREEN BOARD") IN ALL TOILET ROOMS AND OTHER WET AREAS SUCH AS AT JANITOR'S CLOSETS, ETC. PROVIDE CEMENT BOARD BEHIND ALL TILES IN TUB/SHOWER AREA & BATHROOMS.
- INSTALL DRYWALL FURRING AS REQUIRED TO ACCOMMODATE DEPTH OF FIRE EXTINGUISHER CABINETS, RECESSED TOILET ROOM ACCESSORIES, OR OTHER RECESSED FIXTURES OR APPLIANCES SPECIFIED HEREIN. WALL FRAMING TO COMPLY WITH BUILDING CONSTRUCTION TYPE.
- ALL GYPSUM BOARD SURFACES SHALL BE TAPED, SPACKLED, AND SANDED AS REQUIRED TO RECEIVE SCHEDULED FINISHES.
- INSTALL GYPSUM BOARD "NOMINALLY TIGHT" (1/4") TO FLOOR SLAB, TO PREVENT POOR INSTALLATION OF WALL BASE.
- FRAME AND DRYWALL AROUND DUCTWORK PENETRATING PARTITIONS. GAP BETWEEN FRAMED OPENINGS AND DUCT SHALL NOT EXCEED (1/2"). WHERE DUCTWORK PENETRATES FIRE RATED PARTITIONS, PROVIDE FIRE AND/OR SMOKE DAMPERS AS INDICATED ON ENGINEERING DRAWINGS, OR AS OTHERWISE REQUIRED BY CODE. FILL ALL PENETRATIONS IN FIRE RATED PARTITIONS WITH APPROVED FIRE STOP MATERIALS, AS REQUIRED TO MAINTAIN FIRE RATINGS.



**FINISH LEGEND:**

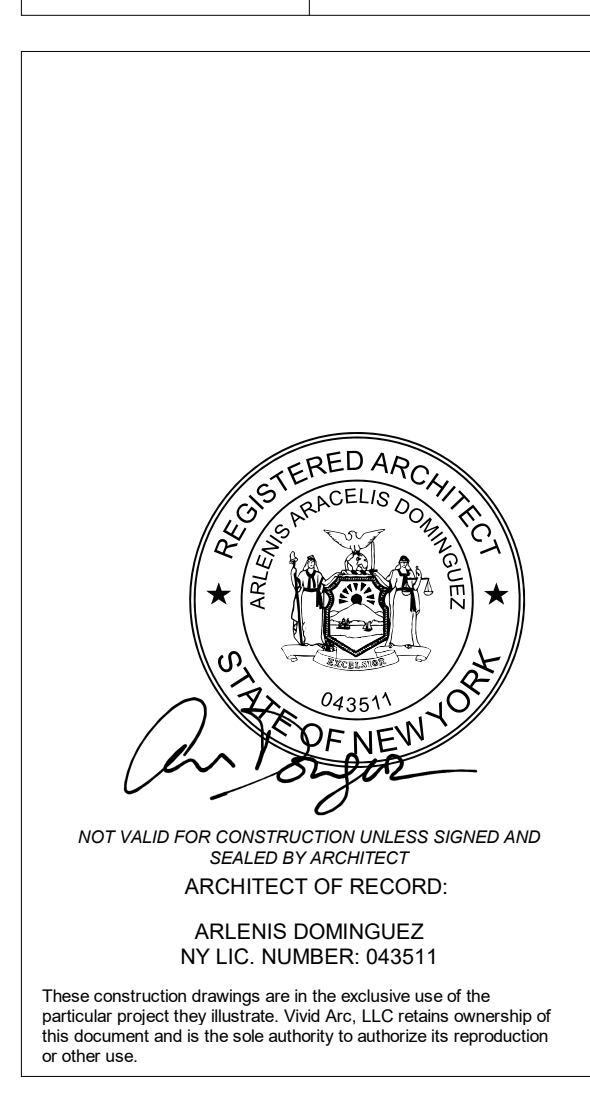
ID	DESCRIPTION	MANUFACTURER/MODEL/COLOR	NOTES
<b>FLOOR</b>			
FT-1	GENERAL FLOORING	LVT. TBD.	
<b>WALL PAINT</b>			
PT-1	GENERAL WHITE PAINT	TBD	
PT-2	SALESFLOOR PAINT	TBD	
<b>WALL COVER</b>			
WC-1	WALL COVERING	TBD	
WC-2	BATHROOM WALLCOVER	TBD	
<b>STONE</b>			
ST-1	COUNTERS	SELECTED BY OWNER	
<b>MISCELLANEOUS</b>			
WP-1	MILLWORK PANEL	TBD	
WB-1	RUBBER WALL BASE	TBD	
PA-1	PLASTER WALL	TBD	



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Best Dispensary Near Me Bay Street LLC



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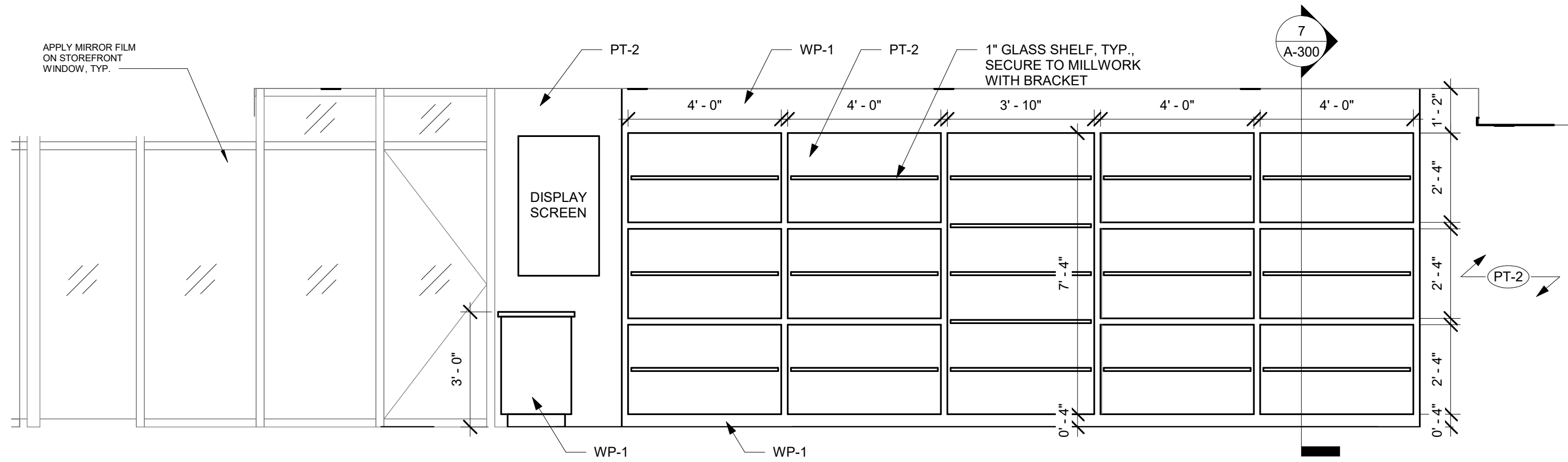
PROJ. NO.: 1396 SCALE: As indicated

DWG. NAME: **PROPOSED AND FINISH FLOOR PLAN**

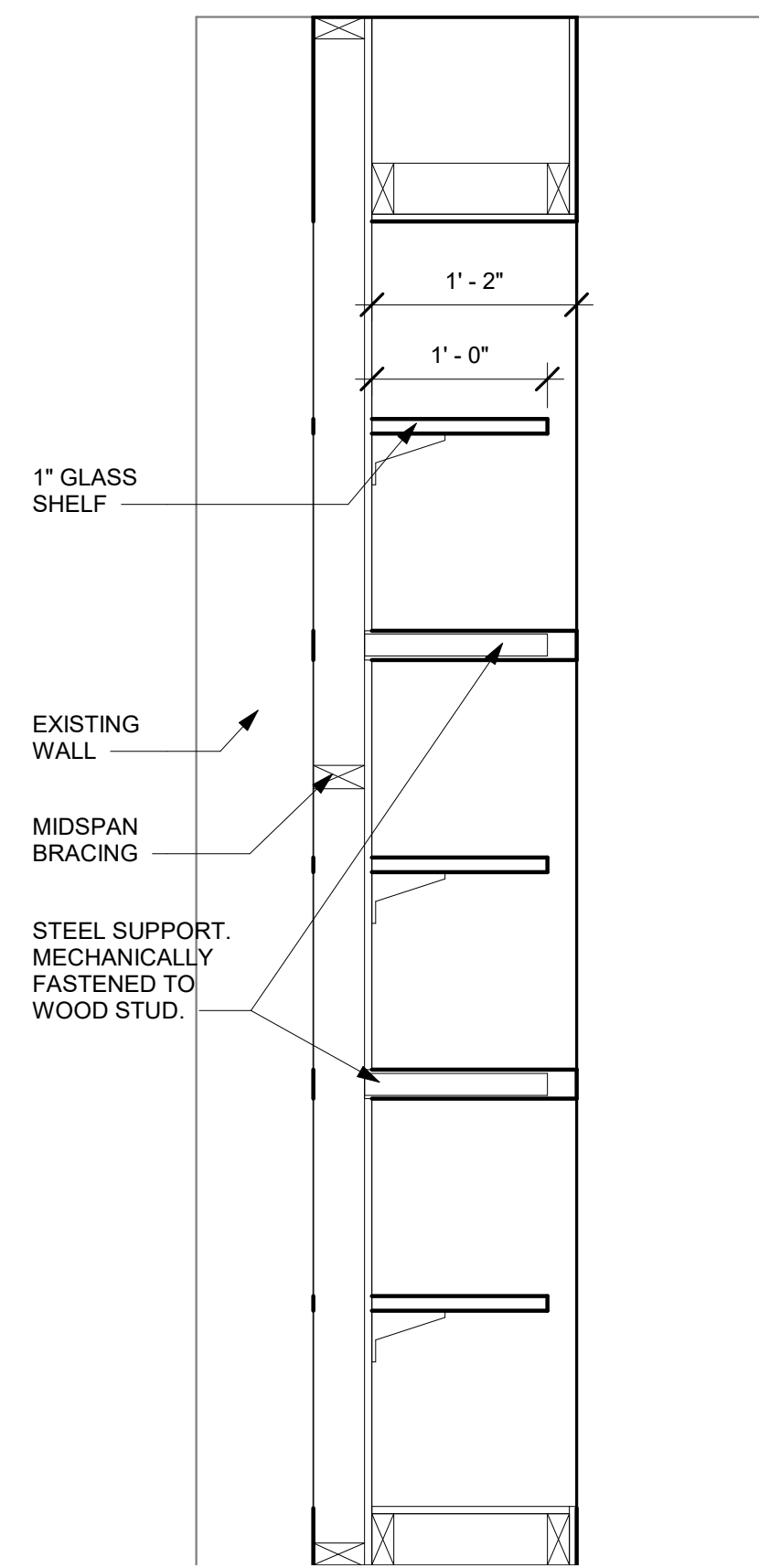
DWG. NO.: **A-100**

SHEET NO. OF PLOT DATE

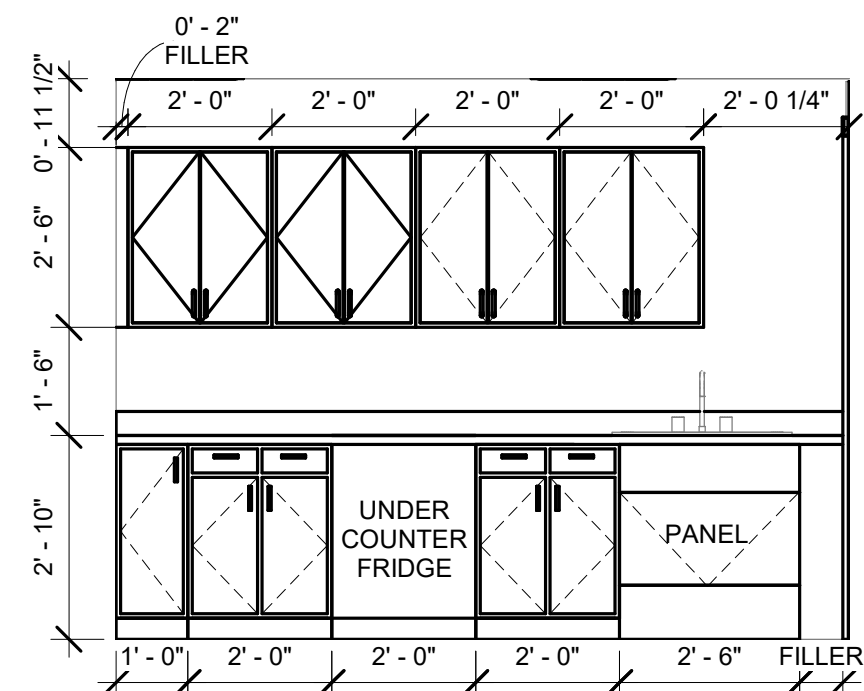




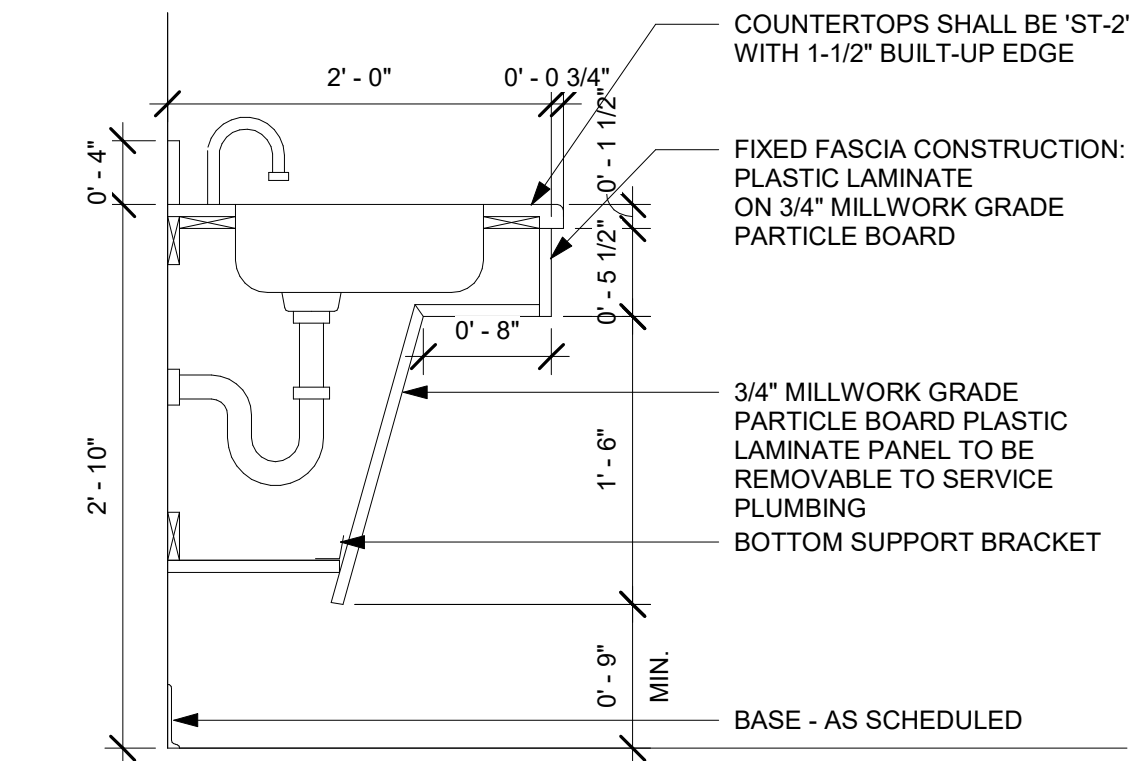
2 DISPLAY SHELF ELEVATION  
3/8" = 1'-0"



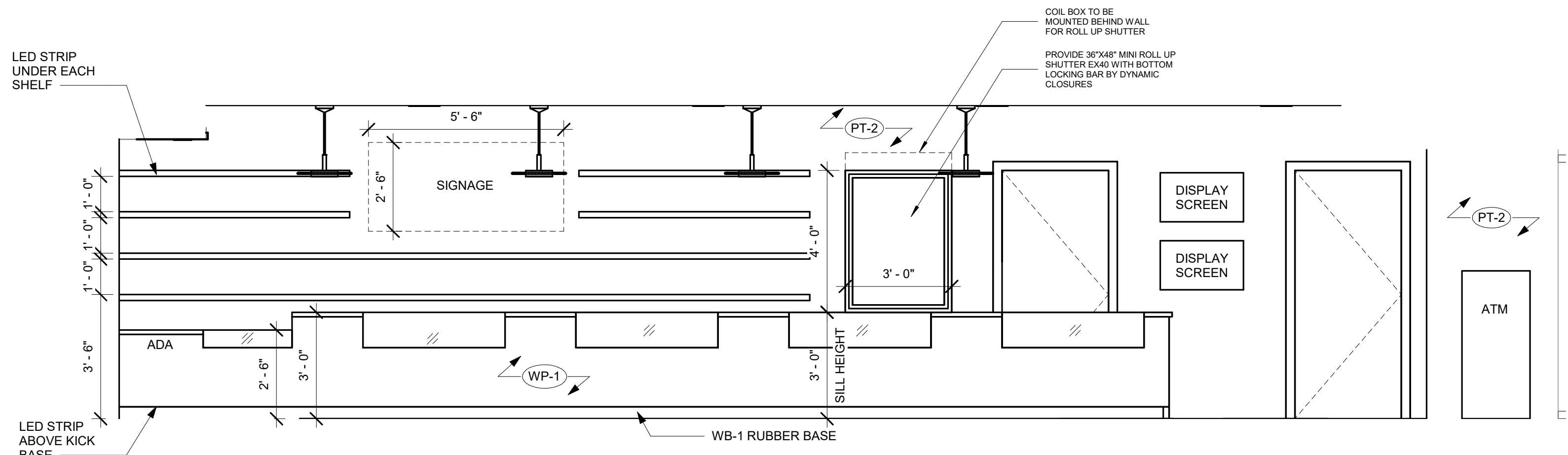
7 Section 1  
1" = 1'-0"



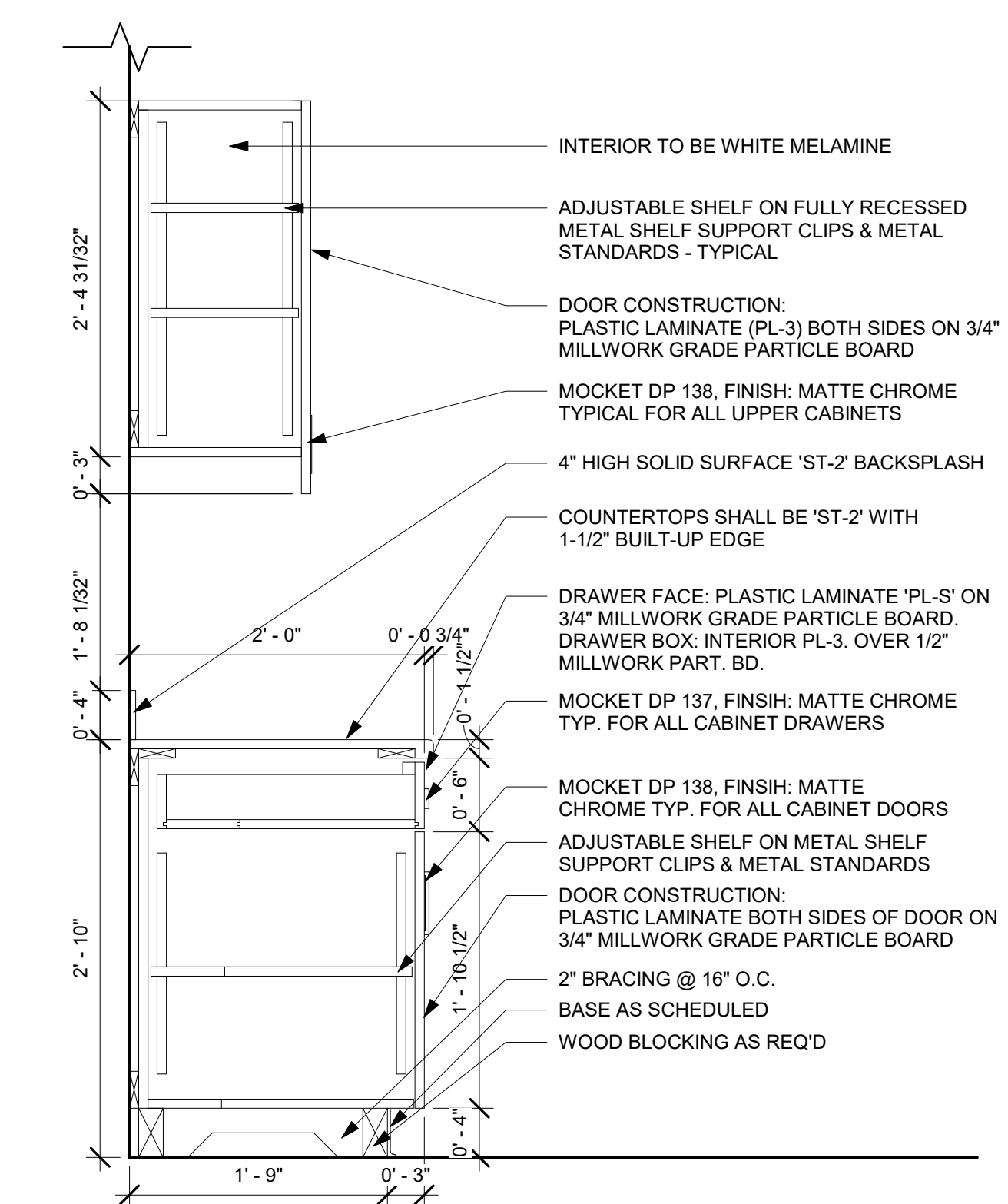
3 Elevation 2 - c  
3/8" = 1'-0"



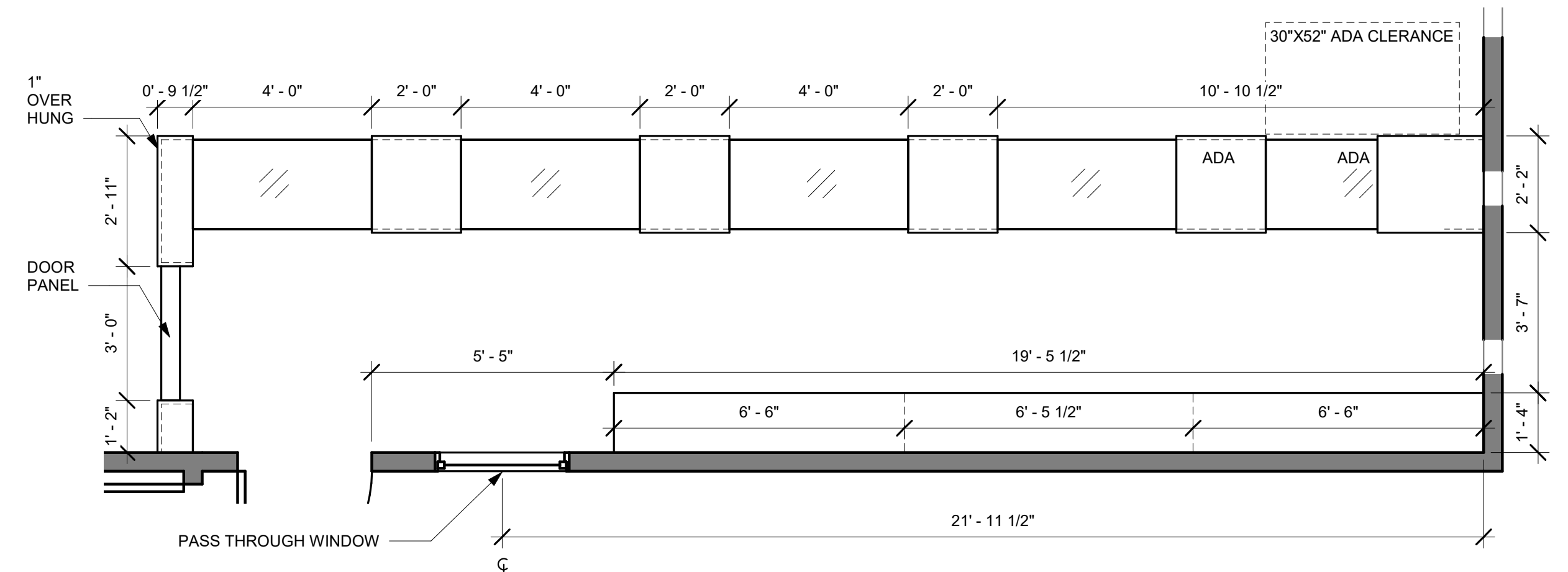
5 MILLWORK SECTION @ SINK  
1" = 1'-0"



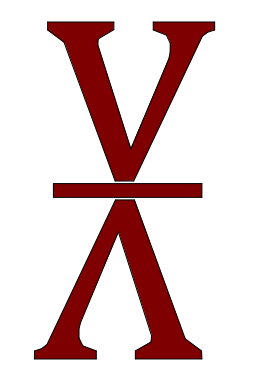
1 POS ELEVATION  
3/8" = 1'-0"



4 MILLWORK SECTION @ CABINETS  
1" = 1'-0"



6 ENLARGED POS COUNTER PLAN  
3/8" = 1'-0"



VIVID ARC

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DATE	DRN	CHK	DESCRIPTION
10/10/25	SW	AD	PERMIT SET

#	Date	DRN	CHK	Description

PROJ. NO.: 1396  
SCALE: As indicated

DWG. NAME: PROPOSED ELEVATIONS AND SECTIONS

DWG. NO: A-300

SHEET NO. OF PLOT DATE

