

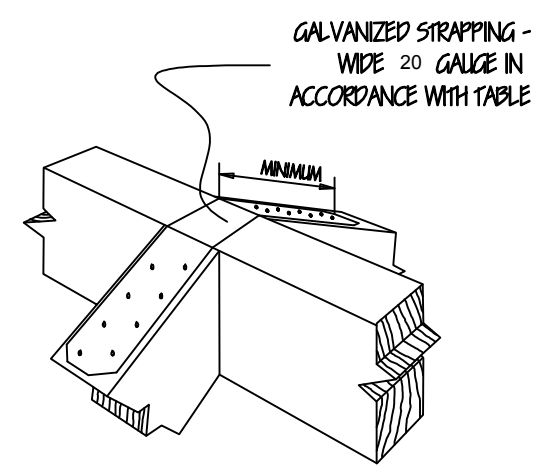
BUILDING PLAN REVIEW NOTES:	
<p>TOWN BUILDING PLANS EXAMINER SHALL REVIEW THE ENCLOSED DOCUMENT FOR MINIMUM ACCEPTABLE PLANS SUBMITTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN'S SPECIFIED IN BUILDING AND/OR RESIDENTIAL CODE OF THE STATE OF NEW YORK. THIS REVIEW DOES NOT GUARANTEE COMPLIANCE WITH THAT CODE. TO SEAL AND SIGNATURE OF THE DESIGN PROFESSIONAL HAS BEEN INTERPRETED AS AN ATTESTATION THAT, TO THE BEST OF THE LICENSEE'S BELIEF AND INFORMATION, THE WORK IN THE DOCUMENT IS:</p> <ul style="list-style-type: none"> <li>ACCURATE.</li> <li>CONFORMS WITH GOVERNING CODES APPLICABLE AT THE TIME OF SUBMISSION.</li> <li>CONFORMS WITH REASONABLE STANDARDS OF PRACTICE AND WITH VIEW TO THE SAFEGUARDING OF LIFE, HEALTH AND PUBLIC WELFARE.</li> <li>IS THE RESPONSIBILITY OF THE LICENSEE.</li> </ul>	
<b>GENERAL NOTES:</b>	
1.	IT IS THE INTENTION OF THESE DOCUMENTS TO PROVIDE FOR THE CONSTRUCTION OF A RESIDENCE OR RESIDENTIAL. ADDITION INCLUDING EVERY ITEM REQUIRED TO COMPLETE THE WORK. ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.
2.	ALL CONSTRUCTION SHALL COMPLY WITH THE LATEST RULES AND REGULATIONS OF THE NEW YORK STATE BUILDING CODE AND ALL OTHER AGENCIES HAVING JURISDICTION OVER THE WORK. IT SHALL NOT BE CONSTRUED TO MEAN THAT ANY MORE STRINGENT REQUIREMENTS SET FORTH BY THESE DOCUMENTS MAY BE MODIFIED.
3.	ALL MATERIALS AND CONSTRUCTION SHALL BE NEW IN STRICT COMPLIANCE WITH THE LATEST STANDARDS OF THE VARIOUS TRADE ORGANIZATIONS (AIA, AISC, ETC.).
4.	ALL MATERIALS TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
5.	ALL WORK SHALL BE MAINTAINED WITH ALL TRADES TO AVOID CONFLICTS.
6.	ALL CONTRACTORS TO MAINTAIN WORKMANS COMPENSATION AND DISABILITY INSURANCE IN AMOUNTS REQUIRED BY LAW.
7.	ALL CONTRACTORS SHALL BE HELD TO HAVE VISITED THE JOB SITE TO BECOME FAMILIAR WITH THE DIFFICULTIES OF A PROJECT.
8.	ALL CONTRACTORS SHALL OBTAIN AND PAY FOR ALL PERMITS, SOIL TEST REPORTS, ETC. REQUIRED TO COMPLETE THE WORK.
9.	ALL CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS EFFECTING THE WORK, INCLUDING DIMENSIONS TO INSURE PROPER STRENGTH, FIT AND LOCATION OF THE WORK IF A CONDITION EXISTS WHICH DISAGREES WITH THOSE SHOWN ON THE DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT. SHOULD THE CONTRACTOR FAIL TO FOLLOW THIS PROCEDURE HE SHALL ASSUME ALL RESPONSIBILITY AND LIABILITY ARISING THERE FROM.
10.	ALL CONTRACTORS SHALL VERIFY LOCATIONS OF EXISTING UNDERGROUND UTILITIES.
11.	CONTRACTORS SHALL PROVIDE ALL NECESSARY SUPPORT, BRACING, SHORING, ETC. TEMPORARY OR PERMANENT, AS REQUIRED TO SAFELY CONSTRUCT THE PROJECT.
12.	ALL CONTRACTORS SHALL EXERCISE GOOD JUDGMENT TO MINIMIZE DAMAGE TO EXISTING CONDITIONS (INCLUDING LAWNS AND SHRUBS), ALL DAMAGED AREAS TO BE RESTORED TO ORIGINAL CONDITIONS.
13.	THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE OWNER TO DESIGN, PROVIDE AND INSTALL ALL MECHANICAL, ELECTRICAL, AND PLUMBING WORK. ALL SITE WORK, ALL MATERIALS AND FINISHES WHICH ARE NOT OTHERWISE INDICATED ON THE DOCUMENT AND/OR REQUIRED BY APPLICABLE CODES OR OWNER REQUIREMENTS.
14.	ALL WORK SHALL BE FULLY GUARANTEED FOR ONE YEAR AFTER THE INSURANCE DATE OF A CERTIFICATE OF OCCUPANCY.
15.	OWNER TO SELECT FINISH MATERIALS; KITCHEN AND BATHROOM FIXTURES, TYPE AND LOCATION OF LIGHTING FIXTURES SWITCHED AND TELEPHONE JACKS.
16.	THE OWNER IS RESPONSIBLE OF OBTAINING THE FINAL SURVEY AND ALL COSTS FOR BUILDING DEPARTMENT REQUIREMENTS.
17.	THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUE, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
18.	THE ARCHITECT HAS NOT BEEN RETAINED FOR ANY FIELD SUPERVISION OR INSPECTIONS.
19.	DUE NOT SCALE. THESE DRAWINGS, UNLESS OTHERWISE NOTED, USE FIELD DIMENSIONS IN COORDINATION WITH PLANNED DIMENSIONS.
<b>SITE NOTES:</b>	
1.	PITCH GRADE AWAY FROM THE BUILDING (R403.1).
2.	STORM WATER TO BE DISPOSED OF IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS.
3.	ALL TREES WITHIN 15'-0" OF PROPOSED CONSTRUCTION TO BE PROTECTED.
4.	ALL LANDSCAPING DAMAGED BY THE CONSTRUCTION OPERATION TO BE REPLACED AS REQUIRED.
5.	ALL DAMAGED CURBING, SIDEWALKS, ETC., TO BE REPLACED.
<b>CONCRETE NOTES:</b>	
1.	SOIL BARING CAPACITY IS ASSUMED TO BE 3000 PSF (TABLE R401.4.1) SHOULD POORER SOIL CONDITIONS BE ENCOUNTERED ACTUAL BEARING CAPACITY SHALL BE DETERMINED AND FOOTINGS ARE TO BE REDESIGNED.
2.	ALL CONCRETE WORK TO CONFORM TO LATEST AIA CODE.
3.	ALL CONCRETE (TO INCLUDE GARAGE SLABS AND CONCRETE EXPOSED TO WEATHERING) SHALL BE 3000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED. ALL EXPOSED CONCRETE SHALL BE AIR ENTRAINED (TABLE R402.2).
4.	ADEQUATE PROTECTION TO BE MADE FOR CONCRETE AND MASONRY WORK AGAINST FREEZING. NO CONCRETE OR MASONRY SHALL BE PERFORMED IN POLYURETHANE.
5.	ADDITIVES SHALL NOT BE PERMITTED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.
6.	ALL FOOTING TO BE CAST CONCRETE AND REST ON VIRGIN SOIL 3'-0" MINIMUM BELOW GRADE. STEP AS REQUIRED (R403.1.4).
7.	ALL FOOTING TO HAVE A PROJECTION AT EACH SIDE OF THE WALL ABOVE. PROVIDE 3 #5 CONTINUOUS REBARS UNLESS OTHERWISE NOTED (R403.1.3.5). PROJECTION NOT TO EXCEED THE FOOTING THICKNESS.
8.	PROVIDE 2"x4" MINIMUM KEY WAY BETWEEN FOOTING AND FOUNDATION WALL (R403.1.1).
9.	WALL FORMS TO REMAIN IN PLACE THREE DAYS MINIMUM.
10.	CONCRETE FOUNDATION WALLS SHALL BE CAST MONOLITHIC NO HORIZONTAL JOINTS SHALL BE PERMITTED SHOULD A BREAK IN CASTING BE REQUIRED IT SHALL BE VERTICAL AND THE SURFACE SHALL BE PREPARED PRIOR TO THE NEXT CAST.
11.	PROVIDE SLEEVES IN FOUNDATION WALLS AS REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING, TRADES AS REQUIRED COORDINATE WITH OTHER CONTRACTORS, AGENCIES, ETC..
12.	CONCRETE CONTRACTOR SHALL PROVIDE ADEQUATE BRACING FOR ALL WALLS AS REQUIRED TO EXIST WIND AND CONSTRUCTION LOADS.
13.	THE EXTERIOR SURFACE OF ALL FOUNDATION WALLS SHALL BE DAMPROOFED.
14.	ANCHOR BOLTS TO BE 1/2" LONG WITH 3" HOOK AND 3"x3" WASHER SPACE 39" O.C. MAXIMUM FOR 8'-0" END ZONES, AND 45" O.C. FOR INTERIOR ZONES. PROVIDE TWO BOLTS AT EACH CORNER SPACED 1'-0" APART WITHIN 6" X 12" OF CORNER & PLATE ENDS WITH MINIMUM OF 7" EMBEDMENT IN POURED CONCRETE & 15" IN MASONRY BLOCK. FILL TOP TWO COURSES SOLID IN ACCORDANCE WITH WOOD FRAME CONSTRUCTION MANUAL 3.2.1.7 TABLE 3.2A, 3.2B, 3.3, & 3.3A.
15.	ALL SLABS ON GRADE SHALL REST ON A 6" COMPACTED BASE OF CLEAN SAND OR GRAVEL. INSTALL A 6 MIL. POLYETHYLENE VAPOR BARRIER PRIOR TO CASTING SLAB.
16.	ALL SLABS ON GRADE TO HAVE 6"x6" W1 x 4 W1 x 4 W14 REINFORCING CONFORMING TO ASTM A188. SEE R508 RESIDENTIAL CODE SECTION.
17.	PROVIDE SAWS OR KEYS AND FORMED CONTROL JOINTS FOR SLAB AND WALKS ON GRADE AT 20'-0" O.C. MAXIMUM IN BOTH DIRECTIONS.
18.	STEP FOOTINGS DOWN AS REQUIRED. MAXIMUM STEP FOOTINGS SHALL BE ONE VERTICALLY TO TWO HORIZONTALLY WHERE ELEVATIONS CHANGE.
19.	CRAWL SPACE VENTS, IN ACCORDANCE WITH R408.1 ARE TO BE LOCATED WITHIN 3'-0" OF EACH CORNER OF THE BUILDING.
20.	ACCESS TO CRAWL SPACE AS PER R408.4.

EXCAVATION NOTES:	
1.	EXCAVATION CONTRACTOR TO EXCAVATE TRUE TO LINES AND GRADES DOWN TO SPECIFIED LEVELS.
2.	ALL TOP SOIL TO BE STOCK PILED FOR FUTURE USE. ALL GOOD MATERIAL NEEDED FOR BACK FILL TO BE STOCK PILED SEPARATELY, EXPACED AND UNACCEPTABLE MATERIAL TO BE LEGALLY REMOVED FROM THE SITE.
3.	ALL BACK FILL TO BE PLACED IN 12" LIFTS, AND COMPACT LAYER BY LAYER TO 95 PERCENT PROCTOR DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D 1557.
4.	BACKFILL AS PER CODE R404.1.7.
<b>ROUGH CARPENTRY NOTES:</b>	
1.	ALL LUMBER SHALL BE DOUGLAS FIR #1 OR BETTER, WITH AN EXTREME FIBER STRESS (F <sub>b</sub> ) OF 850 PSI MINIMUM.
2.	ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED UNLESS OTHERWISE NOTED. (R317)
3.	THE ENTIRE WORK SHALL BE ACCURATELY FRAMED PLUMB, LEVEL AND TRUE. BRACED AND ANCHORED TOGETHER TO FORM A RIGID STRUCTURE. TO ENSURE EVEN SETTLEMENT AND SHRINKAGE THROUGHOUT.
4.	ANCHOR BOLTS TO BE 1/2" LONG WITH 3" HOOK AND 3"x3" WASHER SPACE 39" O.C. MAXIMUM FOR 8'-0" END ZONES, AND 45" O.C. FOR INTERIOR ZONES. PROVIDE TWO BOLTS AT EACH CORNER SPACED 1'-0" APART WITHIN 6" X 12" OF CORNER & PLATE ENDS WITH MINIMUM OF 7" EMBEDMENT IN POURED CONCRETE & 15" IN MASONRY BLOCK. FILL TOP TWO COURSES SOLID IN ACCORDANCE WITH WOOD FRAME CONSTRUCTION MANUAL 3.2.1.7 TABLE 3.2A, 3.2B, 3.3, & 3.3A.
5.	ALL NAILS, BOLTS, JOIST HANGERS AND FRAMING CONNECTORS TO BE HOT DIPPED GALVANIZED. ALL FLUSH CONNECTIONS TO BE SIMPSON STRONG TIE.
6.	ALL JOISTS, HEADERS, BEAMS AND RAFTERS TO HAVE 2" MINIMUM BEARING AT EACH END.
7.	FLOOR JOISTS SHALL BE BRIDGED AT 8' O.C.
8.	ALL STRUCTURAL LUMBER SHALL BE KEPT 2" CLEAR OF CHIMNEYS AND FIRE BOXES.
9.	HEADERS, TRIMMERS AND JOISTS UNDER PARTITIONS TO BE DOUBLED, BLOCK BETWEEN JOISTS UNDER PARTITIONS. STUD WALLS TO BE BLOCKED SOLID AT MIDSPAN.
10.	PROVIDE HEADERS OVER ALL OPENINGS EQUAL TO FULL WIDTH OF FRAMING. ALL WALL OPENINGS SHALL HAVE DOUBLED STUD JAMS. MINIMUM HEADER SIZE TO BE (2) 2"x8" FOR OPENINGS UP TO 3'-0" WIDE AND/OR (2) 2"x8" FOR OPENINGS UP TO 5'-0" WIDE UNLESS OTHERWISE NOTED.
11.	ALL EXTERIOR WALL CORNERS TO HAVE FOUR STUDS MINIMUM NAILED WITH 16d @ 12" O.C.
12.	ALL TOP PLATES TO BE DOUBLED WITH A 4" MINIMUM LAP SPACE BUT JOINTS TO OCCUR OVER A STUD NAIL WITH 16d @ 12" O.C. (WFCM TABLE 3.20)
13.	PROVIDE 2" CLEARANCE FROM TOP OF ALL INTERIOR NONBEARING PARTITIONS TO UNDERSIDE OF FRAMING.
14.	ALL PLYWOOD USED STRUCTURALLY SHALL MEET THE PERFORMANCE STANDARDS FOR TYPES AND SPECIES AS IDENTIFIED BY APPROVAL AGENCIES STAMP.
15.	ALL SHEATHING SHALL BE 2" DOUGLAS FIR EXTERIOR GRADE PLYWOOD NAILED AS SHOWN ON SCHEDULE. ALLOW 2" TO INTERIOR INTERMEDIATE BLOCKING POINTS. COVER SHEATHING WITH AIR INFLATION BARRIER PROPERLY TAPED AND SEALED.
16.	PROVIDE COLLAR BEAMS AT ROOF RAFTERS AT 32" O.C.
17.	STRUCTURAL ENGINEER LUMBER TO BE AS MANUFACTURED BY TRUSS JOIST MACMILLAN OR APPROVED EQUAL.
18.	PROVIDE FIRE BLOCKING AS PER R602.8 & 502.13 IN ACCORDANCE WITH SECTION R302.11 (FIRELOCKING), DRAFT STOPPING AS PER 502.12 IN ACCORDANCE R302.12 (DRAFTSTOPPING).
19.	WINDOW INSTALLATION AS PER R609.5 AND R609.6.
20.	ALL WOOD SILLS, BLOCKING, NAILERS, ETC. IN CONTACT WITH MASONRY, CONCRETE OR SOIL TO BE PCQ (TREATED).
21.	ALL SUB-FLOORS TO BE 1/2" PLYWOOD NAILED WITH 8d MINIMUM AS PER NAILING SCHEDULE.
22.	FOR HEADERS OVER 5'-0" LONG USE DOUBLE JACK STUDS.
23.	MANUFACTURED BY TJI CORP. OR APPROVED EQUAL.
24.	MATERIAL FOR STRUCTURAL MEMBERS IS TO BE IDENTIFIED IN ACCORDANCE WITH R602.1.1 MATERIAL FOR LOAD BEARING STUDS, PLATES AND HEADERS ARE TO BE IDENTIFIED IN ACCORDANCE WITH R602.1.1.
25.	STRUCTURAL FLOOR MEMBERS ARE NOT TO BE CUT, BORED, OR NOTCHED IN ACCESS OF THE LIMITATIONS SPECIFIED IN FIGURE R502.8. CUTS, NOTCHES AND HOLES BORED IN ENGINEERED WOOD PRODUCTS ARE NOT PERMITTED UNLESS THE EFFECTS OF SUCH PENETRATION ARE SPECIFICALLY CONSIDERED IN THE DESIGN OF THE MEMBER. IN ACCORDANCE WITH R502.8.2, STUD DRILLING AND NOTCHING ARE ALSO TO COMPLY WITH R602.6. (SEE DETAIL).
26.	IN ACCORDANCE WITH SECTION R312.1, REQUIRED GUARDS FOR HANDRAILS ARE TO BE IDENTIFIED IN ACCORDANCE WITH R602.1.1.
27.	ALL CLOSET SHELVES TO BE CLEAR PINE UNLESS OTHERWISE NOTED.
28.	PROVIDE 1"
29.	STAIR TRIM SHALL BE 1" THICK CLEAR OAK, UNLESS OTHERWISE NOTED.
30.	CERAMIC TILE SURFACES AND INSTALLATION ARE TO COMPLY WITH R702.4, OTHER FINISHES TO COMPLY WITH R702.5 AND R702.6.
31.	ANY CHANGES TO THE STRUCTURE SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE CHANGES ARE MADE TO THE STRUCTURE ON SITE.
<b>FINISH CARPENTRY NOTES:</b>	
1.	HARD WOOD FLOORS TO BE 1"x2" TONGUE & GROOVE OAK (B GRADE) INSTALLED OVER ROSEN PAPER. SANDED SMOOTH AND FINISH WITH 2 COATS OF POLYURETHANE.
2.	STAIR TRENDS TO BE 1/2" THICK CLEAR OAK UNLESS OTHERWISE NOTED.
3.	INTERIOR TRIM SHALL BE CLEAR MATERIAL UNLESS OTHERWISE NOTED. EXTERIOR TRIM TO BE CLEAR MATERIAL TO MATCH SIDING.
4.	ALL EXTERIOR DOORS TO BE FULLY WEATHER STRIP.
5.	ALL INTERIOR DOORS TO BE 1/2" THICK RAISED PANEL UNLESS OTHERWISE NOTED. ALL JAMBS AND BUCKS TO BE CLEAR.
<b>CONNECTION DETAILS:</b>	
1.	ALL FRAMING HARDWARE TO BE SIMPSON STRONG TIE OR APPROVED EQUAL.
2.	DUE TO THE NATURE OF FRAMING HARDWARE TO THE OTHER COMPONENTS OF THE STRUCTURE, SUBSTITUTION WILL RESULT IN THE CONTRACTOR ASSUMING RESPONSIBILITY FOR THE DESIGN AND PERFORMANCE OF THE ENTIRE SYSTEM.
3.	ALL SPECIFIED FASTENERS TO BE INSTALLED AS PER MANUFACTURE SPECIFICATIONS. QUANTITY, SIZE, TYPE, MATERIAL OR FINISH MAY CAUSE THE CONNECTION TO FAIL. 16d COMMON NAILS CAN NOT BE REPLACED BY 16d SINKERS UNLESS OTHERWISE NOTED.
4.	INSTALL ALL FASTENERS BEFORE LOADING THE CONNECTION.
5.	JOIST SHALL BEAR COMPLETELY ON THE CONNECTOR SEAT AND ANY GAP BETWEEN THE JOIST AND THE HEADER SHALL NOT EXCEED 1/8" AS PER ASTM TEST STANDARDS.
6.	ANCHOR BOLT NUTS SHOULD BE FINGER TIGHTENED PLUS ONE TURN WITH A WRENCH. CONSIDERATION FOR FUTURE WOOD SHRINKAGE SHALL BE GIVEN. CARE SHALL BE TAKEN TO AVOID OVER TORQUING THE NUT.
7.	CONNECTIONS @ WOOD FRAME ARE IN ACCORDANCE WITH SECTION 3.2 OF 2020 WOOD FRAME CONSTRUCTION MANUAL HIGH WIND MANUAL AS PER R301.2.1.1
<b>STEEL NOTES:</b>	
1.	ALL STRUCTURAL STEEL SHALL CONFORM TO LATEST ASTM SPECIFICATIONS FOR A-36 STEEL.
2.	ALL STEEL WORK TO CONFORM LATEST AISC SPECIFICATIONS.
3.	ALL REINFORCING BARS TO BE DEFORMED INTERMEDIATE GRADE NEW BULLET STEEL CONFORMING TO ASTM A615 GRADE 60 HAVING DESIGN STRENGTH OF 60,000 PSI.
4.	ALL REINFORCING BARS TO BE CONTINUOUS UNLESS SPECIFIC LENGTHS ARE SHOWN. ALL SPLICERS TO BE (4d) BAR DIAMETERS MINIMUM.
5.	WELDED WIRE FABRIC TO BE 6" @ 6" W14 x W14 WHICH SHALL CONSIST COLD DRAWN MEMBERS HAVING AND ULTIMATE STRENGTH NOT LESS THAN 70,000 PSI.
6.	ALL REINFORCING TO BE SECURELY FASTENED TO RESIST MOVEMENT DURING CONCRETE PLACEMENT.
7.	WELDED WIRE FABRIC OR EQUIVALENT STEEL AREA MAY SUBSTITUTED FOR ANY REINFORCING BAR GRD.

INSULATION NOTES:	
1.	INSULATION IN EXTERIOR WALLS AND CEILING OF ALL HEATED SPACES TO BE FIBERGLASS BATS WITH A CONTINUOUS VAPOR BARRIER FACING THE HEATED SPACE. PACK ALL SPACES AROUND THE OPENINGS (R302.10.1)
2.	INSULATION IN VAULTED CEILINGS TO BE INSTALLED AS TO MAINTAIN THE FREE PASSAGE OF AIR BETWEEN THE EXTERIOR FACE OF INSULATION AND THE INTERIOR FACE OF THE ROOF SHEATHING.
3.	ACOUSTICAL INSULATION TO BE PROVIDED IN WALLS, FLOORS AND CEILINGS AROUND ALL BATHROOMS, BEDROOMS AND MECHANICAL ROOMS.
4.	PROVIDE PERIMETER INSULATION AS PER CODE AT ALL FOUNDATION WALLS.
5.	ALL FLASHING AS PER R703.4 AND R903.
6.	ALL ROOF ASSEMBLIES TO COMPLY WITH R902, R903 AND R904.
7.	ROOFING NAILS AS PER R905.2.5 AND ASTM F1697 12 GAUGE SHANK WITH 1/2" FASTENERS PER SHINGLE.
8.	R VALUES ARE DISPLAYED IN SECTIONS (SEE PLAN FOR SPECIFIC VALUES)
9.	MOISTURE VAPOR RETARDERS ARE TO BE INSTALLED ON THE WARM - IN WINTER SIDE OF INSULATION IN ALL WALLS, FLOORS, ROOFS AND CEILING IN ACCORDANCE WITH SECTION R702.7.
10.	INSULATION MATERIAL IS TO COMPLY WITH SECTION R302.10.1 AND IS TO HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 WITH A SMOKE DEVELOPED INDEX NOT TO EXCEED 45. TESTING METHODS MUST COMPLY WITH ASTM E84 STANDARD. NA EXPOSED INSULATION ON ATTIC FLOORS ARE TO HAVE MINIMUM CRITICAL RADIANT FLUX OF 12 WATTS PER CENTIMETER SQUARED. TESTING TO BE CARRIED OUT AS PER ASTM E970 STANDARD. EXTERIOR INSULATED FINISH SYSTEM TO COMPLY WITH R703.9.
<b>PLUMBING NOTES:</b>	
1.	ALL PIPING, JOINTS, SUPPORTS AND CLEAN OUTS TO CONFORM TO LOCAL CODE REQUIREMENTS.
2.	ALL PLUMBING FIXTURES TO BE VENTED AND TRAPPED.
3.	PROVIDE SHUT OFF VALVES ON ALL SUPPLY LINES AT ALL FIXTURES.
4.	INSULATE ALL SUPPLY LINES.
5.	PROVIDE TWO FROST FREE HOSE BIBS MINIMUM.
6.	ALL FIXTURES TO BE KOHLER, AMERICAN STANDARD, OR APPROVED EQUAL. FURNISHED AND INSTALLED BY CONTRACTOR.
7.	PLUMBING CONTRACTOR TO SUPPLY AND INSTALL 40 GALLON PER HOUR HOT WATER HEATER.
8.	ALL PLUMBING WORK TO CONFORM TO NYS RESIDENTIAL CODE CHAPTERS 25 THROUGH 32.
<b>ELECTRICAL NOTES:</b>	
1.	ALL ELECTRICAL WORK TO BE IN ACCORDANCE WITH THE LATEST NATIONAL ELECTRIC CODE, LOCAL MUNICIPALITIES, NFA TO 2020 AND STATE AUTHORITIES HAVING JURISDICTION. CONTRACTORS SHALL PAY FOR AND OBTAIN AN UNDERWRITERS CERTIFICATE.
2.	CONTRACTOR TO VERIFY ADEQUACY OF EXISTING SERVICE AT EXISTING PANEL BASE BID ON 200 AMP SERVICE FOR NEW WORK.
3.	ALL WIRING TO BE COLOR CODED 14 AWG COPPER.
4.	CONVENIENT OUTLETS TO BE 16" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.
5.	PROVIDE GROUND FAULT CIRCUIT INTERRUPTER OUTLETS AS PER CODE.
6.	ELECTRICAL CONTRACTOR TO PROVIDE HOOK UPS FOR HEATING AND AIR CONDITIONING SYSTEMS.
7.	ELECTRICAL CONTRACTOR TO COORDINATE WITH OTHER TRADES.
8.	ALL OUTLETS, SWITCHED, ETC., TO BE AS MANUFACTURED BY LUTRON DESIGNER SERIES SKYLARK DECORA OR APPROVED EQUAL.
9.	PROVIDE 2 EXTERIOR WATER PROOF TOUTS ON NEW WORK.
10.	PROVIDE SINGLE STATION ALARM DETECTION DEVICE INSTALLED IN CONFORMANCE WITH SECTION R314 AND A102.3 OR NEAR THE CEILING ADJACENT TO ALL SLEEPING SPACES ON EACH FLOOR LEVEL. UNIT TO DETECT FIRE, SMOKE AND CARBON MONOXIDE. ALL DETECTORS TO BE INTERCONNECTED.
11.	ALL ELECTRICAL WORK TO CONFORM TO NYS RESIDENTIAL CODE CHAPTERS 33 THROUGH 42.
<b>WINDOW AND DOOR NOTES:</b>	
1.	ALL WINDOWS AND SLIDING GLASS DOORS TO BE VINYL CLAD WOOD WITH INSULATED GLASS, SCREENS AND LOCKS AS MANUFACTURED BY ANDERSON OR APPROVED EQUAL. SIZES AND TYPES AS INDICATED ON PLANS UNLESS OTHERWISE NOTED.
2.	ALL EXTERIOR DOORS TO BE INSULATED METAL AS MANUFACTURED BY BENCHMARK, STANLEY, OR APPROVED EQUAL. SIZES AND TYPES AS INDICATED ON PLANS. FULLY WEATHER STRIPPED. LOCKS, UNLESS OTHERWISE NOTED.
3.	ALL INTERIOR DOORS TO BE 1 1/2" THICK, HOLLOW CORE, FLUSH BIRCH, U.O.N. ALL DOOR JAMBS AND BUCKS TO BE CLEAR PINE.
<b>GUARDS &amp; WINDOW FALL PROTECTION:</b>	
R312.1	GUARDS - GUARDS SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.1.1 THROUGH R312.1.4.
R312.1.1	WHERE REQUIRED - GUARDS REQUIRED ALONG OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, RAMPS & LANDINGS, THAT ARE LOCATED MORE THAN 30 INCHES VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. INSECT SCREENING IS NOT AN ACCEPTABLE GUARD.
R312.1.2	HEIGHT - REQUIRED GUARDS AS DESCRIBED ABOVE SHALL BE NOT LESS THAN 36 INCHES IN HEIGHT MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE OR THE LINE CONNECTING THE LEADING EDGES OF THE TREADS.
EXCEPTIONS:	1. GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT OF 34 INCHES MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGES OF THE TREADS.
2.	WHERE THE TOP OF THE GUARD SERVES AS A HANDRAIL, ON THE OPEN SIDES OF THE STAIRS, THE TOP OF THE GUARD SHALL BE NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES AS MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGES OF THE TREADS.
R312.1.3	OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
EXCEPTIONS:	1. THE TRIANGULAR OPENINGS AT THE OPEN SIDE OF A STAIR, FORMED BY A RISER, TREAD & BOTTOM RAIL OF A GUARD, SHALL NOT ALLOW PASSAGE OF A SPHERE 6 INCHES IN DIAMETER.
2.	OPENINGS ON THE OPEN SIDE OF STAIRS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4 1/2 INCHES IN DIAMETER.
R312.1.4	EXTERIOR PLASTIC COMPOSITE GUARDS - PLASTIC COMPOSITE EXTERIOR GUARDS SHALL COMPLY WITH THE REQUIREMENTS OF SECTION R317.4.
<b>EGRESS WINDOW NOTES:</b>	
R310.2.1	MINIMUM OPENING AREA. ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE NET CLEAR HEIGHT OR OPENING SHALL NOT BE LESS THAN 24 INCHES AND NET CLEAR WIDTH SHALL NOT BE LESS THAN 20 INCHES.
EXCEPTION:	GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET.
R310.1.1	OPERATIONAL CONSTRAINTS - EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS.
R310.2.2	WHERE EMERGENCY ESCAPE AND RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NO MORE THAN 44 INCHES ABOVE THE FLOOR.
ALL WINDOWS TO BE SUPPLIED BY THE FOLLOWING MANUFACTURERS AS NOTED ON PLAN.	
ANDERSON WINDOWS, INC 100 FOURTH AVENUE NORTH BAYPORT, MN 55503-1096	
CONFORMS TO AAMANNWDA 1011.S. 2.97	
CAPITOL WINDOWS AND DOORS MI HOME PRODUCTS, INC 850 W. MARKET STREET P.O. BOX 370 GRATZ, PA 17030-0370	
CONFORMS TO AAMANNWDA 1011.S. 2.97	
ALL WINDOWS IN PLANS TO HAVE A R.O. OF 6" - 10" TO BOTTOM OF HEADER UNLESS OTHERWISE NOTED	

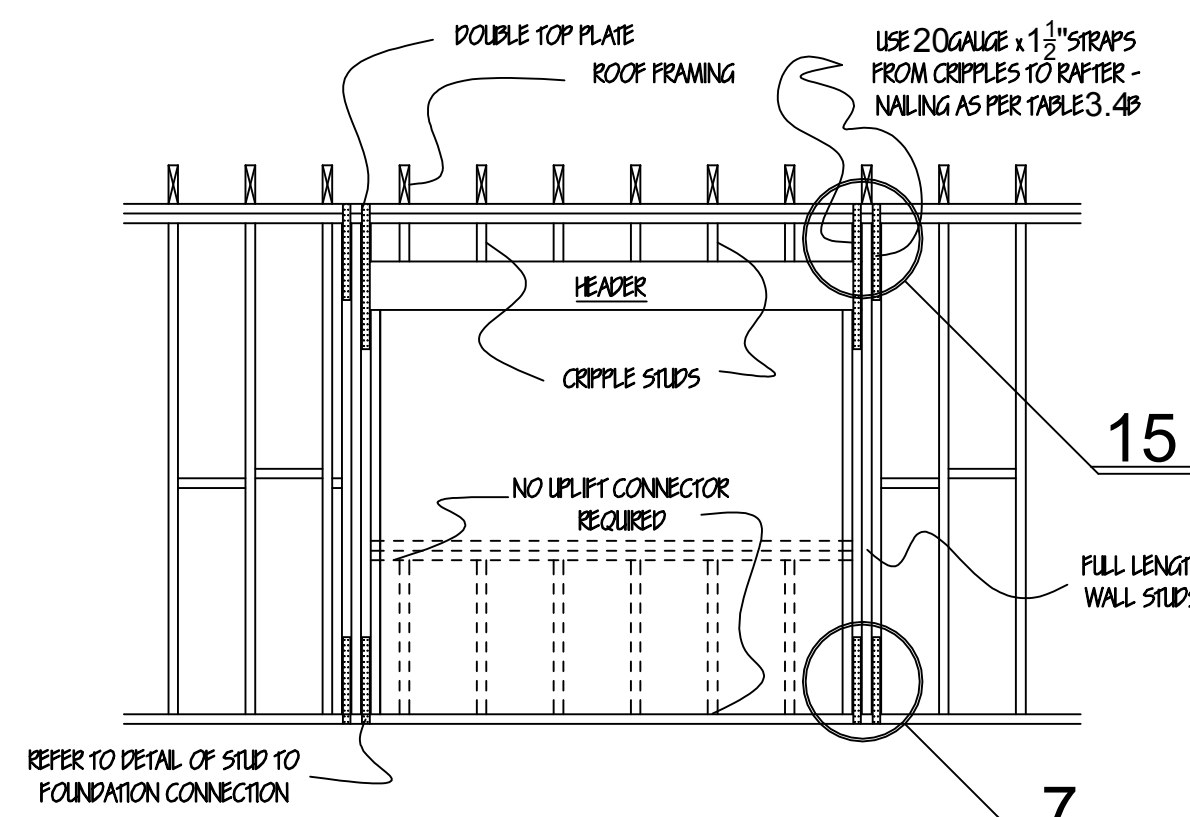
MEP COMPLIANCE STATEMENT:	
THE EXISTING HEATING, ELECTRICAL AND PLUMBING SYSTEMS ARE CAPABLE OF HANDLING THE IMPOSED LOADS OF THE PROPOSED ALTERATION. IF IT IS DETERMINED THAT ANY OF THESE EXISTING SYSTEMS ARE NOT CAPABLE, THEN IT WILL BE UPGRADED TO MEET COMPLIANCE.	
<b>MECHANICAL NOTES:</b>	
1.	A 15 MPH WIND VELOCITY.
2.	ALL KITCHEN AND BATHROOM VENTS TO COMPLY WITH STATE CODES.
3.	ALL FIRE BOXES SHALL BE LINED WITH FIRE BRICK AS PER ASTM C106 PROVIDE EXTERIOR COMBUSTION AIR AS PER ENERGY CODE.
4.	FLUE LINING TO BE TERRA COTTA FOR FULL HEIGHT EXTENDING TRUE CHIMNEY CAP. ALTERNATE: PREFABRICATED INSULATED METAL CHIMNEY INSTALLED AS PER MANUFACTURER SPECIFICATIONS.
5.	ALL MECHANICAL WORK TO CONFORM TO NYS RESIDENTIAL CODE CHAPTERS 12 THROUGH 23.
<b>ENERGY COMPLIANCE NOTES:</b>	
1.	EQUIPMENT SHALL MEET THE MINIMUM EFFICIENCY REQUIREMENTS OF TABLES C403.2(1), C403.2(2), C403.2(3), C403.2(3A), C403.2(3B), C403.2(3C), C403.2(3D) & C403.2(3E) WHEN TESTED AND RATED IN ACCORDANCE WITH THE APPLICABLE TEST PROCEDURE.
2.	ALL CONSTRUCTION SHALL COMPLY w/ THE 2020 INTERNATIONAL ENERGY CONSERVATION CONSTRUCTION CODE. THE AUTHORITY HAVING JURISDICTION SHALL BE PERMITTED TO DETERMINE AN ENERGY EFFICIENCY PROGRAM TO EXCEED THE ENERGY EFFICIENCY REQ'D BY THIS CODE.
3.	A PERMANENT CERTIFICATE SHALL BE COMPLETED BY THE BUILDER AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED. CERTIFICATE SHALL COMPLY w/IRC N1101.11
4.	ATTIC OR CRAWL SPACE ACCESS SHALL BE WEATHERSTRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SUBROOFING SURFACES.
5.	INSTALLATION - THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE SHALL BE INSTALLED IN ACCORDANCE WITH THE CRITERIA LISTED IN TABLE 402.4.1.1 WHICH BE REG'D BY CODE OFFICIAL. AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS & VERIFY COMPLIANCE.
6.	TESTING - BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED HAVING LESS THAN OR EQUAL TO 3 ACH50 IN CZ 4A, 5, 6A. TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY.
7.	DUCTS - SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM OF R-4 @ 3" OR GREATER IN DIAMETER, AND R-6 @ DUCTS LESS THAN 3" IN DIAMETER.
8.	DUCT SEALING - DUCTS, AIR HANDLERS & FILTER BOXES SHALL BE SEALED.
9.	DUCT TESTING - DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY AN APPROVED THIRD PARTY.
10.	BUILDING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.
11.	BE INSULATED WITH R-3 MINIMUM.
12.	MECHANICAL VENTILATION - SHALL MEET THE REQUIREMENTS OF THE IRC/IMC
13.	EQUIPMENT SIZING - PER ACCA MANUAL S, BASED ON LOADS CALCULATED PER ACCA MANUAL J AS PROVIDED BY A THIRD PARTY HERS RATER.
14.	LIGHTING - A MIN. OF 75% OF PERMANENTLY INSTALLED FIXTURES MUST HAVE HIGH-EFFICIENCY LAMPS.
15.	ALL HVAC, PLUMBING & ELECTRICAL SYSTEMS SHALL MEET THE IRC CHAPTER 11 ENERGY EFFICIENCY, INTERNATIONAL MECHANICAL CODE, INTERNATIONAL ENERGY CONSERVATION CODE. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SUBMIT IN DETAIL THE DESIGN, CALCULATIONS, DRAWINGS, WRITTEN STATEMENTS OF THE MECHANICAL, AIR CONDITIONING, VENTILATION, HEATING SYSTEMS (NEW, EXISTING OR UPGRADED) STAMPED BY A PROFESSIONAL ENGINEER IF REQ'D BY THE OWNER OR BUILDING DEPT.
16.	ADDITIONS, ALTERATIONS OR RENOVATION SHALL COMPLY w/ IECC 2020. UNALTERED PORTIONS OF THE EXISTING BUILDING IS NOT REQUIRE TO COMPLY w/ THIS CODE.
17.	MINIMUM ONE PROGRAMMABLE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING & COOLING SYSTEM IN ACCORDANCE w/ SECTION N1103 CONTROL SYSTEMS.
18.	ALL EXTERIOR WALL/FLOOR/CEILING JOIST SHALL BE AIR SEALED & INSULATED IN ACCORDANCE WITH TABLE R402.4.1.1 APPLY A FRESH BED OF CAULK TO THE TOP & BOTTOM PLATE IMMEDIATELY PRIOR TO INSTALLING INTERIOR GYP. WALL BOARD.
<b>NAILING SCHEDULE (WFCM 2020) - COMMON NAILS:</b>	
WFCM TABLE 3.1, 3.3A, 3.4A, 3.5A, 3.6A, 3.8 & 3.9A	
- ROOF FRAMING	
- RAFTER TO TOP PLATE (TOE NAILED).....	3-8d PER RAFTER
- CEILING JOIST TO TOP PLATE (TOE NAILED).....	3-8d PER JOIST
- CEILING JOISTS TO PARALLEL RAFTER (FACE NAILED).....	7-16d EACH LAP
- CEILING JOISTS LAP OVER PARTITIONS (FACE NAILED).....	7-16d EACH LAP
- COLLAR TIE TO RAFTER (FACE NAILED).....	2-8d PER TIE
- BLOCKING TO RAFTER (TOE NAILED).....	2-8d EACH END
- RIM BOARD TO RAFTER (END NAILED).....	2-16d EACH END
- WALL FRAMING	
- TOP PLATE TO TOP PLATE (FACE NAILED).....	2-16d PER FOOT
- TOP PLATES AT INTERSECTIONS	
- FACE NAILED.....	4-16d PER JOINTS
- STUD TO STUD (FACE NAILED).....	2-16d 24" O.C.
- HEADER TO HEADER (FACE NAILED).....	1-16d 16" O.C. @ EDGES
- JOIST TO JOIST (FACE NAILED).....	2-16d PER STUD
- BOTTOM PLATE TO FLOOR JOISTS, BAND JOIST, END JOIST OR BLOCKING (FACE NAILED).....	2-16d PER FOOT
- FLOOR FRAMING	
- JOISTS TO SILL, TOP PLATE OR GIRDER (TOE NAILED).....	4-8d PER JOIST
- BRIDGING TO JOIST (TOE NAILED).....	2-8d EACH END
- BLOCKING TO JOIST (TOE NAILED).....	2-8d EACH END
- BLOCKING TO SILL OR TOP PLATE (TOE NAILED).....	3-16d EACH BLOCK
- LEDGER STRIP TO BEAM (FACE NAILED).....	3-16d EACH JOIST
- JOIST ON LEDGER TO BEAM (TOE NAILED).....	3-8d PER JOIST
- BAND JOIST TO JOIST (END NAILED).....	3-16d PER JOIST
- BAND JOIST TO SILL OR TOP PLATE (TOE NAILED).....	2-16d PER FOOT
- ROOF SHEATHING	
- STRUCTURAL PANELS	4"
- TYPICAL WALL	8d
- STRUCTURAL PANELS	8d
- FOR 4'-0" AROUND WALL PERIM	





RIDGE  
INCREASE LENGTH OF NAIL - TYPICALLY 10d WHEN  
INSTALLED OVER 1/2" CONSTRUCTION PANEL

ALSO USE  
L55U28 - JOIST HANGER IN VALLEYS  
CEILING CONDITIONS

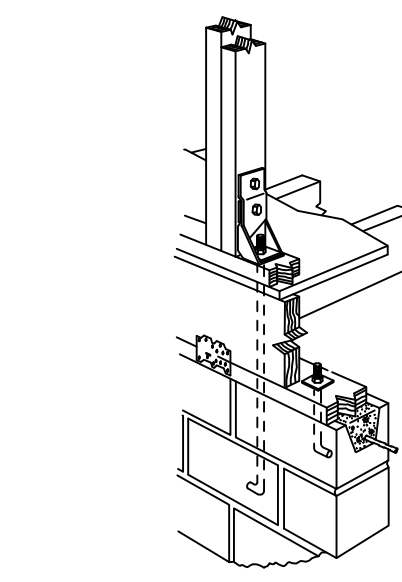


TYPICAL FRAMING AND  
UPLIFT CONNECTIONS FOR  
OPENINGS

REFER TO DETAIL OF STUD TO  
FOUNDATION CONNECTION

1

5



OVERTURNING HOLD DOWNS

PROVIDE MINIMUM OF 5" EMBEDMENT IN CMU UNITS -  
FILL TOP 2 COURSES SOLID @ FOUNDATION WALL -  
TYPICAL - FILL ALL WEBS SOLID @ LOAD POINTS

PROVIDE 7" DEPTH OF ANCHOR BOLTS IN POURED  
CONCRETE FOUNDATION WALL - MINIMUM

SHEAR WALL HOLDDOWN

SIMPSON STRONG-TIE (HT14)  
FOR CONCRETE APPLICATIONS (FOR EXAMPLE SLAB ON  
GRADE OR FOUNDATION)

SEE PLANS FOR LOCATION INDICATED AS HD

9

15

DOUBLE TOP PLATE TO STUD  
CONNECTION

GAUGE 1 1/4" GALVANIZED STRAPPING @ EACH SID -  
PROVIDE MINIMUM 1 1/2" OVERLAP ON STUD AND NAILING  
AS PER 3.4B

SEE PLANS FOR LOCATION INDICATED AS HD

9

15

INSTRUCTIONS FOR THE INSTALLER

A. ALL SPECIFIED PARTS MUST BE INSTALLED ACCORDING TO THE INSTRUCTIONS IN THE SIMPSON WOOD CONSTRUCTION  
CATALOG - C-2020. INCORRECT PARTS OR QUANTITY SIZE, TYPE, MATERIAL, OR FINISH MAY CAUSE THE CONNECTION TO FAIL.

B. BOLT HOLES SHALL BE AT LEAST A MINIMUM OF 1/8" AND NO MORE THAN A MAXIMUM OF 1/8" LARGER THAN THE BOLTED MEMBER  
(PER THE 1987 NDS SECTION 8.1.2.1)

C. INSTALL ALL SPECIFIED PARTS BEFORE LOCKING THE CONNECTION

D. USE PROPER SAFETY EQUIPMENT

E. WELDING GALVANIZED STEEL MAY PRODUCE HARMFUL FUMES. FOLLOW PROPER WELDING PROCEDURES AND SAFETY PRECAUTIONS.  
WELDING SHOULD BE IN ACCORDANCE WITH AWS STANDARDS.

F. PNEUMATIC OR POWER-ACTUATED PARTS MAY DEFLECT AND INjure THE OPERATOR OR OTHERS. NAIL TOOLS MAY BE USED  
TO INSTALL CONNECTORS. PROVIDE THE CORRECT QUANTITY AND TYPE OF NAILS BE PROPERLY INSTALLED IN THE NAIL HOLES.  
TOOLS WITH HOLE-LOCKING MECHANISMS SHOULD BE USED. FOLLOW THE MANUFACTURER'S INSTRUCTIONS AND USE THE  
APPROPRIATE SAFETY EQUIPMENT.

G. JOISTS SHALL BEAR COMPLETELY ON THE CONNECTOR SEAT AND THE GAP BETWEEN THE JOIST END AND THE HEADER SHALL NOT  
EXCEED 1/4" PER ASTM TEST STANDARDS.

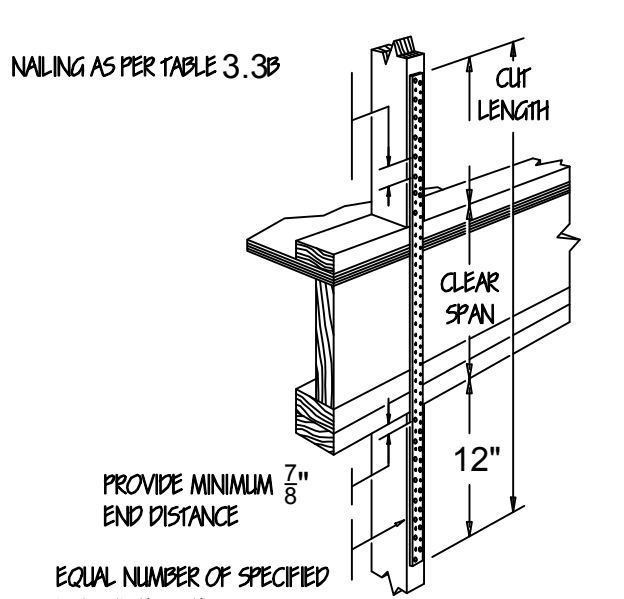
H. FOR HOLD-DOWNS AND/OR BOLT NUTS SHOULD BE TIGHTENED TO 10' TURN WITH A WRENCH. WHICH CONSIDERATION GIVEN  
TO POSSIBLE FUTURE WOOD SHRINKAGE. CARE SHOULD BE TAKEN TO NOT OVER-TIGHTEN THE NUT.

I. PROVIDE NAILING FOR STRAPPING AS PER TABLE 3.4B WOOD FRAME CONSTRUCTION MANUAL - 3" x 4" @ 12" MINIMUM

Table 3.4A: Shear Wall and/or Walling Detail on Top Plate (Attached and Exposure B). Includes tables for 700-yr. Wind Speed and 100-yr. Wind Speed, detailing required number of common nails or 6d box nails per stud to plate connection.

Table 3.4B: Top and Bottom Plates on Stud (Attached Connections) (Exposure B). Includes tables for 700-yr. Wind Speed and 100-yr. Wind Speed, detailing required number of 16d common nails or 6d box nails per stud to plate connection.

Table 3.6: Single Connections (Connections for 10d and 12d Load Assumptions: Roof Assembly DL = 10 psf). Includes tables for 700-yr. Wind Speed and 100-yr. Wind Speed, detailing required capacity of ridge connections.



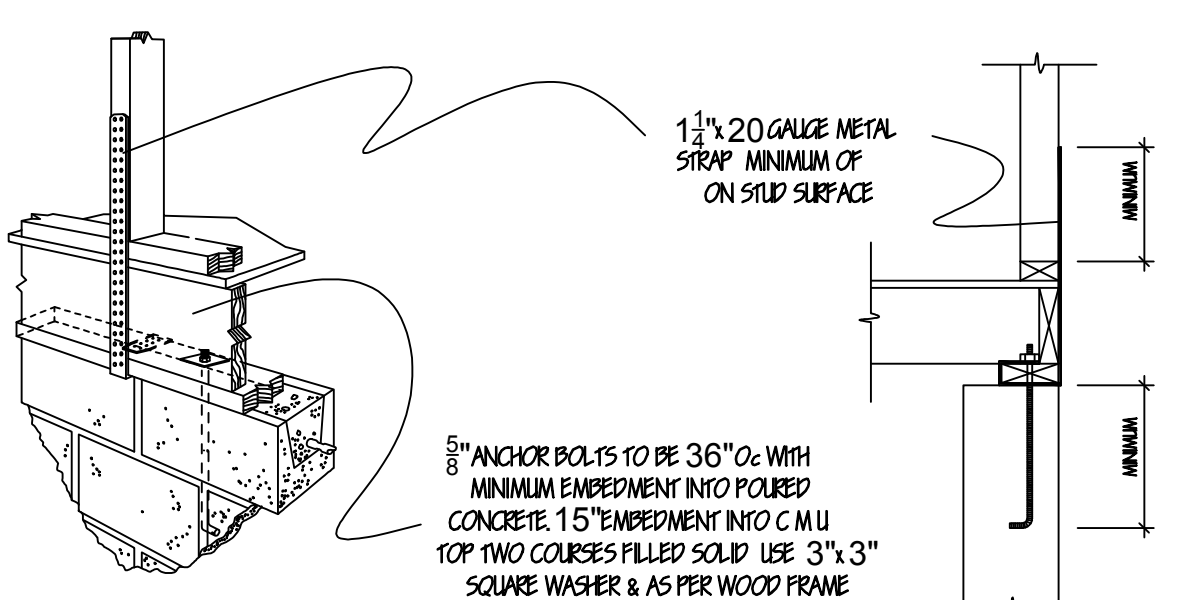
STUD TO STUD  
CONNECTION

1 1/4" x 20 GAUGE GALVANIZED  
STRAPPING WITH 8 COMMON NAILS  
EACH STUD AS PER TABLE 3.4B

WALL TO WALL CONNECTION IN ACCORDANCE  
WITH 3.2.2. 2 WHEN STUDS DO NOT ALIGN THEN  
STUDS SHALL BE ATTACHED TO A COMMON  
MEMBER IN THE FLOOR ASSEMBLY WITH UPLIFT  
CONNECTIONS IN ACCORDANCE WITH TABLE 3.3

2

6



STUD TO FOUNDATION CONNECTION

1 1/4" x 20 GAUGE GALVANIZED STRAPPING  
WRAP & NAIL STRAP AROUND SILL PLATE  
PROVIDE BARRIER OF MINIMUM 30# FELT BETWEEN STRAPPING AND  
ACQ LUMBER  
STRAPPING TO BE LAPPED UNDER BOTTOM PLATE AND NAILED AS PER  
TABLE 3.4B STEEL STRAPS EMBEDDED IN OR IN CONTACT WITH  
CONCRETE SHALL BE HOT DIPPED GALVANIZED AFTER FABRICATION OR  
MANUFACTURED FROM GALVANIZED STEEL. SET BY USING ASTM  
TRIPLE SPOT TEST

SPACE BOLTS AS PER TABLE 3.4B AND IN ACCORDANCE WITH WOOD FRAME CONSTRUCTION  
MANUAL 3.2.1.7, AND AS PER BUILDING HEIGHT ROOF PITCH

2

6

ROOF CONNECTION DETAIL  
FOR NON-ALIGNMENT OF  
ROOF RAFTER & STUD

1 1/4" x 20 GAUGE GALVANIZED STRAPPING @ EACH RAFTER  
NAILED AS PER TABLE 3.4B

10

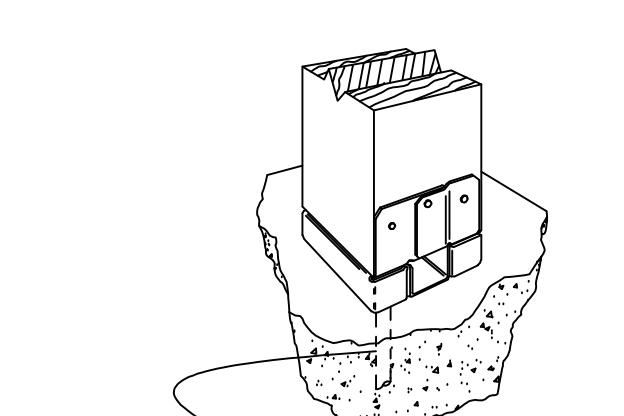
16

FLOOR TO FLOOR  
CONNECTION

SEE PLANS FOR LOCATION INDICATED AS  
HD

10

16



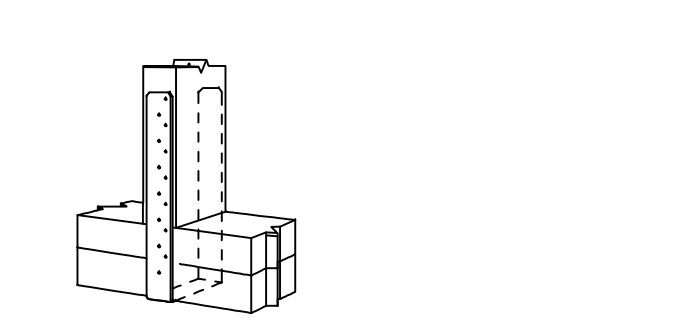
POST BASE

SIMPSON STRONG-TIE (ABA-44)

MINIMUM OF 3/4" @ ANCHOR BOLT WITH  
MINIMUM OF 7" EMBEDMENT IN POURED  
CONCRETE 1 1/2" IN MASONRY BLOCK FILL  
WEBS SOLID @ POST BASE / LOAD POINTS

3

7

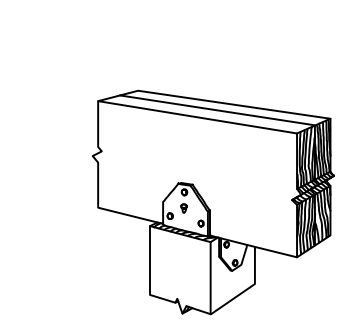


STUD TO SILL PLATE

1 1/4" x 20 GAUGE STRAPS TO RUN FROM STUDS  
DOWN & AROUND BOTTOM PLATES BETWEEN  
PLATES & FOUNDATION & NAILED AS PER TABLE  
B PROVIDING A MINIMUM OVERLAP OF 12"  
ON STUDS  
(AT SLAB ON GRADE APPLICATIONS)

3

7



CAP

SIMPSON STRONG-TIE (PC)  
POST CAP SERIES

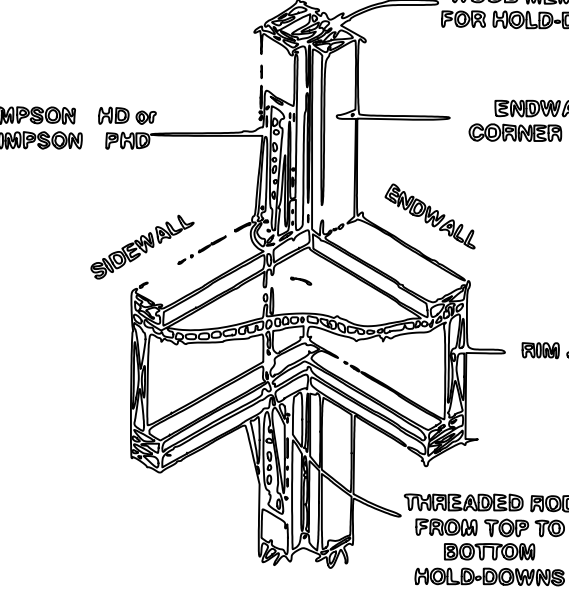


FACE MOUNT HANGER

SIMPSON STRONG-TIE (LUS)  
LUS26, LUS28, LUS26-2, LUS210, LUS210-2

11

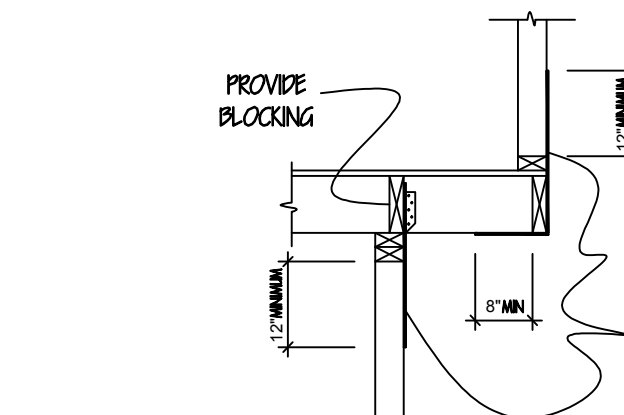
13



TYPICAL CONNECTION FLOOR  
TO FLOOR AT CORNER FOR  
STORY CONSTRUCTION

11

13



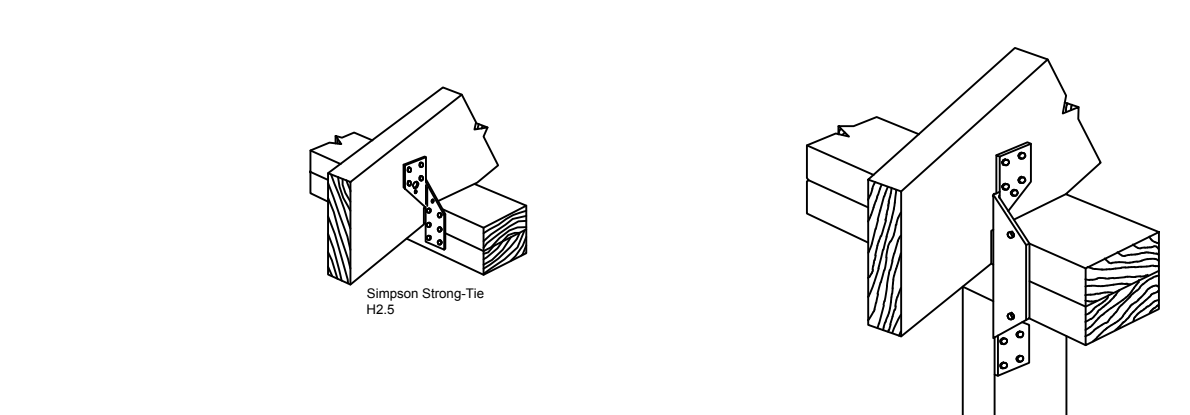
FLOOR TO FLOOR  
CONNECTION

(CANTILEVER CONDITIONS)

20 GAUGE 1 1/4" STRAPPING AT FLOOR JOIST TO MAINTAIN  
CONTINUOUS LOAD PATH AS REQUIRED BY WOOD FRAME  
CONSTRUCTION MANUAL SECTION 3.2 - NAIL AS PER  
TABLE 3.4B

4

8



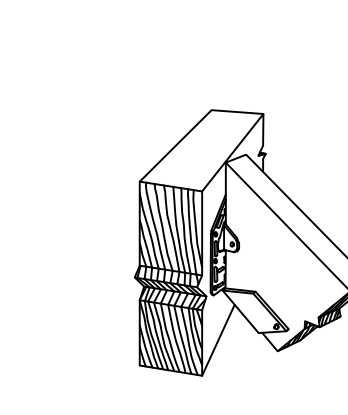
ROOF CONNECTION DETAIL  
FOR ALIGNMENT OF ROOF  
RAFTER & STUD

1 1/4" x 20 GAUGE GALVANIZED STRAPPING

WHEN RAFTERS DO NOT FALL IN LINE WITH STUDS BELOW RAFTERS SHALL BE  
ATTACHED TO THE WALL TOP PLATE AND THE WALL TOP PLATE SHALL BE  
ATTACHED TO THE WALL STUD OF UPLIFT CONNECTIONS IN ACCORDANCE WITH  
TABLE 3.4B SEE DETAIL 10 ON THIS PAGE

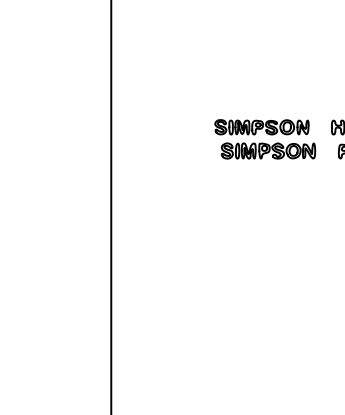
4

8



ADJUSTABLE HANGER

SIMPSON STRONG-TIE (L55U26)  
L55U26- 2" x 6"  
L55U28- 2" x 8", 2" x 10", 2" x 12"  
TYPICAL @ RIPS AND VALLEYS AND WITH ALL CEILING

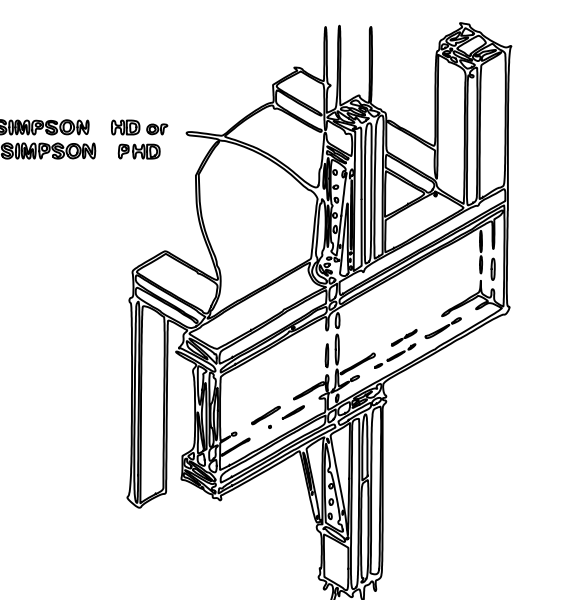


FACE MOUNT HANGER  
- SKEWED

SIMPSON STRONG-TIE (L570)

12

14



TYPICAL CONNECTION FLOOR  
TO FLOOR AT CANTILEVER

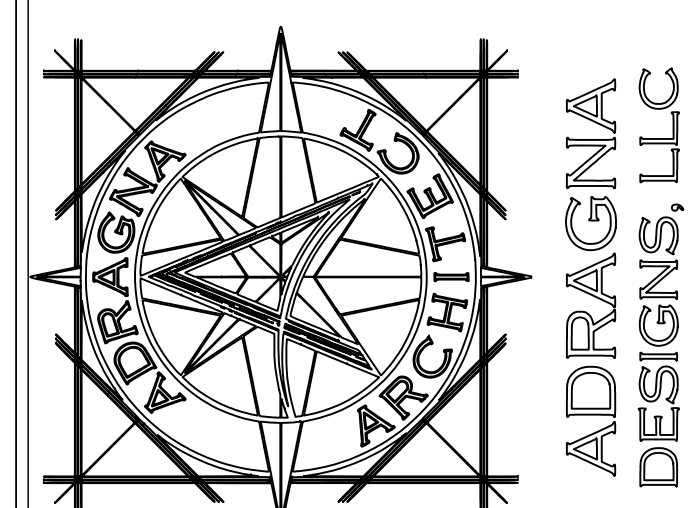
PROVIDE DOUBLE STUDS FOR ATTACHMENT OF SHEAR WALL  
HARDWARE - PROVIDE MINIMUM NAILING OF 2-1 1/4" @ 10" OC  
MINIMUM FOR DOUBLE STUD - NOT FOR ATTACHMENT OF HARDWARE

12

14



555 BROADHOLLOW RD #327, MELVILLE, NY, 11747  
PHONE # (516) 942-4224 WEB: https://mynextgensdesigns.com  
NEXTGENSOLUTIONSNY@GMAIL.COM

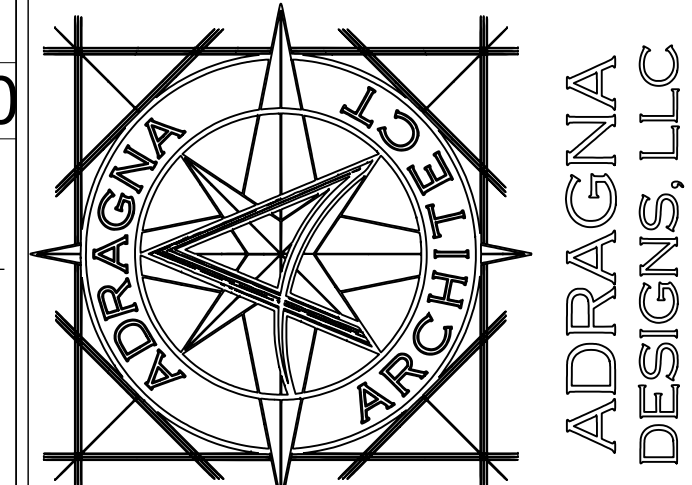


IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING  
UNDER THE DIRECTION OF THE LICENSED ARCHITECT, TO ALTER  
THESE PLANS IN ANY WAY. BY ACCEPTING AND USING THESE PLANS,  
THE OWNER, CONTRACTOR, AND/OR AGENT AGREES TO LIMIT THE  
LIABILITY OF THE DESIGN PROFESSIONAL AND THEIR EMPLOYEES  
FOR ANY ACTS OF NEGLIGENCE OR ERROR. THE TOTAL AGGREGATE  
LIABILITY SHALL NOT EXCEED THE TOTAL FEE FOR SERVICES  
RENDERED ON THIS PROJECT.

ISSUE:  
11-21-25 ISSUED FOR PRELIMINARY REVIEW  
11-26-25 ISSUED FOR PRELIMINARY REVIEW  
12-04-25 ISSUED FOR PRELIMINARY REVIEW  
12-22-25 ISSUED FOR PRELIMINARY REVIEW  
01-06-26 ISSUED FOR ARCHITECTURAL REVIEW  
02-05-26 ISSUED FOR BUILDING PERMIT REVIEW

PROJECT:  
**PROP. 1ST & 2ND FLOOR ADDITION  
DILLON RESIDENCE**  
100 YOUNG AVE, CROTON-HUDSON, NY, 10520  
TM#: 79.13-1-13  
TITLE:  
-DETAIL CONNECTION NOTES

PROJECT#: 251121  
DRAWN BY: NGD  
SHEET NUMBER  
3 OF 9



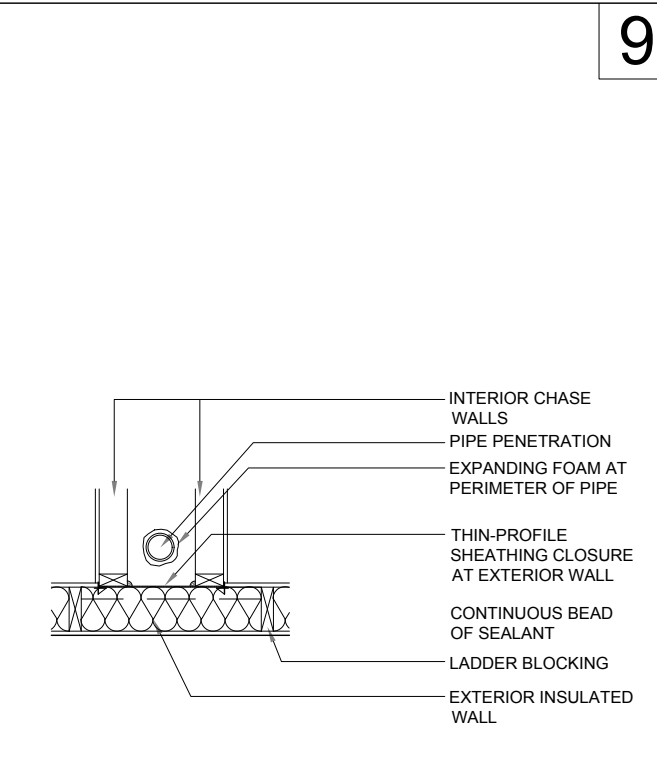
IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT, TO ALTER THESE PLANS IN ANY WAY. BY ACCEPTING AND USING THESE PLANS, THE OWNER, CONTRACTOR, AND/OR AGENT AGREES TO LIMIT THE LIABILITY OF THE DESIGN PROFESSIONAL AND THEIR EMPLOYEES FOR ANY ACTS OF NEGLIGENCE OR ERROR. THE TOTAL AGGREGATE LIABILITY SHALL NOT EXCEED THE TOTAL FEE FOR SERVICES RENDERED ON THIS PROJECT.

**ISSUE:**  
 11-21-25 ISSUED FOR PRELIMINARY REVIEW  
 11-26-25 ISSUED FOR PRELIMINARY REVIEW  
 12-04-25 ISSUED FOR PRELIMINARY REVIEW  
 12-22-25 ISSUED FOR PRELIMINARY REVIEW  
 01-06-26 ISSUED FOR ARCHITECTURAL REVIEW  
 02-05-26 ISSUED FOR BUILDING PERMIT REVIEW

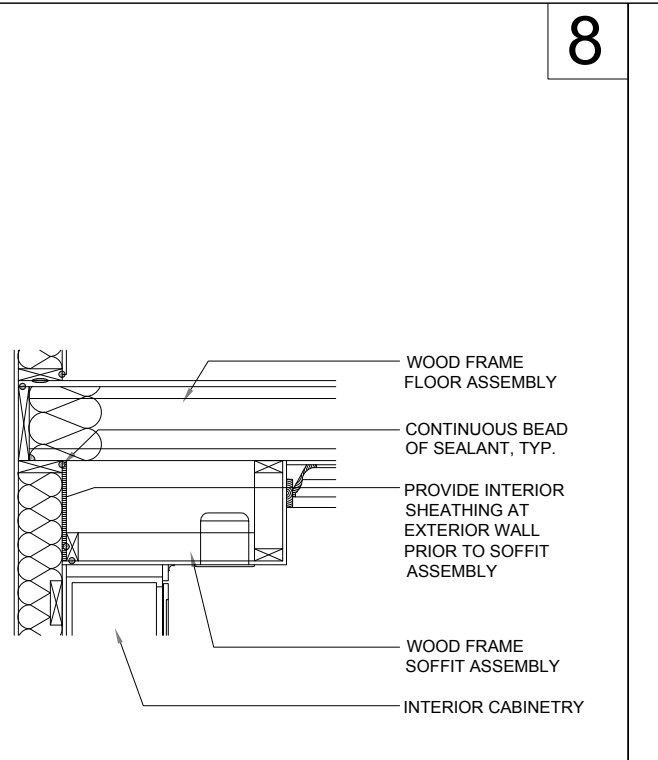
**PROJECT:**  
**PROP. 1ST & 2ND FLOOR ADDITION**  
**DILLON RESIDENCE**  
 100 YOUNG AVE, CROTON-HUDSON, NY, 10520  
 TM#: 79.13-1-13  
**TITLE:**  
 -GENERAL NOTES  
 -SITE LOCATION

PROJECT#: 251121  
 DRAWN BY: NGD

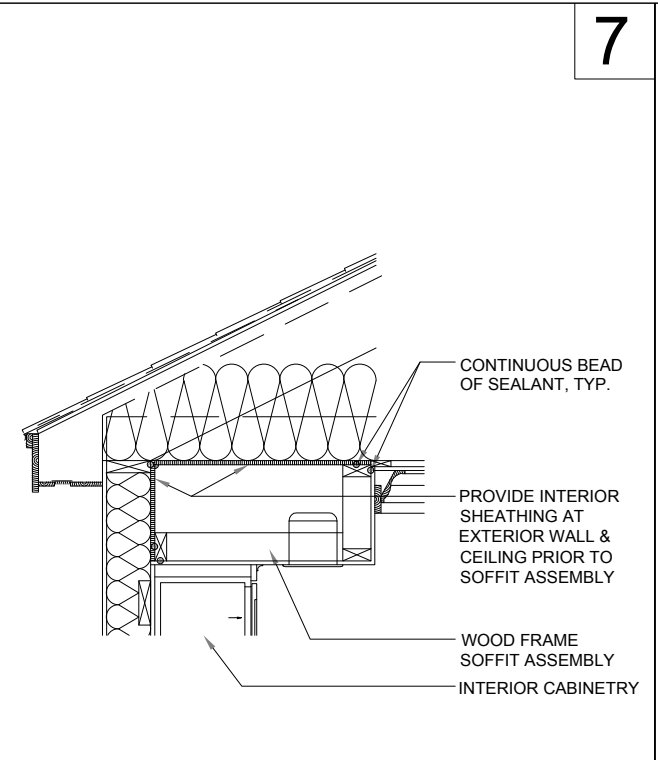
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 4 OF 9



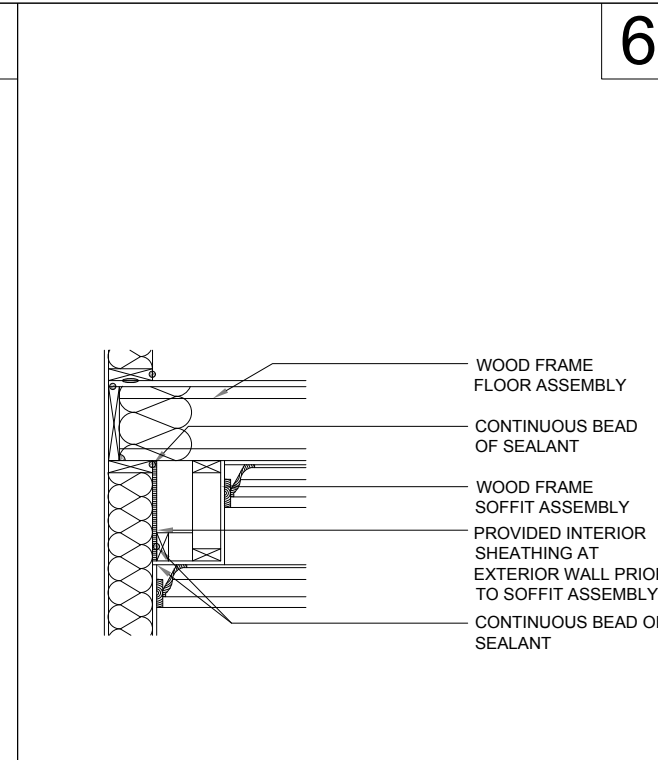
AIR SEAL AT CHASE WALLS - PLAN VIEW



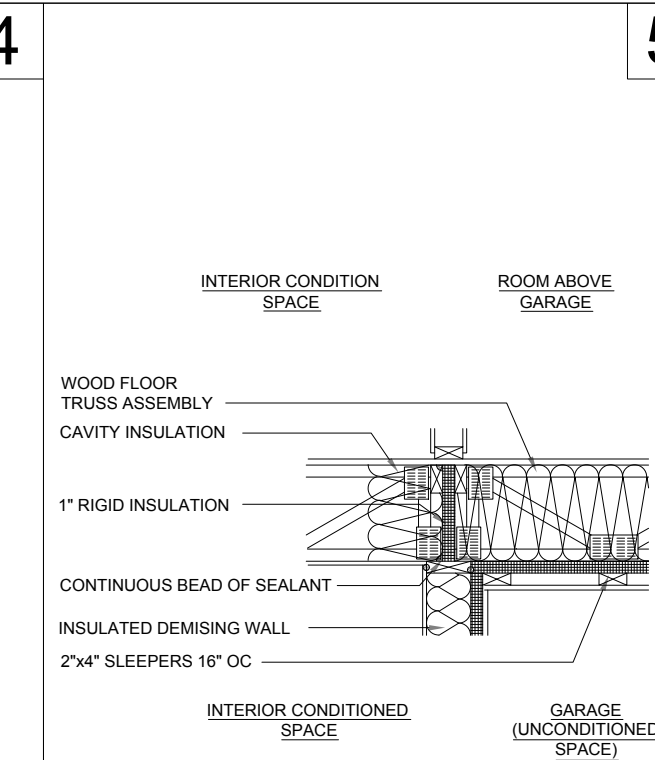
AIR SEAL AT CABINET SOFFIT - TWO STORY



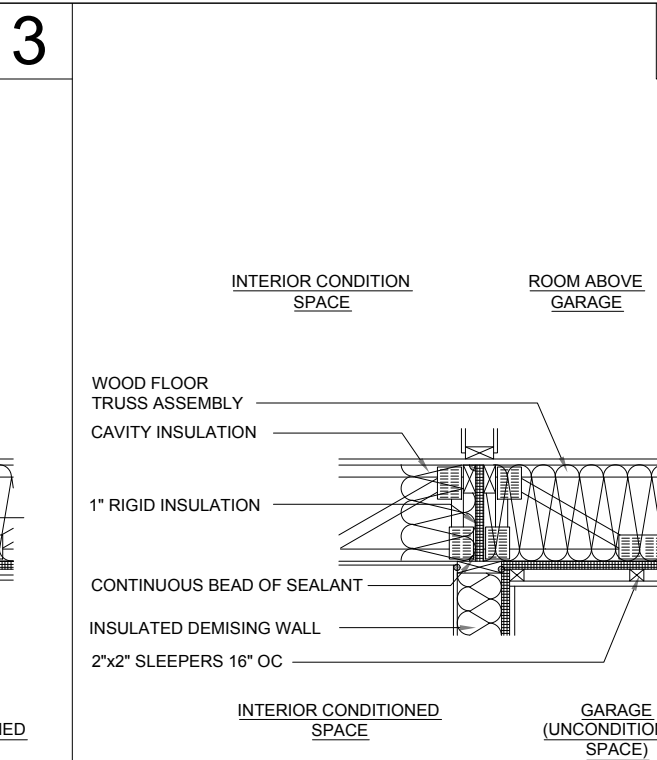
AIR SEAL AT CABINET SOFFIT - SINGLE STORY



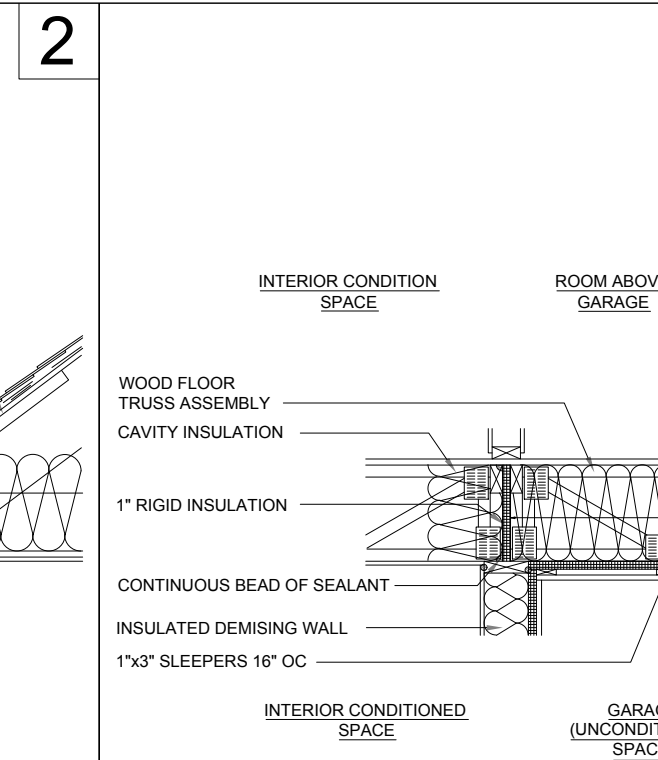
AIR SEAL AT GARAGE BAND JOIST 1.5" RIGID INSULATION w/ 2"x4" SLEEPERS



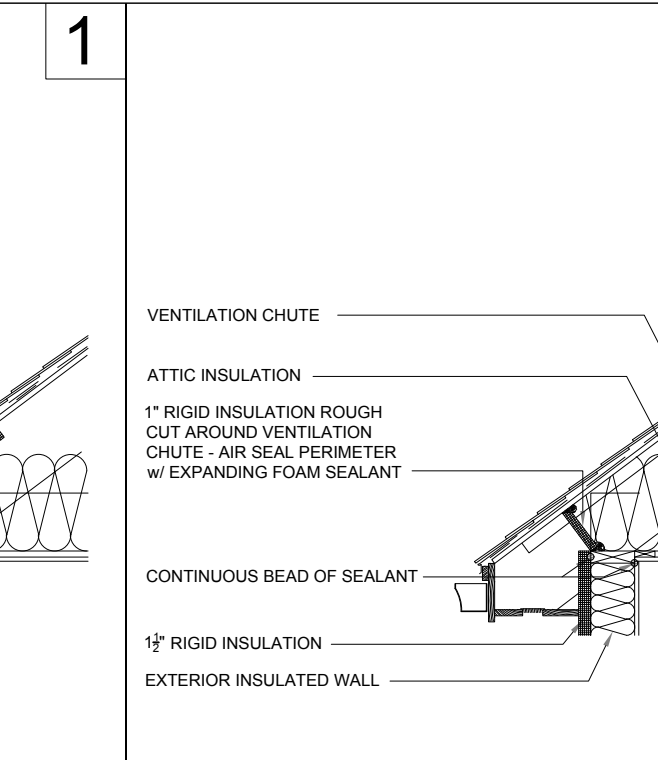
AIR BARRIER AT GARAGE BAND JOIST 1" RIGID INSULATION w/ 2"x2" WOOD FURRING



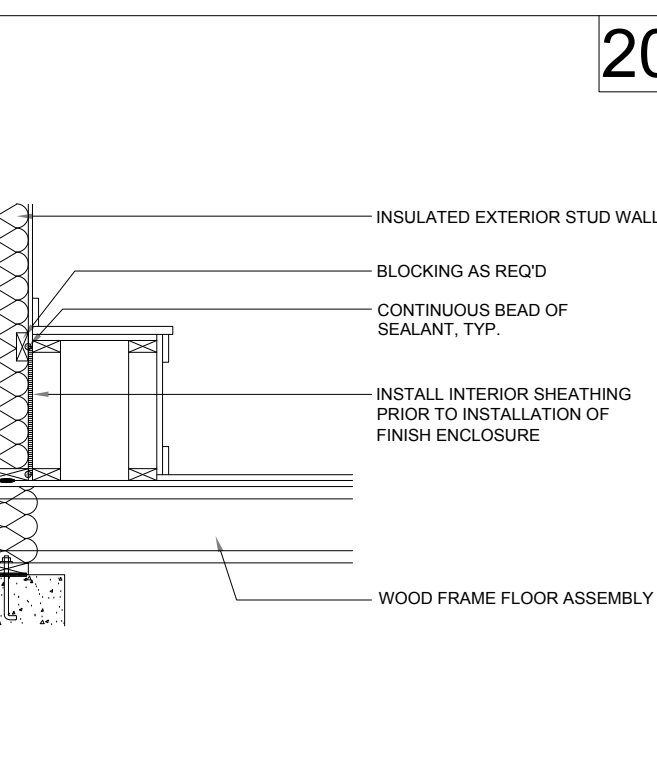
AIR BARRIER AT GARAGE BAND JOIST 1" RIGID INSULATION w/ 1"x3" WOOD FURRING



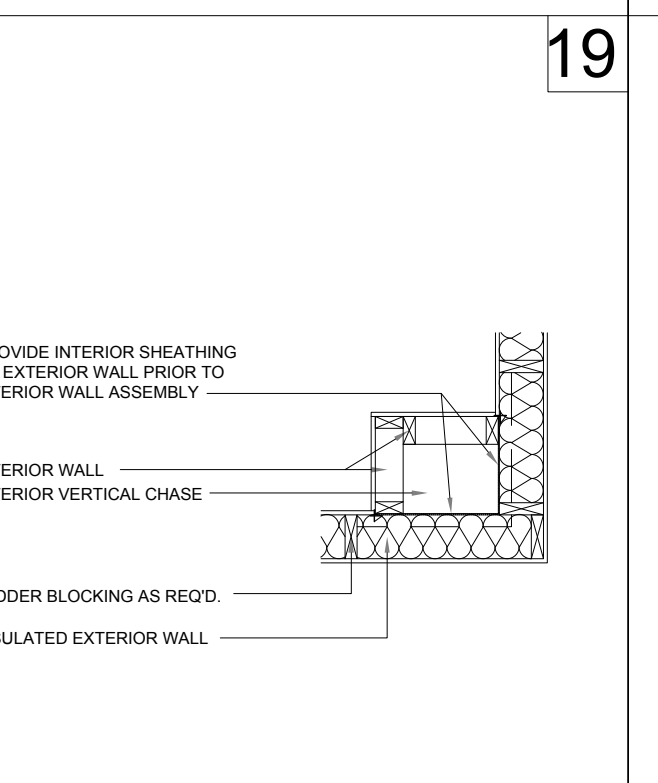
1" RIGID INSULATION AS ATTIC EAVE BAFFLE CUT AROUND MANUFACTURED VENT



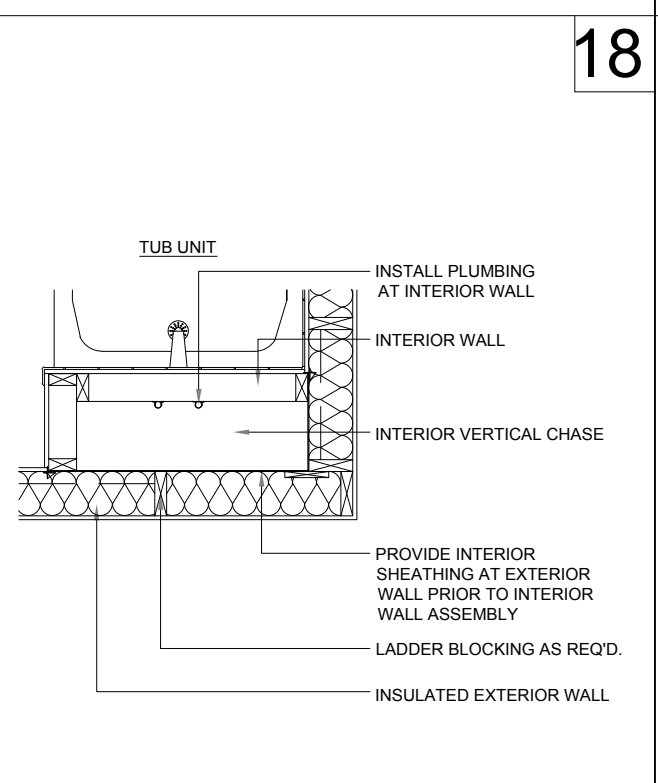
1" EXTERIOR INSULATION SHEATHING AS ATTIC EAVE BAFFLE AND VENT



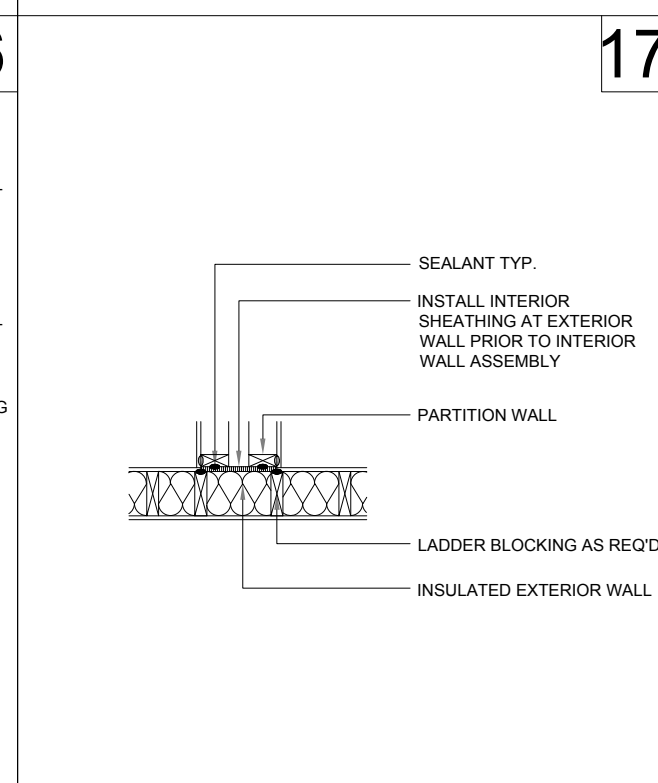
AIR SEALING AT DOUBLE WALLS



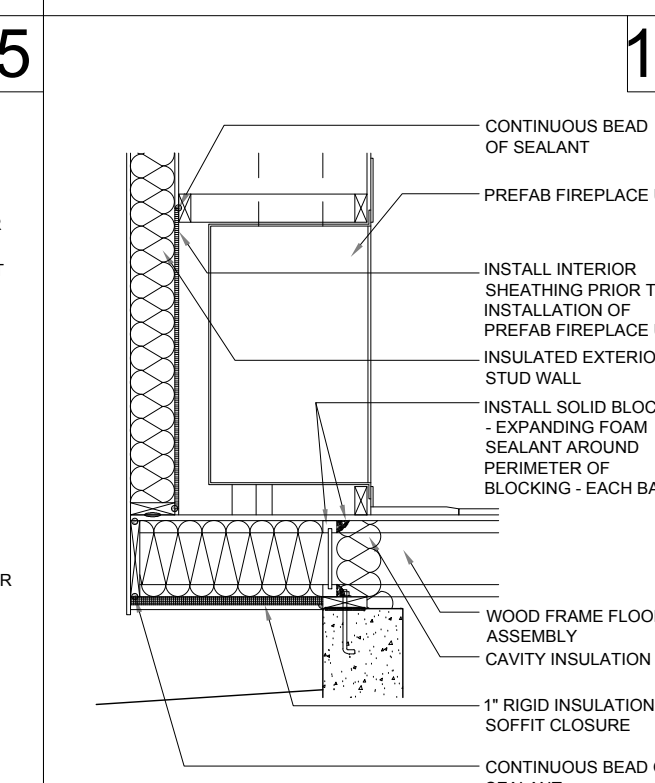
AIR SEALING AT CORNER VERTICAL CHASE



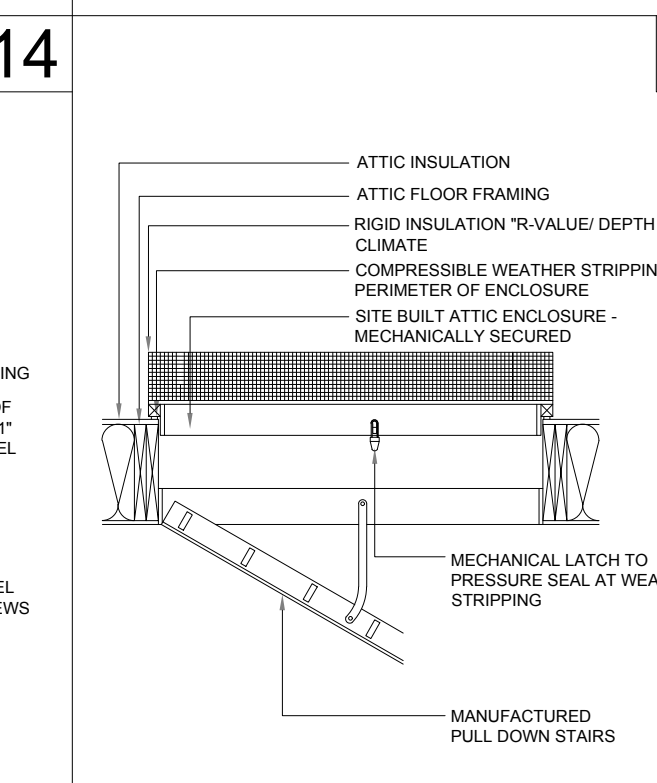
AIR SEALING AT CORNER VERTICAL BATHTUB CHASE



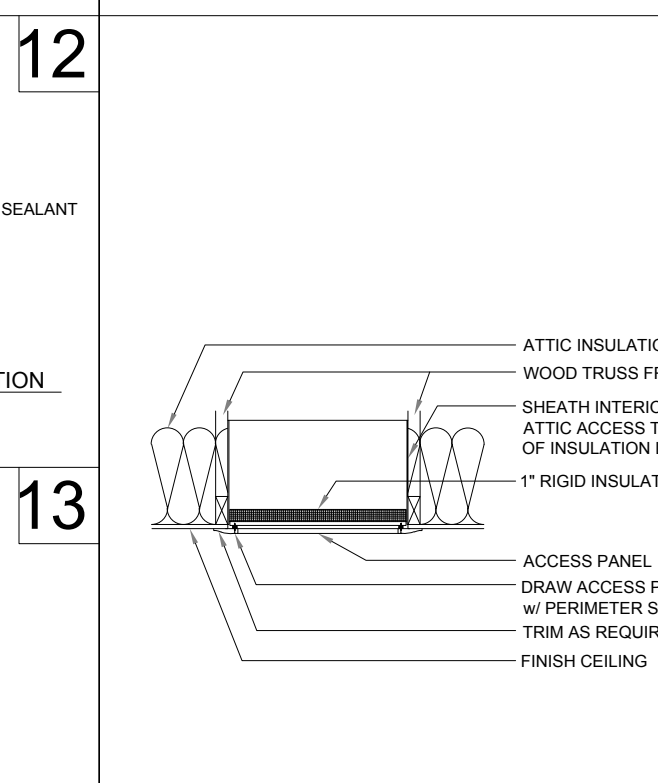
AIR SEALING AT COMMON WALL BETWEEN DWELLING UNITS



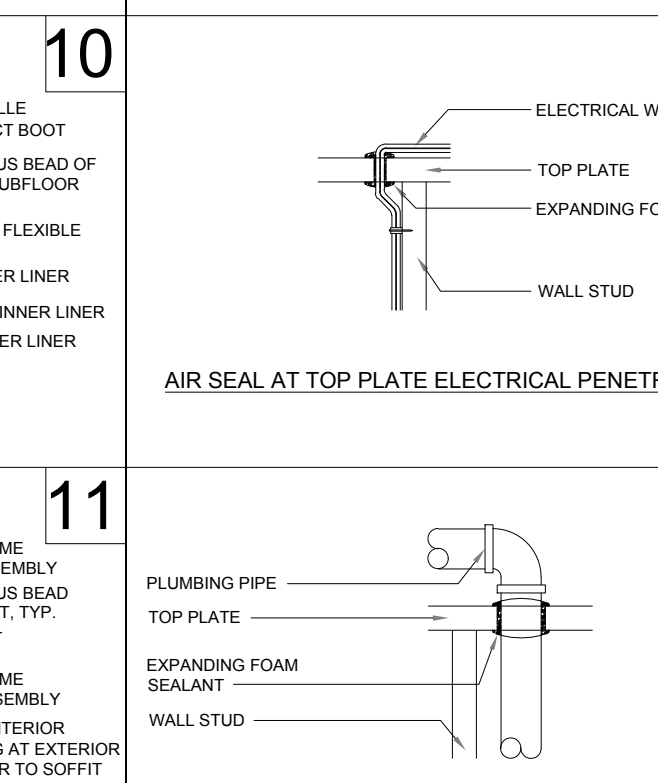
AIR SEALING AT CANTILEVERED MANUFACTURED FIREPLACE ASSEMBLY



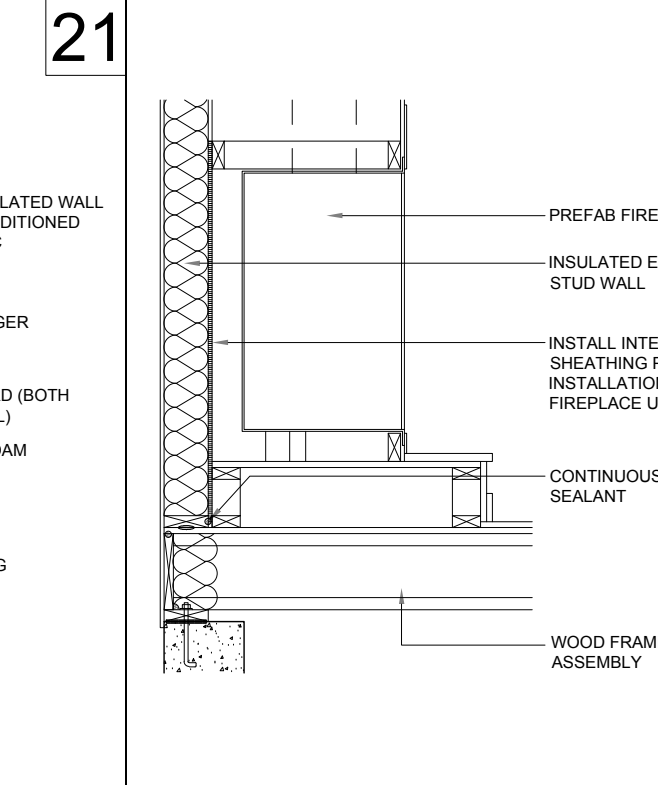
AIR SEALING AT ATTIC PULL DOWN ATTIC STAIR



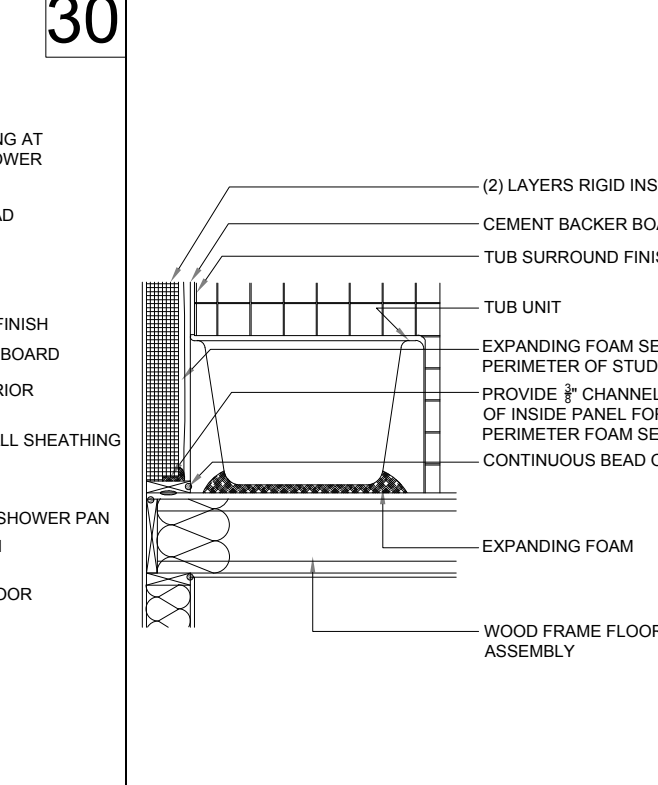
AIR SEALING AT ATTIC HATCH - FINISH SCREWS



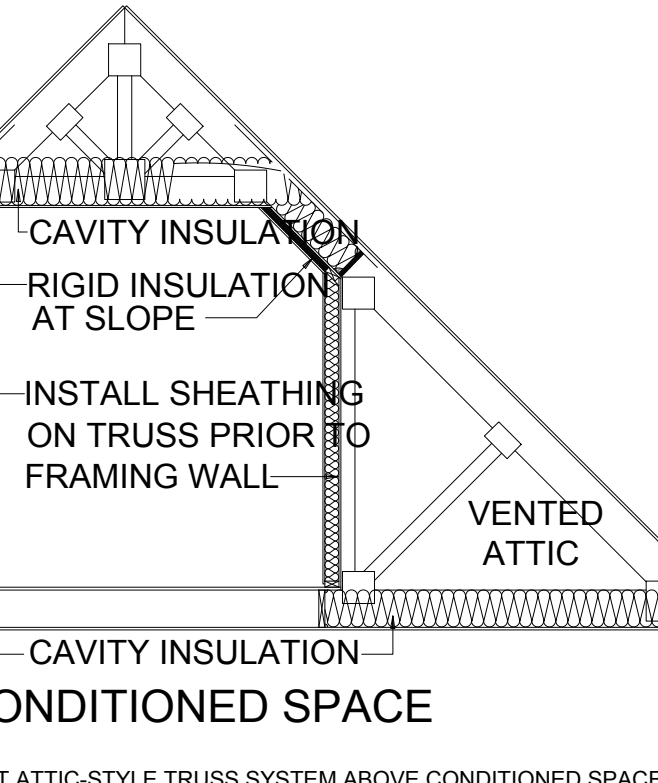
AIR SEAL AT TOP PLATE ELECTRICAL PENETRATION



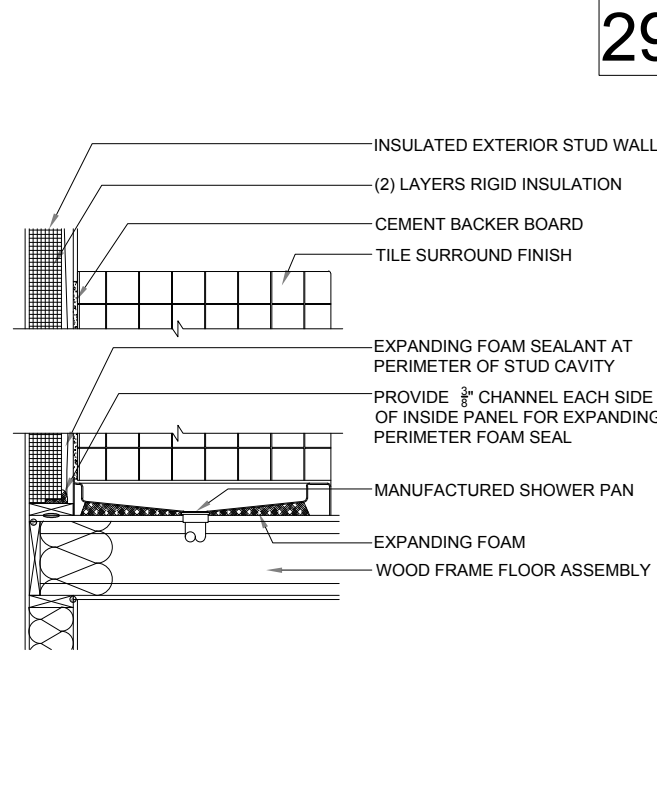
AIR SEAL AT TOP PLATE PIPE PENETRATION



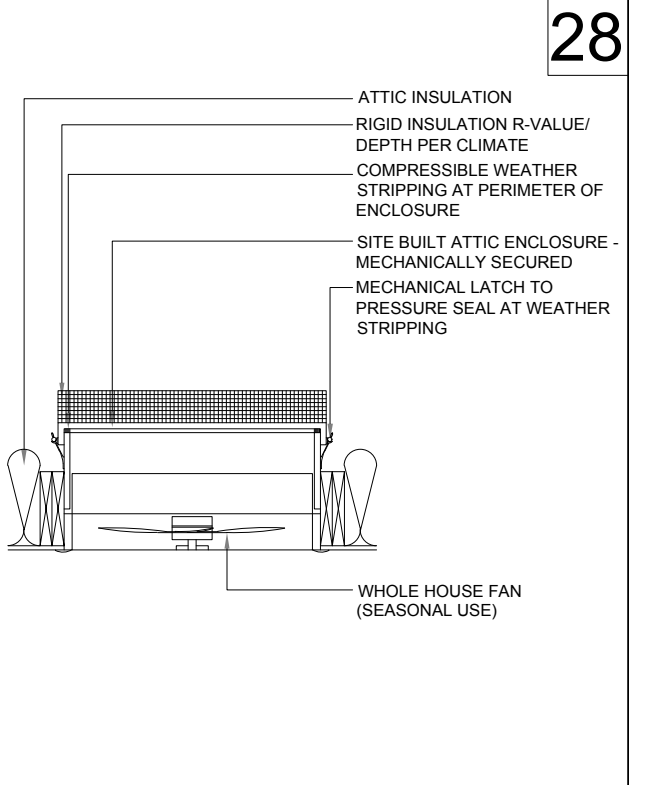
AIR SEAL AT DUCT BOOT



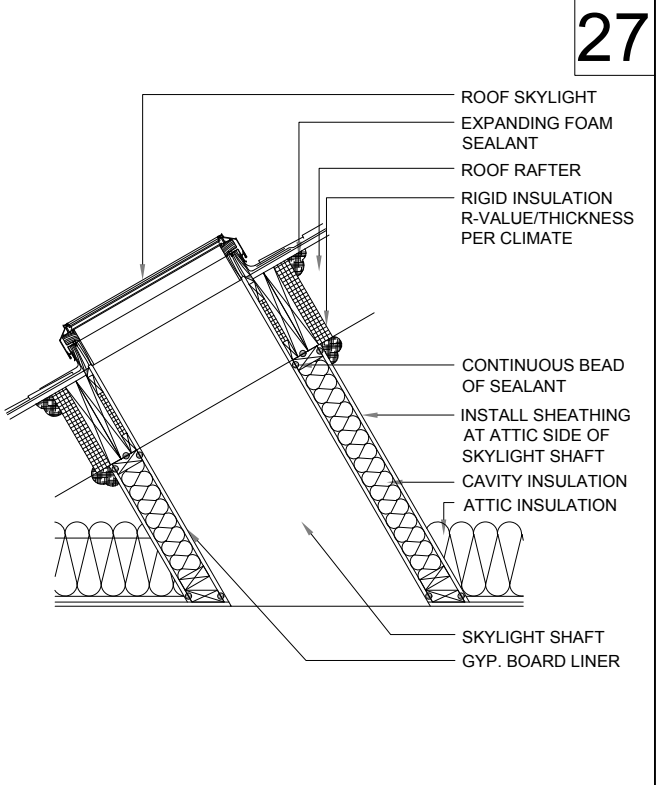
AIR SEAL AT DUCT SOFFIT



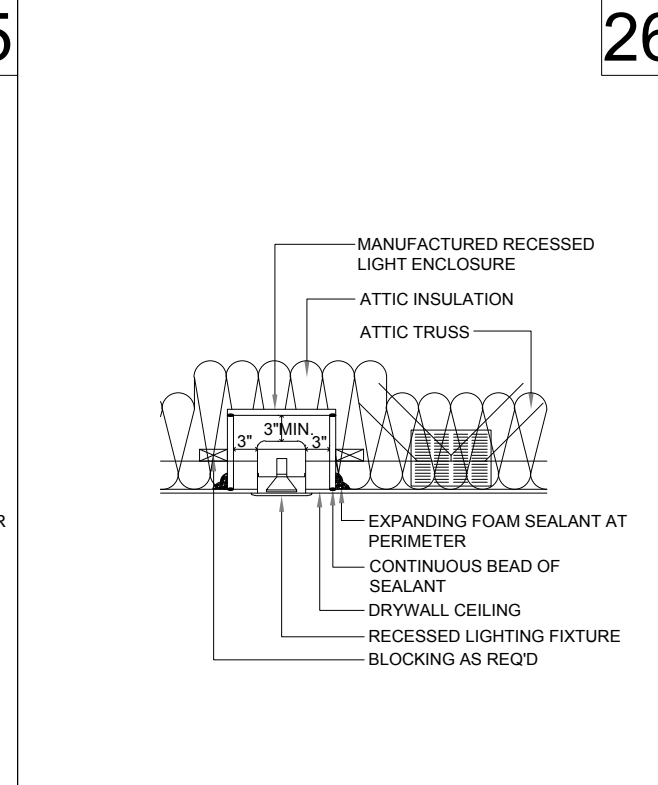
AIR SEALING AT WHOLE HOUSE FAN ENCLOSURE



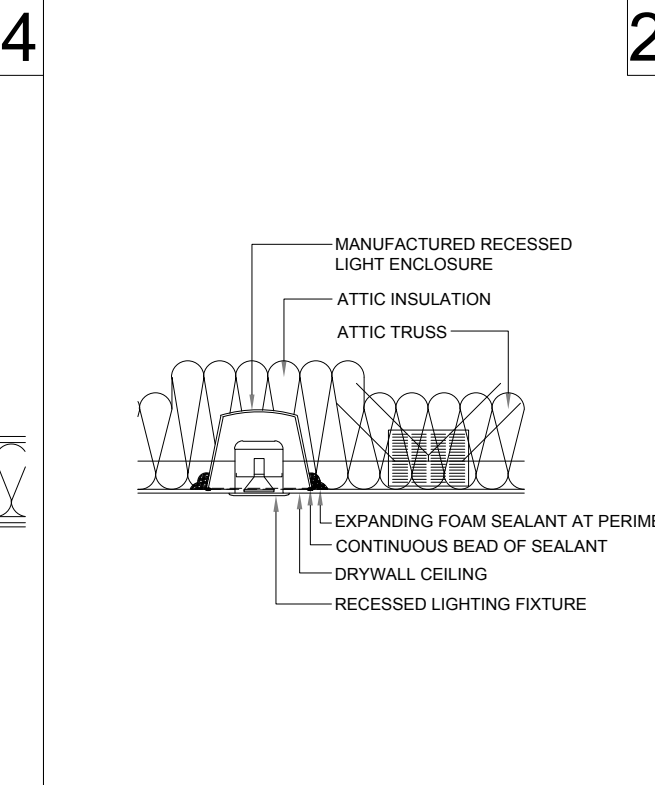
AIR SEALING AT SKYLIGHT SHAFT



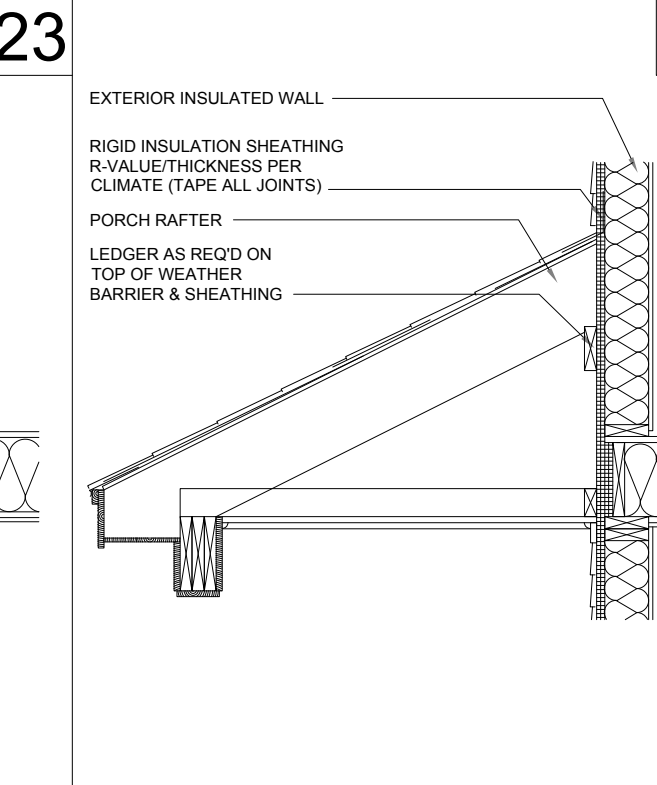
AIR SEALING AT RECESSED LIGHTING IN ATTIC



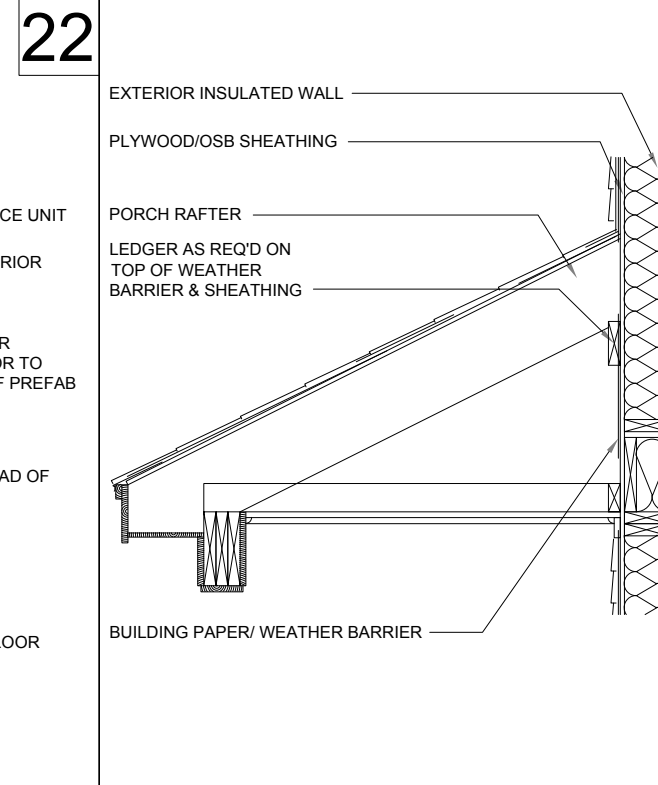
AIR SEALING AT RECESSED LIGHTING IN ATTIC



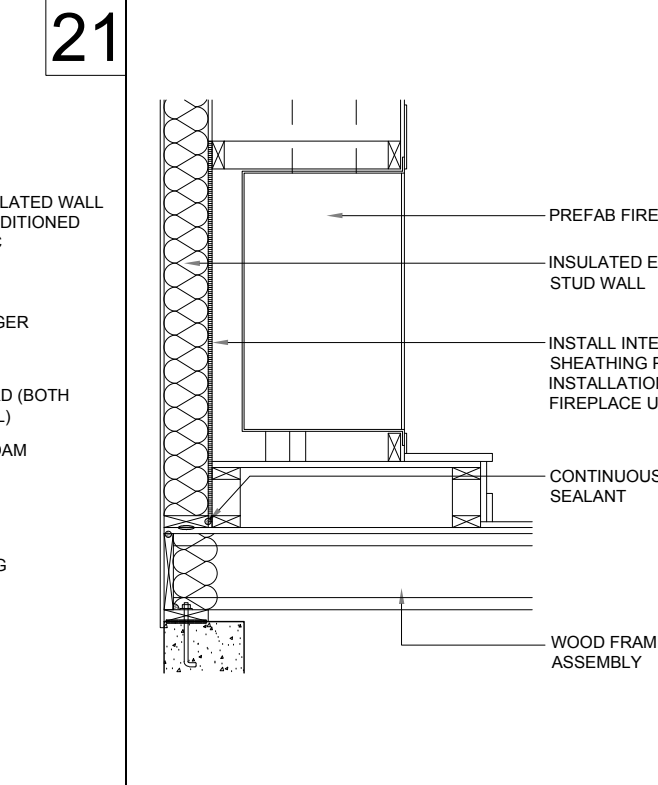
AIR SEALING AT PORCH ROOF AT 1" RIGID INSULATION SHEATHING



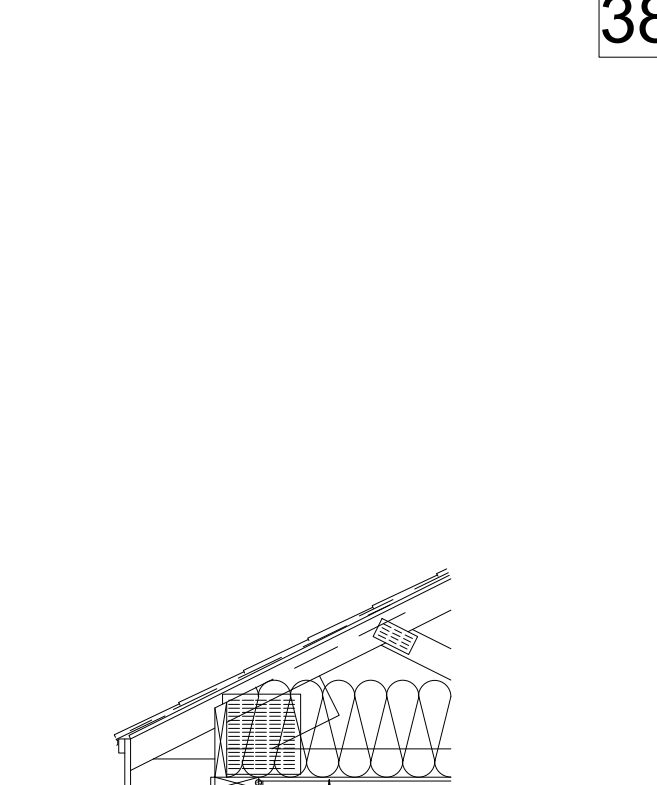
AIR SEALING AT PORCH ROOF AT 5" PLYWOOD EXTERIOR SHEATHING



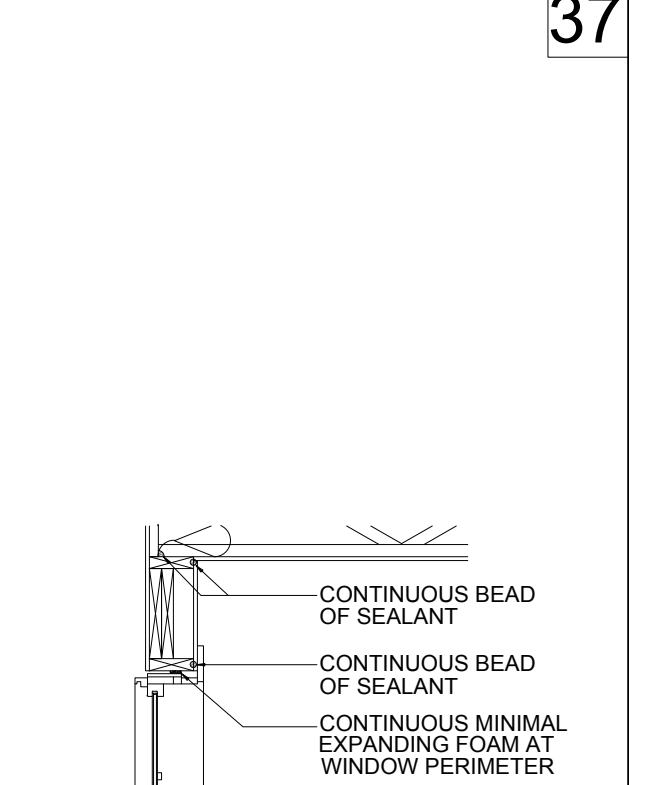
AIR SEALING AT PLATFORM FOR MANUFACTURED FIREPLACE ASSEMBLY



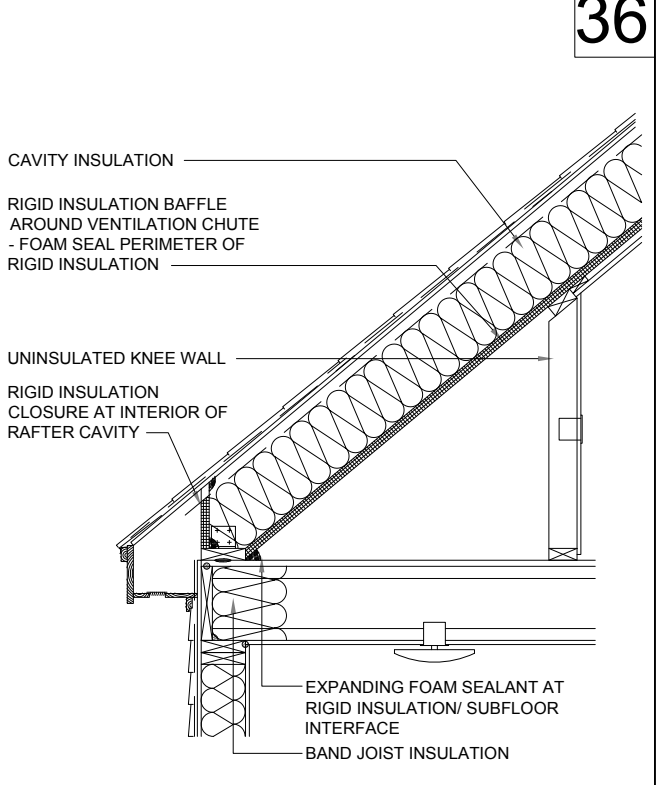
AIR SEALING AT INTERIOR WALL BETWEEN CONDITIONED SPACE & UNCONDITIONED CELLAR



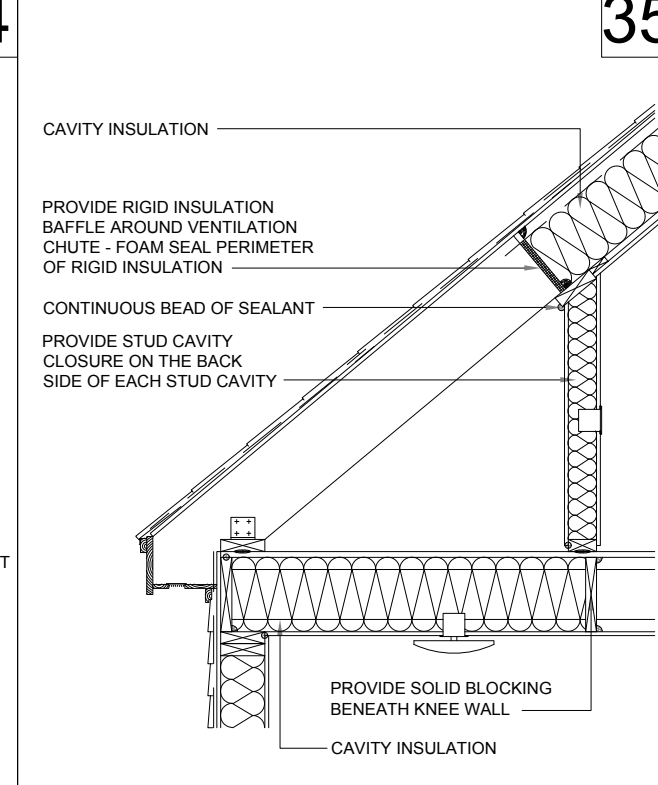
CONCEPTUAL AIR SEALING STRATEGY - UPPER WALL SECTION



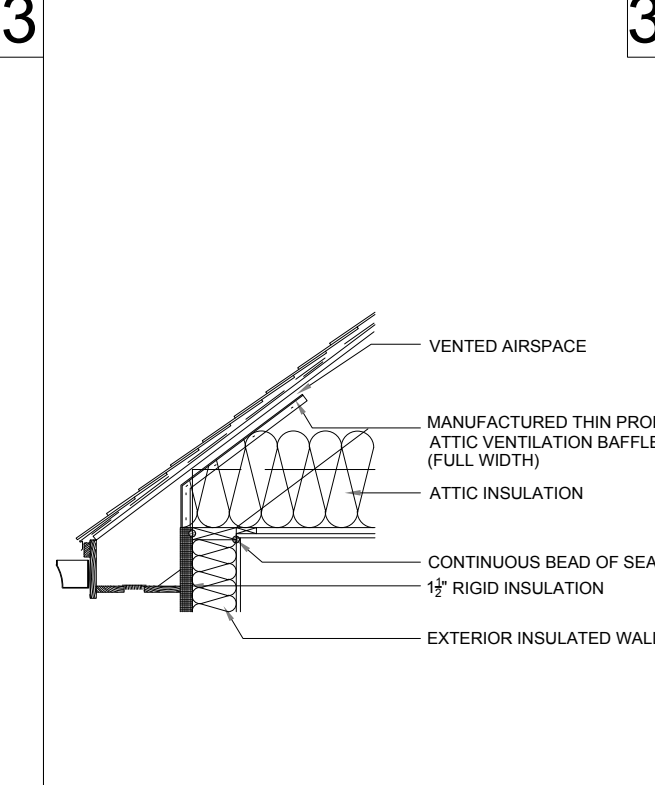
CONCEPTUAL INSULATION AT CAPE-STYLE ROOF - CAVITY INSULATION w/ RIGID INSULATION CLOSURE



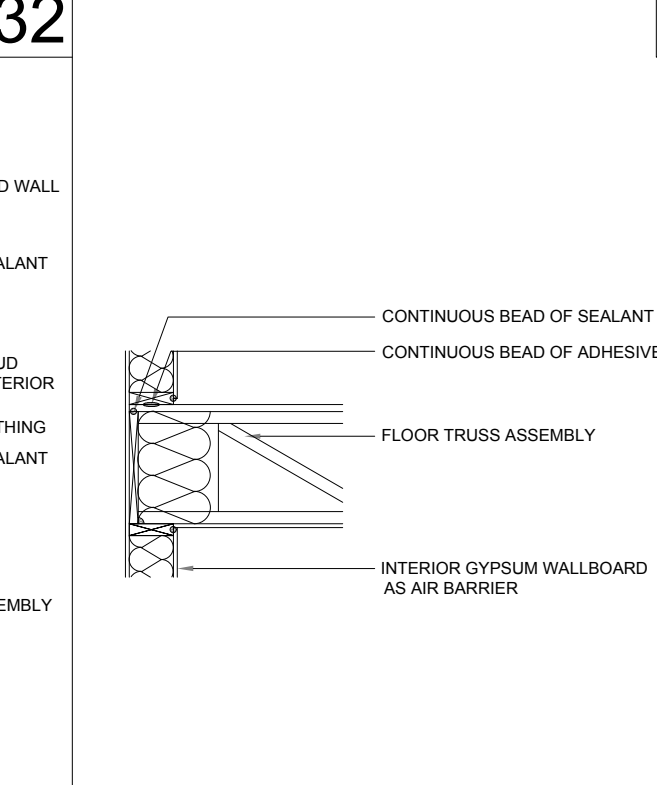
CONCEPTUAL INSULATION AT CAPE-STYLE ROOF - ROOF CAVITY INSULATION w/ RIGID INSULATION CLOSURE



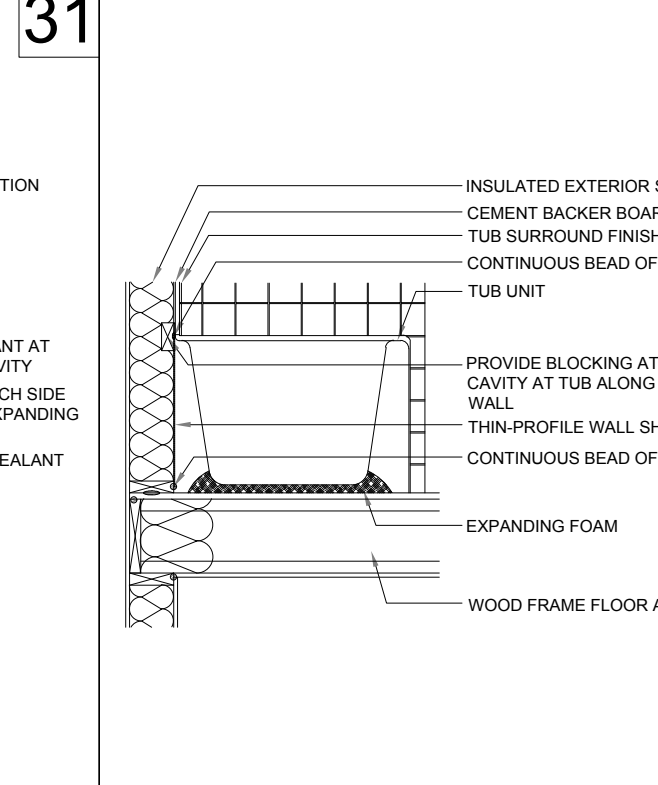
CONCEPTUAL INSULATION AT CAPE-STYLE ROOF - CEILING & KNEE WALL CAVITY INSULATION



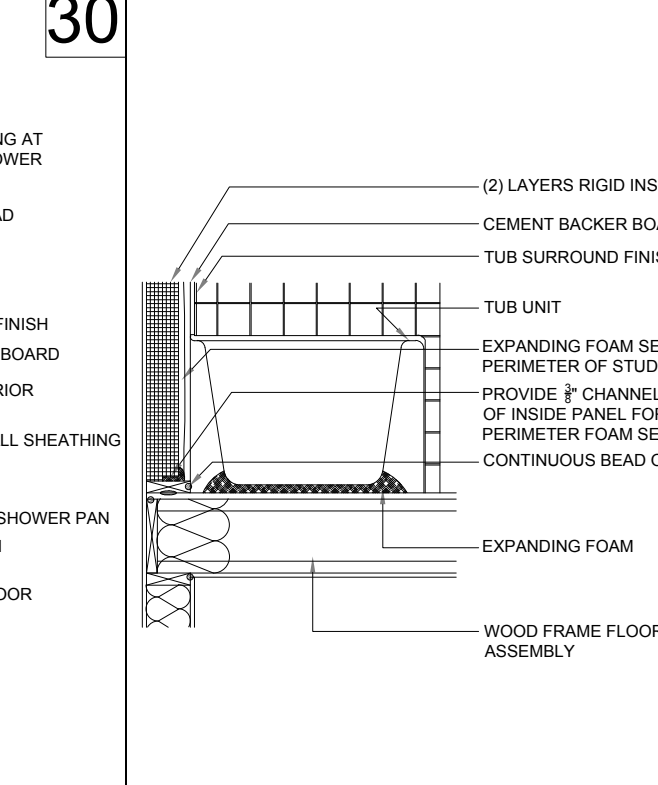
THIN-PROFILE ATTIC EAVE BAFFLE AND VENT



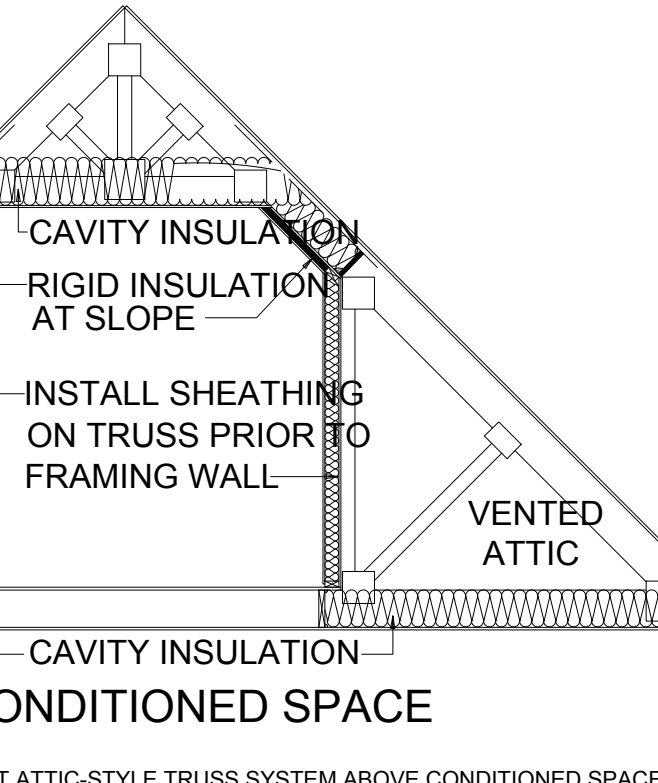
CONCEPTUAL AIR SEALING STRATEGY AT UPPER FLOOR BAND JOIST



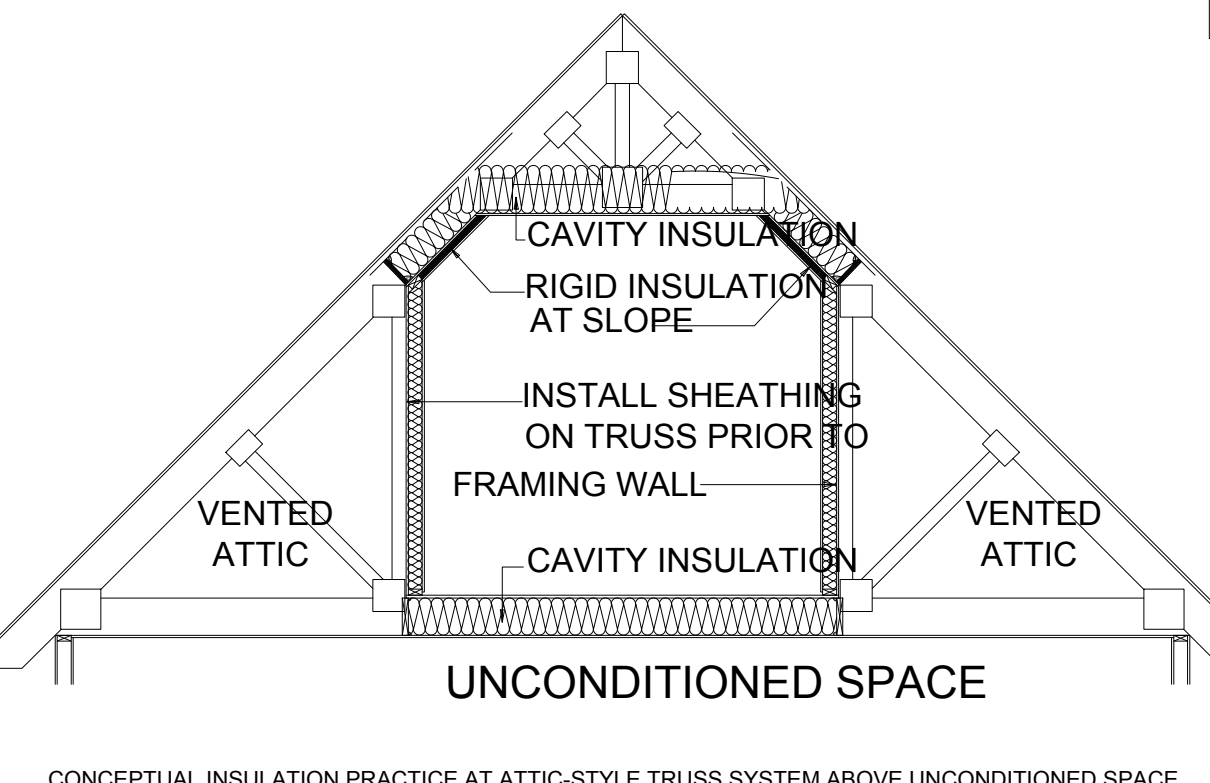
AIR SEALING BEHIND TUB w/ THIN-PROFILE SHEATHING - SECTION VIEW



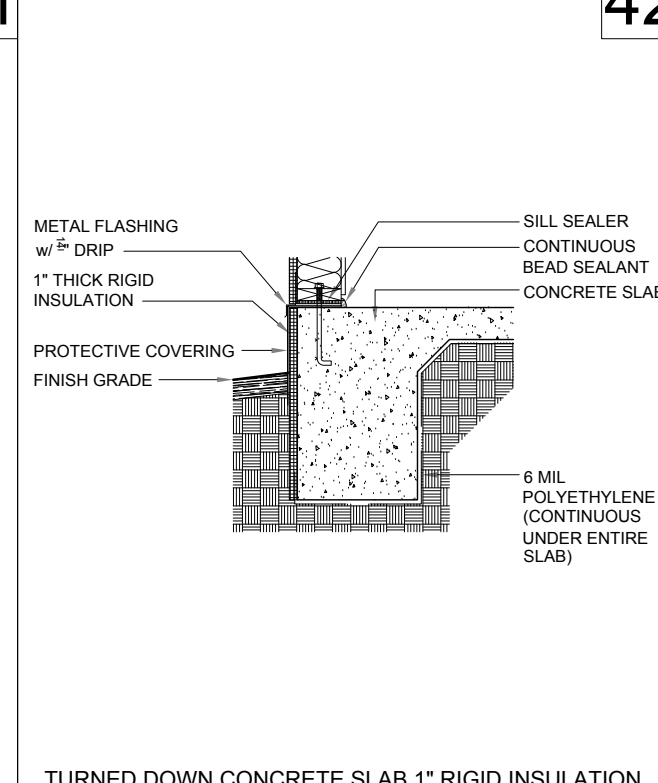
AIR SEALING BEHIND TUB w/ CAVITY RIGID INSULATION



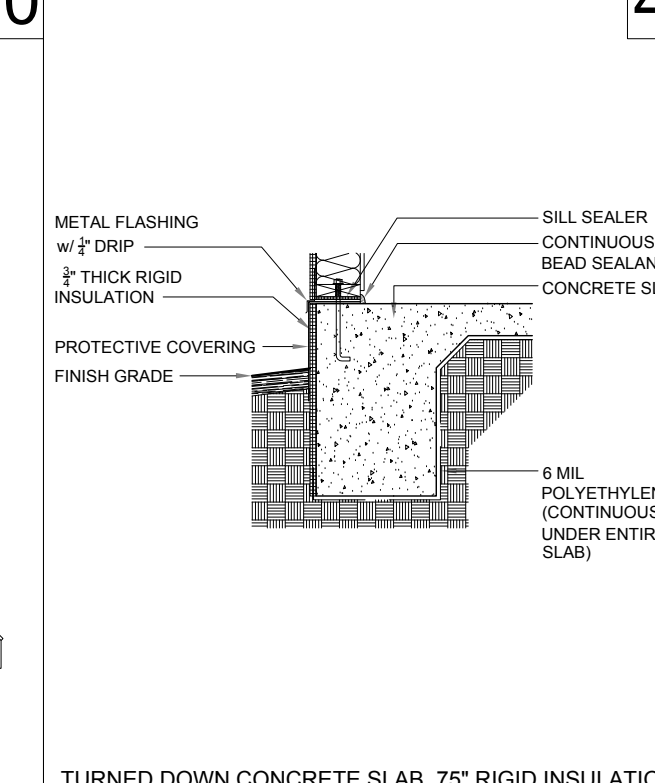
CONCEPTUAL INSULATION PRACTICE AT ATTIC-STYLE TRUSS SYSTEM ABOVE CONDITIONED SPACE



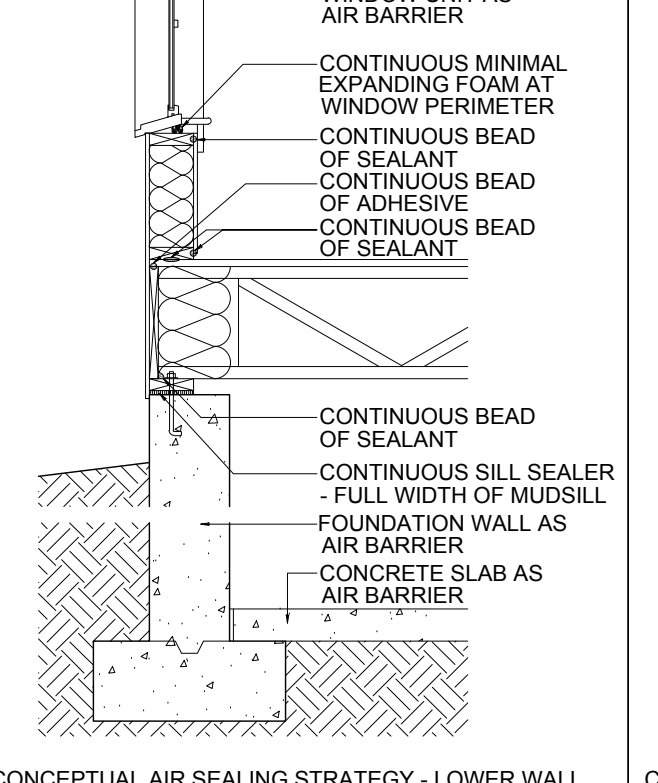
CONCEPTUAL INSULATION PRACTICE AT ATTIC-STYLE TRUSS SYSTEM ABOVE UNCONDITIONED SPACE



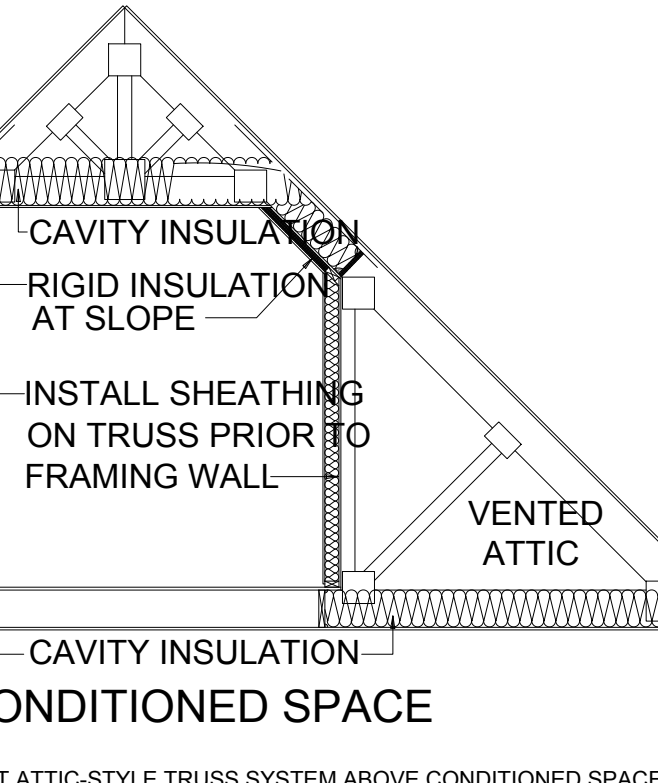
TURNED DOWN CONCRETE SLAB 1" RIGID INSULATION



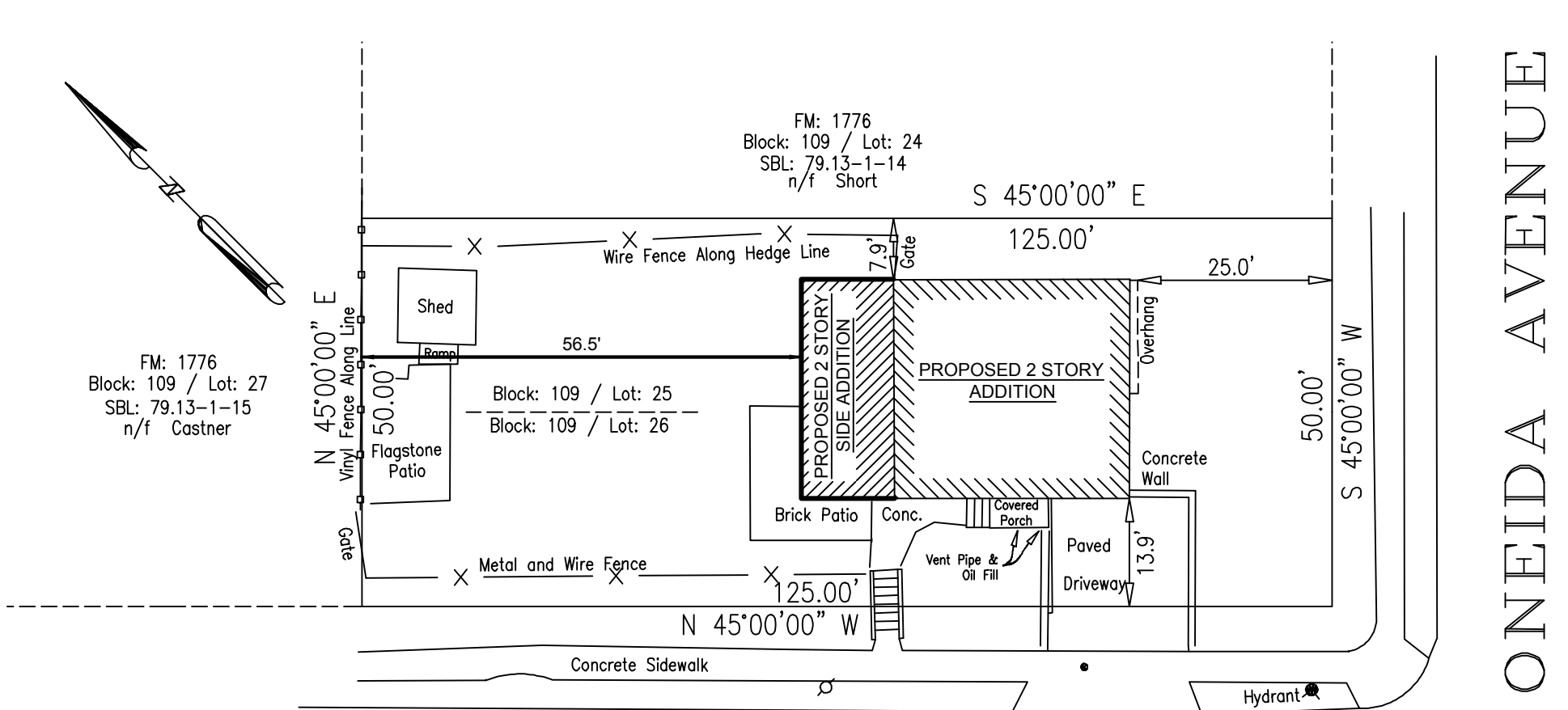
TURNED DOWN CONCRETE SLAB .75" RIGID INSULATION



CONCEPTUAL AIR SEALING STRATEGY - LOWER WALL SECTION



CONCEPTUAL INSULATION PRACTICE AT ATTIC-STYLE TRUSS SYSTEM ABOVE CONDITIONED SPACE

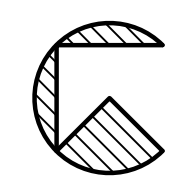


YOUNG AVENUE

ONEIDA AVENUE

**SITE PLAN** 1" = 20'-0"

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT TO ALTER AN ITEM IN ANY WAY

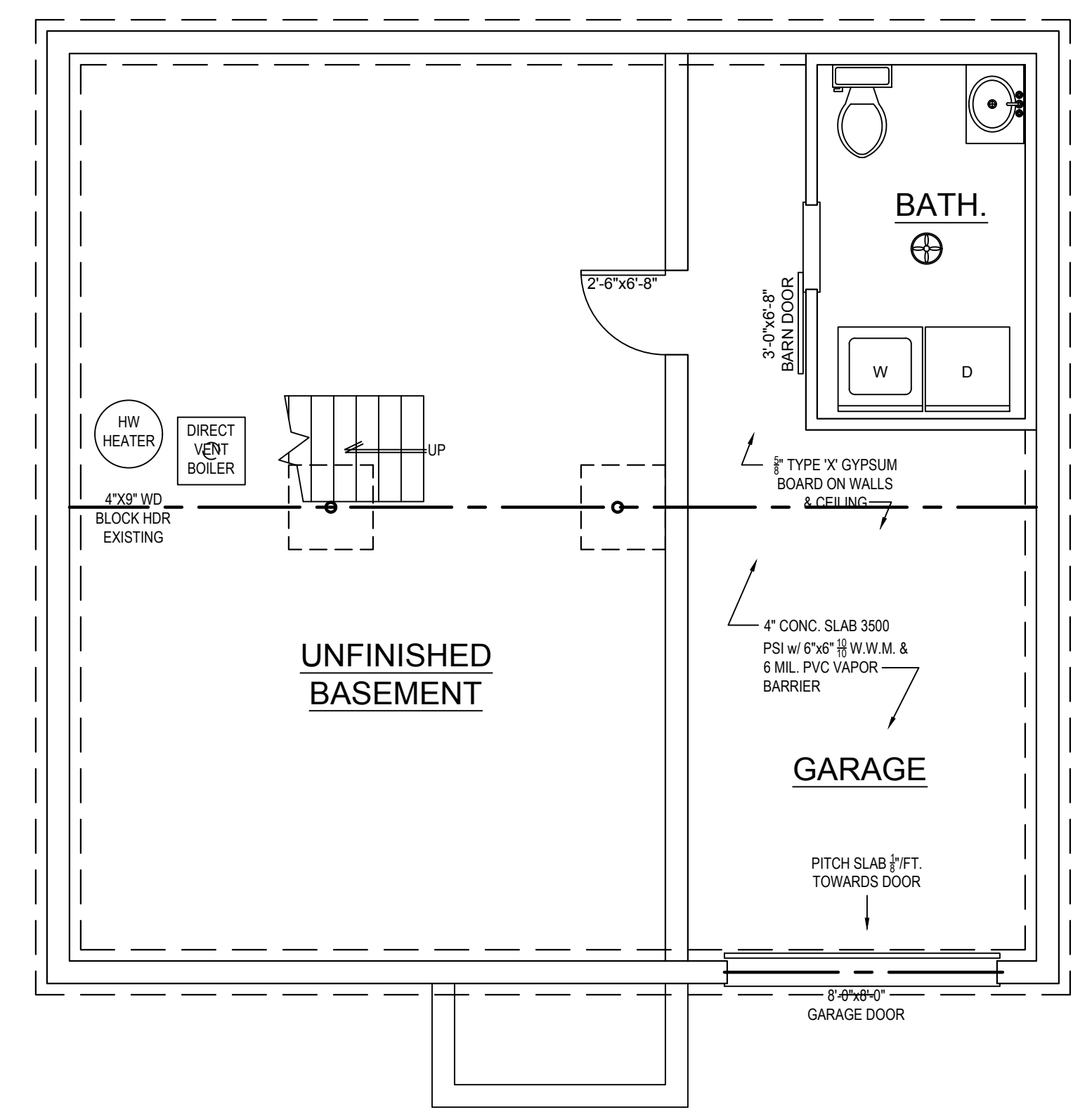


- NOTES:**
- DOUBLE UP ALL FRAMING UNDER PARALLEL PARTITIONS
  - DESIGN SHALL BE IN COMPLIANCE W/ RESIDENTIAL CODE OF N.Y.S. 2025 & 2020 W.F.C.M.
  - STAIRS LANDING RAILS & GUARDS AS PER SECTION R312
  - OUTSIDE LIGHTING AS PER CODE
  - STAIRWAY ILLUMINATION AS PER CODE
  - FIRE BLOCK AS PER CODE
  - DRAFT STOPPING AS PER CODE
  - FLOOR DIAPHRAGM BRACING W.F.C.M. 3.3.5
  - ENTIRE WALL IS SHEAR WALL
  - SUBFLOOR TO BE GLUED & SCREWED
  - ALL WINDOWS ARE ANDERSON STOCK MODEL. SEE LAYOUT FOR STOCK NUMBERS. 400 SEARIES**

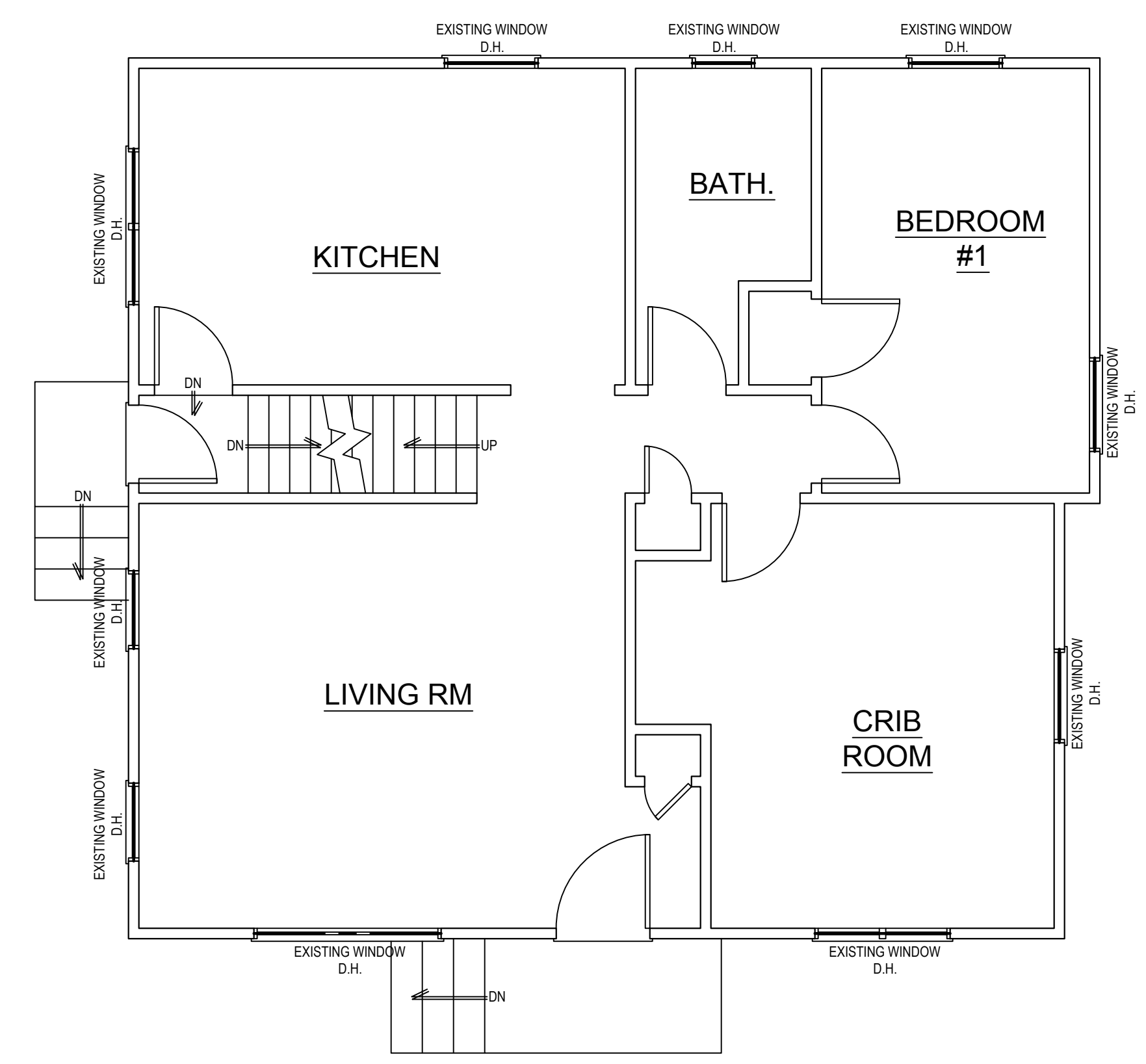
- NOTE:**
- SMOKE DETECTOR/ALARM
  - EACH SLEEPING ROOM
  - OUTSIDE EACH SLEEPING AREA IN IMMEDIATE VICINITY
  - ON EACH ADDITIONAL STORY INCLUDING BASEMENTS/ CELLARS
  - HEAT DETECTOR REQUIRED IN ALL NEW ATTACHED GARAGES. (R314.2.1)
- SEE SECTION R314  
CM ALARMS AS PER R315 OF THE 2025 RESIDENTIAL CODE OF NYS & SECTION 915 OF THE 2020 FIRE CODE OF NYS

- NOTE:**
- EGRESS WINDOW OPENINGS 5.7 SQ.FT. MIN.
  - 5 SQ. FT. @ GRADE FLOOR
  - MIN. CLEAR HT. 24"
  - MIN. CLEAR W. 20"
  - NOT MORE THAN 44" A.F.F.
  - SEE SECTION R310
- CARBON MONOXIDE DETECTOR AS PER THE 2025 RESIDENTIAL CODE OF NEW YORK STATE & ARE WITHIN 10 FEET OF ALL SLEEPING UNITS WHICH CONTAIN NO FUEL SOURCE**

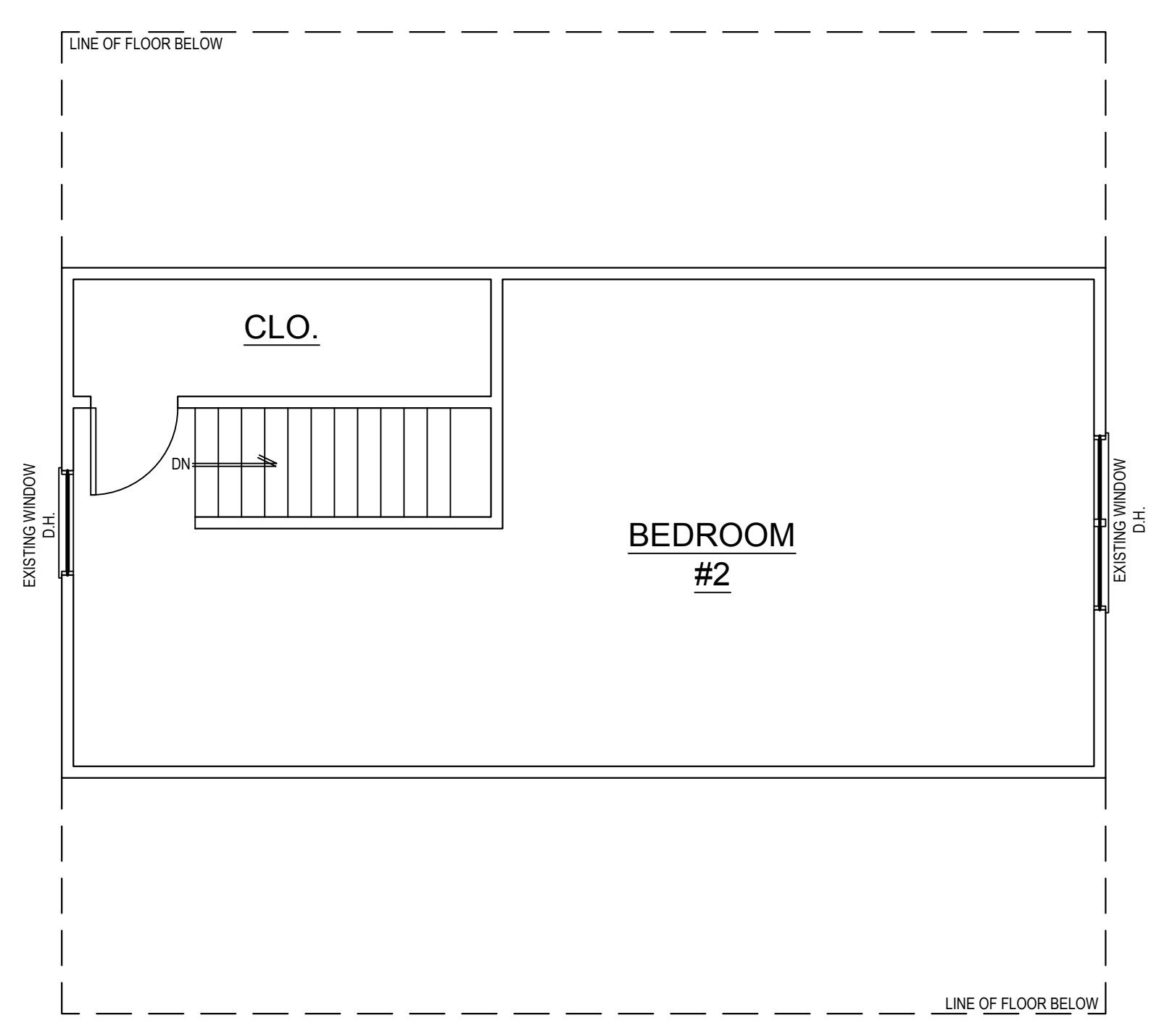
- INSULATE ALL PLUMBING SUPPLY LINES
- SHOWER DOOR TO BE TEMPERED GLASS, VERIFY W/ MANUFACT. COMPLIANCE W/ 2025 NYSRC SECTION R308
- COUNTERTOP RECEPTACLE NOTE: IN KITCHEN PANTRIES, BREAKFAST ROOMS, DINING ROOMS AND SIMILAR AREAS, RECEPTACLE OUTLETS FOR COUNTERTOP SPACES SHALL BE INSTALLED IN ACCORDANCE W/ NYSRC E3901.4.1 THRU E3901.4.3
- SMOKE AND CO ALARMS TO BE HARD-WIRED AND INTERCONNECTED, AS PER 2025 NYSRC R313 & R314.
- ALL DIMENSION & WINDOW OPENING TO BE VERIFIED W/ WINDOW SCHEDULE AND VERIFIED IN FIELD
- WHERE THE WINDOW SILL OF AN OPERABLE WINDOW IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, A GUARD RAIL MUST BE PROVIDED AS PER 2025 NYSRC R312.2.
- INTERMEDIATE RAILINGS SHALL RESTRICT PASSAGE OF A 4" SPHERE & TRIANGULAR OPENING FORMED BY RISER TREAD & BOT. RAIL OF GUARD TO RESIST PASSAGE OF 6" SPHERE
- GUARDS TO BE MINIMUM 36" TALL AND COMPLY WITH 2025 NYSRC R-312.1, HANDRAILS SHALL BE 34-38" ABOVE WOSING OF TREADS AND COMPLY WITH 2025 NYSRC R-311.8.3
- ALL HABITABLE ROOMS TO COMPLY WITH R303 (SEE LIGHT AND VENT CALCS FOR THE ROOMS)
- ALL NEW INTERIOR AND EXTERIOR STAIRWAY STAIRWAY ILLUMINATION TO HAVE CEILING AND/OR WALL MOUNTED FIXTURES W/ 3-WAY SWITCHES AT TOP AND BOTTOM OF STAIRS AS PER 2025 NYSRC SECTION R-303.7, R-303.8
- PROVIDE "SIMPSON" CONNECTIONS OR APPR'VD EQUAL AT ALL FRAMING CONNECTIONS. FOR DETAILS, SPEC SIZES AND NAILING REFER TO DATA SHEET
- ALL NEW INTERIOR & EXTERIOR WALLS TO BE 2x4 CONST. UNLESS NOTED OTHERWISE, PROVIDE FINISH LAYER OF 1/2" GYPSUM WALL BOARD AND INSTALL LATERAL BLOCKING PER 2025 NYSRC SECTIONS R.602 & R302.11
- SOUND INSULATE ALL BATHROOM AND POWDER ROOM WALLS AND CEILING.
- DUCTWORK FOR NEW CENTRAL AIR COOLING SYSTEM OCCURRING IN ATTIC TO BE INSULATED WITH R-8 DUCT WRAP.
- BATHROOM RECEPTACLE OUTLET TO BE LOCATED AS PER NYSRC E3901.6
- PROVIDE ELECTRICAL OUTLETS THROUGH-OUT RESIDENCE AS PER NYSRC. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COMPLYING W/ ALL STATE RECEPTABLES IF REQUIRED BY STATE AND LOCAL CODES. ELECTRICAL CONTRACTOR TO VERIFY LOCATIONS IN FIELD W/ ARCHITECT PRIOR TO ROUGH-IN.



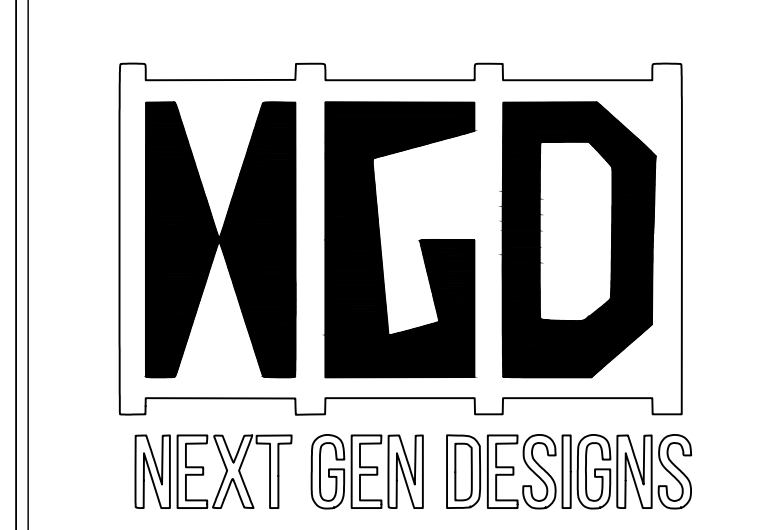
EXISTING FOUNDATION PLAN 1/4" = 1'-0"



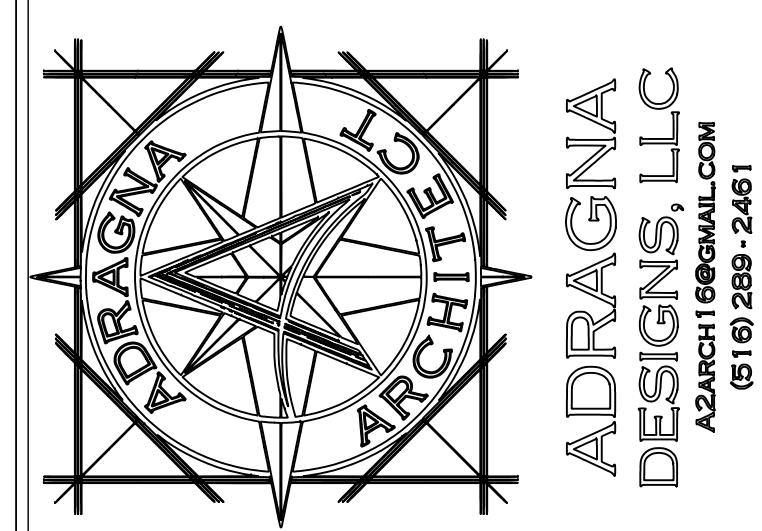
EXISTING FIRST FLOOR PLAN 1/4" = 1'-0"



EXISTING SECOND FLOOR PLAN 1/4" = 1'-0"



555 BROADHOLLOW RD #327, MELVILLE, NY, 11747  
PHONE # (516) 942-4224 WEB: <https://mynextgendesigns.com>  
NEXTGENSOOLUTIONSNY@GMAIL.COM



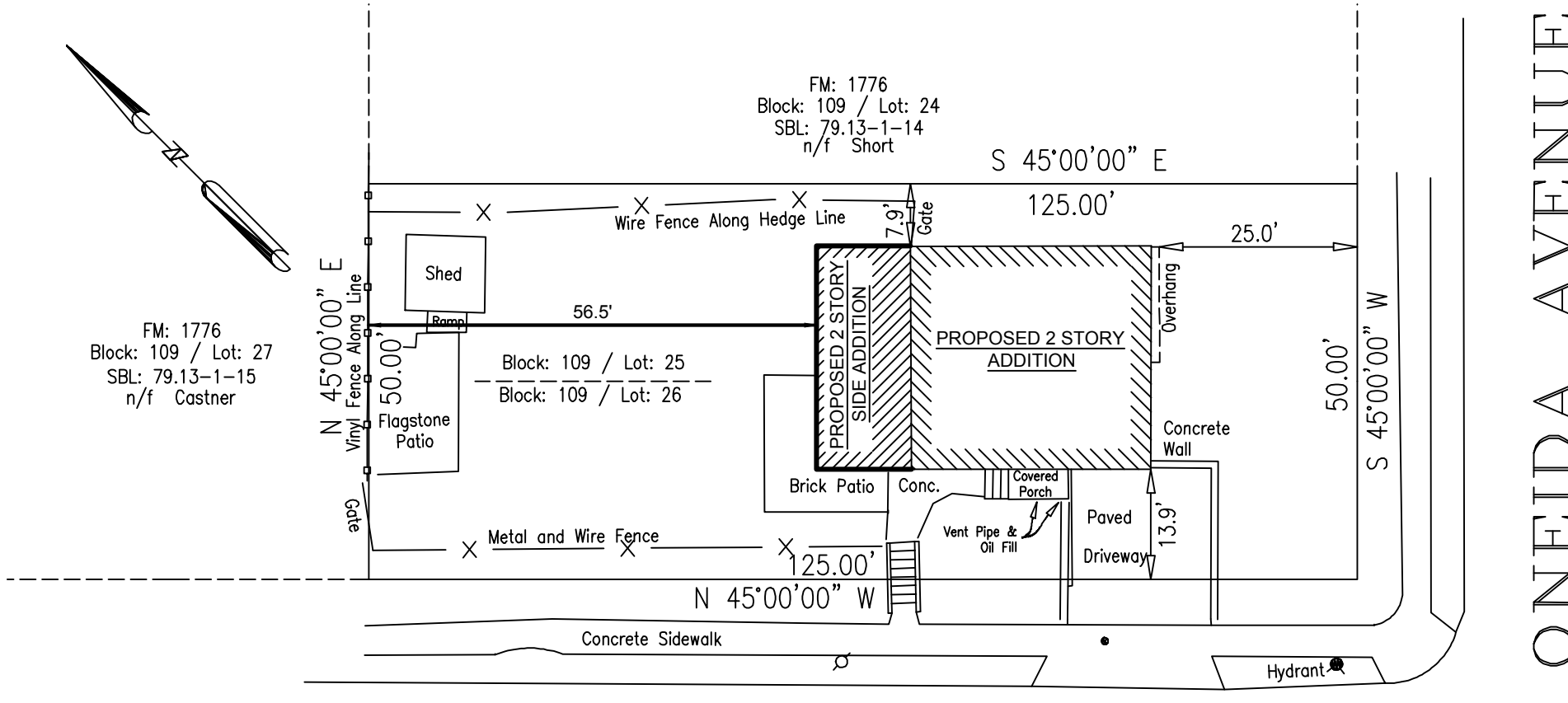
IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT, TO ALTER THESE PLANS IN ANY WAY. BY ACCEPTING AND USING THESE PLANS, THE OWNER, CONTRACTOR, AND/OR AGENT AGREES TO LIMIT THE LIABILITY OF THE DESIGN PROFESSIONAL AND THEIR EMPLOYEES FOR ANY ACTS OF NEGLIGENCE OR ERROR. THE TOTAL AGGREGATE LIABILITY SHALL NOT EXCEED THE TOTAL FEE FOR SERVICES RENDERED ON THIS PROJECT.

**ISSUE:**  
11-21-25 ISSUED FOR PRELIMINARY REVIEW  
11-26-25 ISSUED FOR PRELIMINARY REVIEW  
12-04-25 ISSUED FOR PRELIMINARY REVIEW  
12-22-25 ISSUED FOR PRELIMINARY REVIEW  
01-06-26 ISSUED FOR ARCHITECTURAL REVIEW  
02-05-26 ISSUED FOR BUILDING PERMIT REVIEW

PROJECT: **PROP. 1ST & 2ND FLOOR ADDITION**  
**DILLON RESIDENCE**  
100 YOUNG AVE, CROTON-HUDSON, NY, 10520  
TM#: 79.13-1-13  
TITLE: -EXISTING CONDITIONS

PROJECT#: 251121  
DRAWN BY: NGD

SHEET NUMBER  
5 OF 9



ONEIDA AVENUE

YOUNG AVENUE

### ZONING ANALYSIS

USE	AREA	% USE
LOT	6250 S.F	100%
EXIST. DWELLING	846.8 S.F	13.5%
SHED	98 S.F	1.5%
PROP. ADDITION	338.7 S.F	5.4%
CONC. PLAT	12 S.F	.1%
R/O STEPS	28 S.F	.4%
TOTAL	1323.5 S.F	21.1%

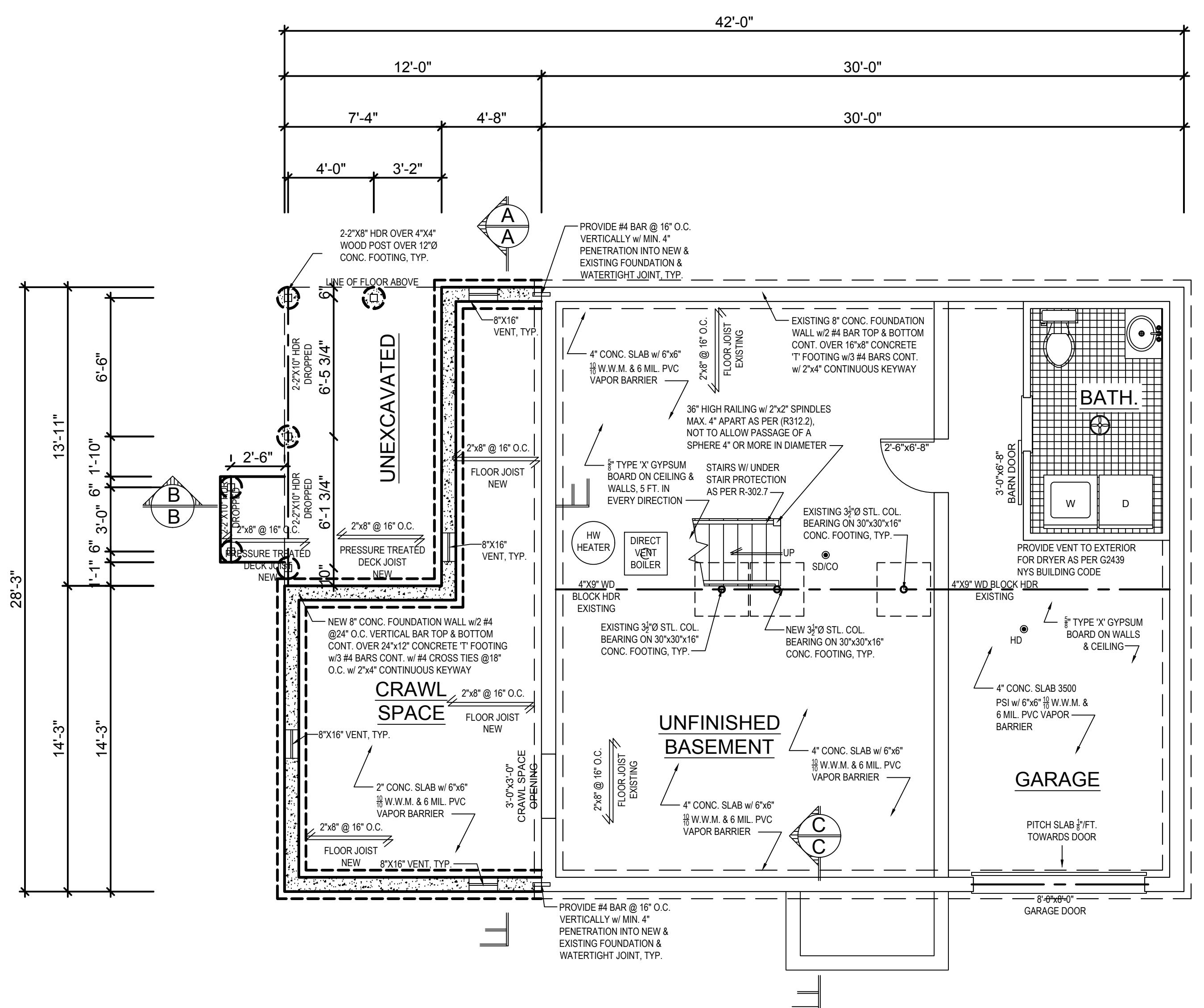
### ZONING ANALYSIS: RESIDENCE ZONE RA-5

	PERMITTED	EXISTING	PROPOSED
LOT SIZE:	5,000 S.F. MIN.	6,250 S.F.	6,250 S.F.
USE:	RESIDENCE	RESIDENCE	RESIDENCE
HEIGHT:	35' MAX.	18'	30'
BLDG. COVERAGE:	30%	15.5%	21.1%
FRONT YARD:	30'	13.9'	13.9'
FRONT YARD CORNER:	N/A	25'	25'
SIDE YARD:	10' MIN.	7.9'	7.9'
	25' TOTAL	7.9'	7.9'
REAR YARD:	30'	68.5'	56.5'

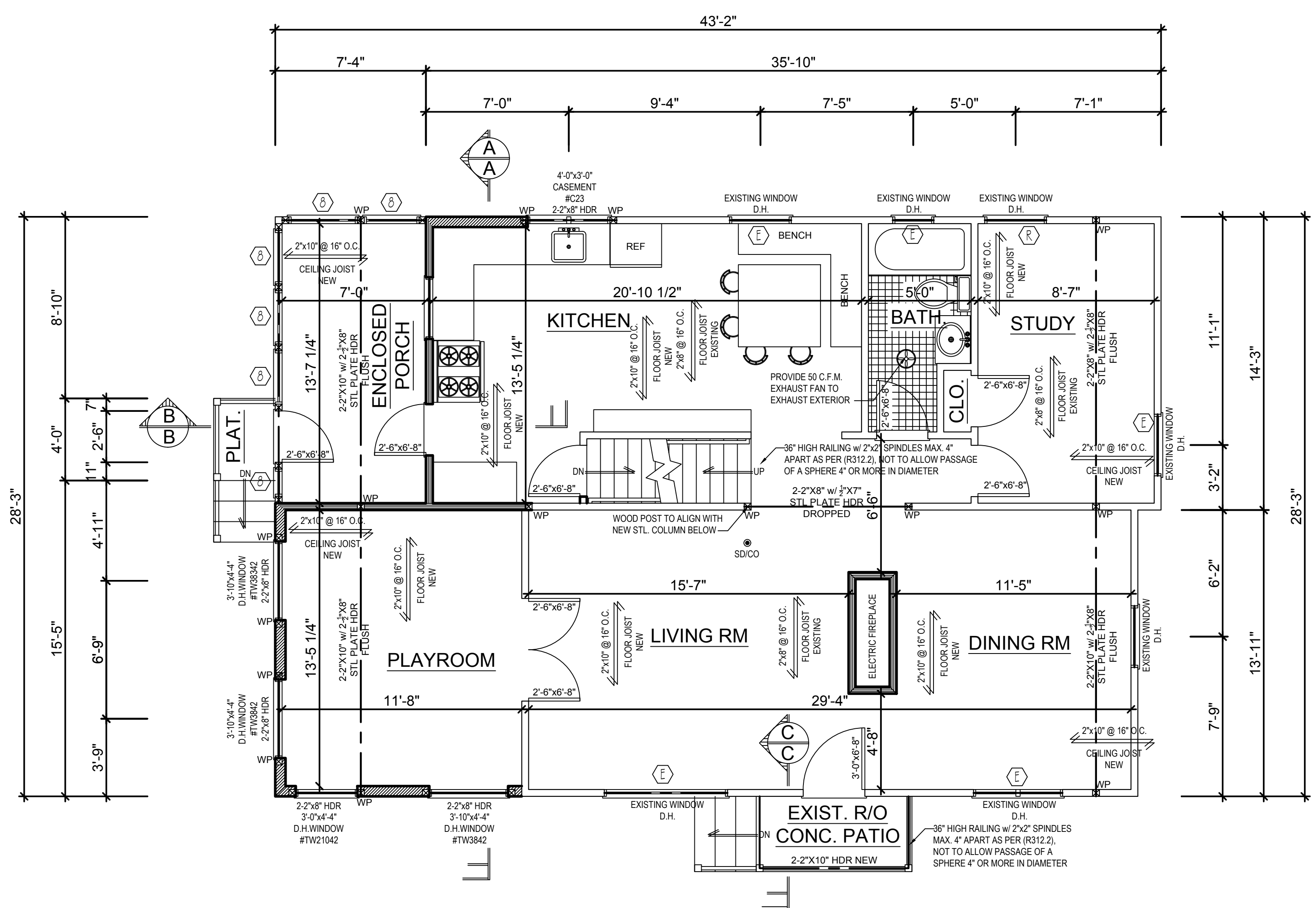
### WALL TYPE SCHEDULE

	NEW CONC. FOUNDATION WALL
	NEW 2"x4" STUD WALL, FINISHED
	NEW 2"x6" STUD WALL, FINISHED

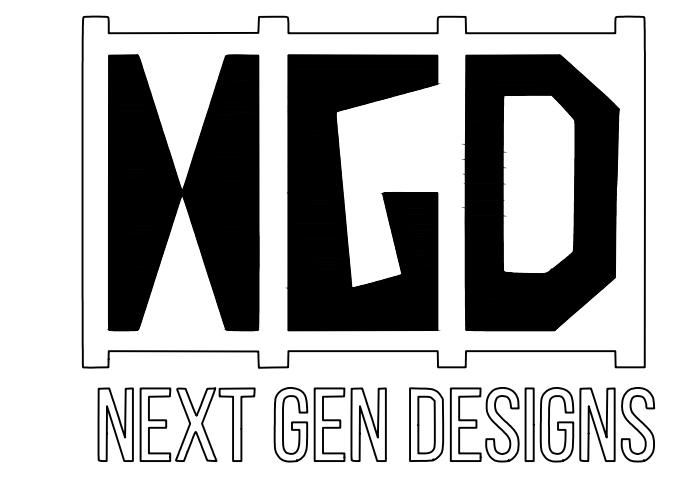
**SITE PLAN** 1" = 20'-0"  
 SECTION: 79.13 BLOCK: 1 LOT: 13  
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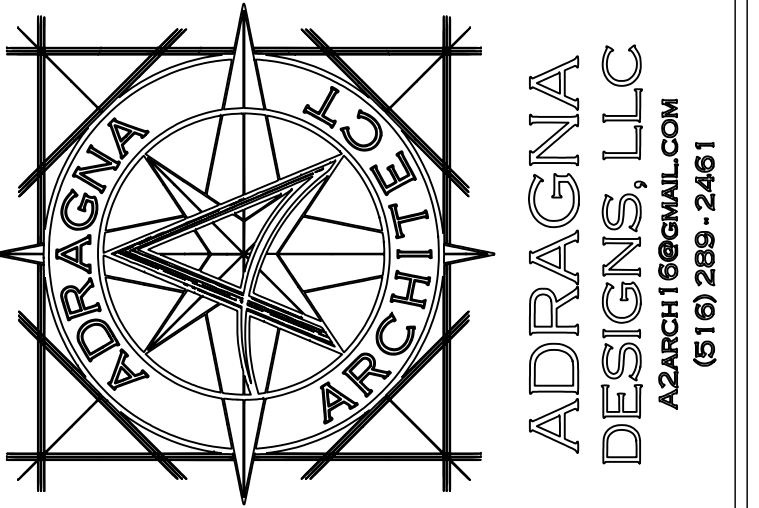
PROPOSED FOUNDATION PLAN 1/4" = 1'-0"



PROPOSED FIRST PLAN 1/4" = 1'-0"



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PROJECT: **PROP. 1ST & 2ND FLOOR ADDITION**  
**DILLON RESIDENCE**  
 100 YOUNG AVE, CROTON-HUDSON, NY, 10520  
 TM#: 79.13-1-13

TITLE:  
 -PROPOSED FOUNDATION PLAN  
 -PROPOSED FIRST FLOOR PLAN  
 -SITE LOCATION

PROJECT#: 251121

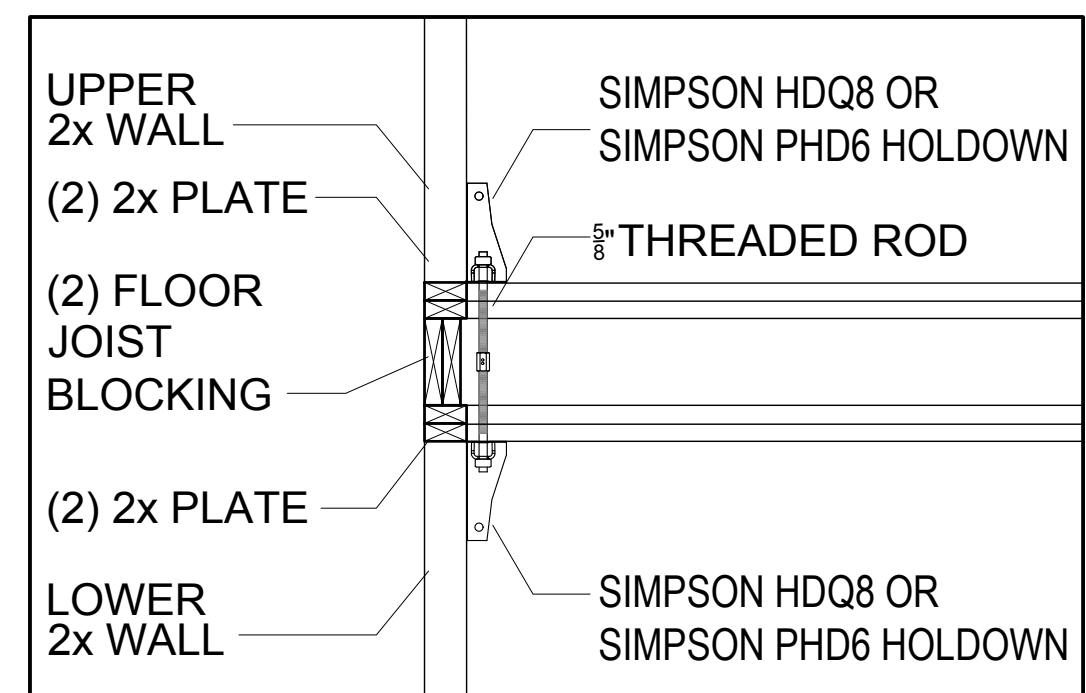
DRAWN BY: NGD

SHEET NUMBER

6 OF 9

ANDERSEN WINDOW SCHEDULE 400 SERIES						
#	UNIT NUMBER	EGRESS CLEAR	LIGHT GLASS SQ. FT.	VENTILATION SQ. FT.	OVERALL UNIT AREA SQ. FT.	NOTES
1	#TW21042	4.92	8.84	4.95	13.08	---
2	#TW3842	6.47	11.89	6.5	16.75	---
3	#C23	4	8.5	7.9	12	---
4	#TW20210	2.16	3.68	2.18	6.56	TEMPERED GLASS
5	#TW3046	5.82	10.31	5.75	14.85	EGRESS
6	#90-C345-15	---	---	---	---	BAY WINDOW
7	#TW2446	4.44	7.65	4.39	11.7	---
8	CUSTOM	---	---	---	---	PORCH WINDOW
E	EXISTING WINDOW - NO CHANGE					
R	REPLACEMENT VINYL WINDOW - SAME SIZE					

NOTE ALL WINDOWS TO HAVE A U VALUE =0.3 AND SHGC >=0.42

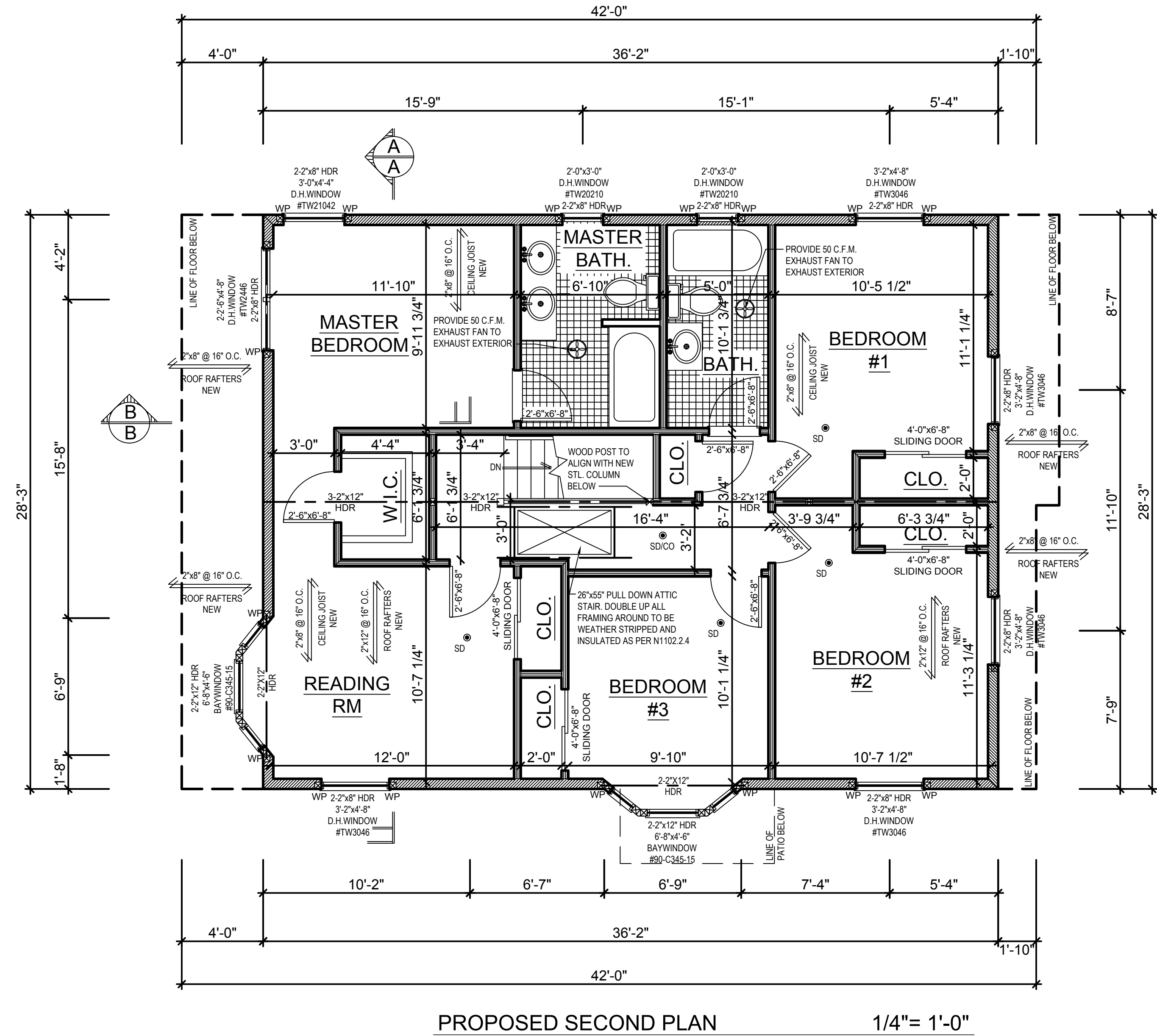


HOLDOWN CONNECTION "HD" DETAIL

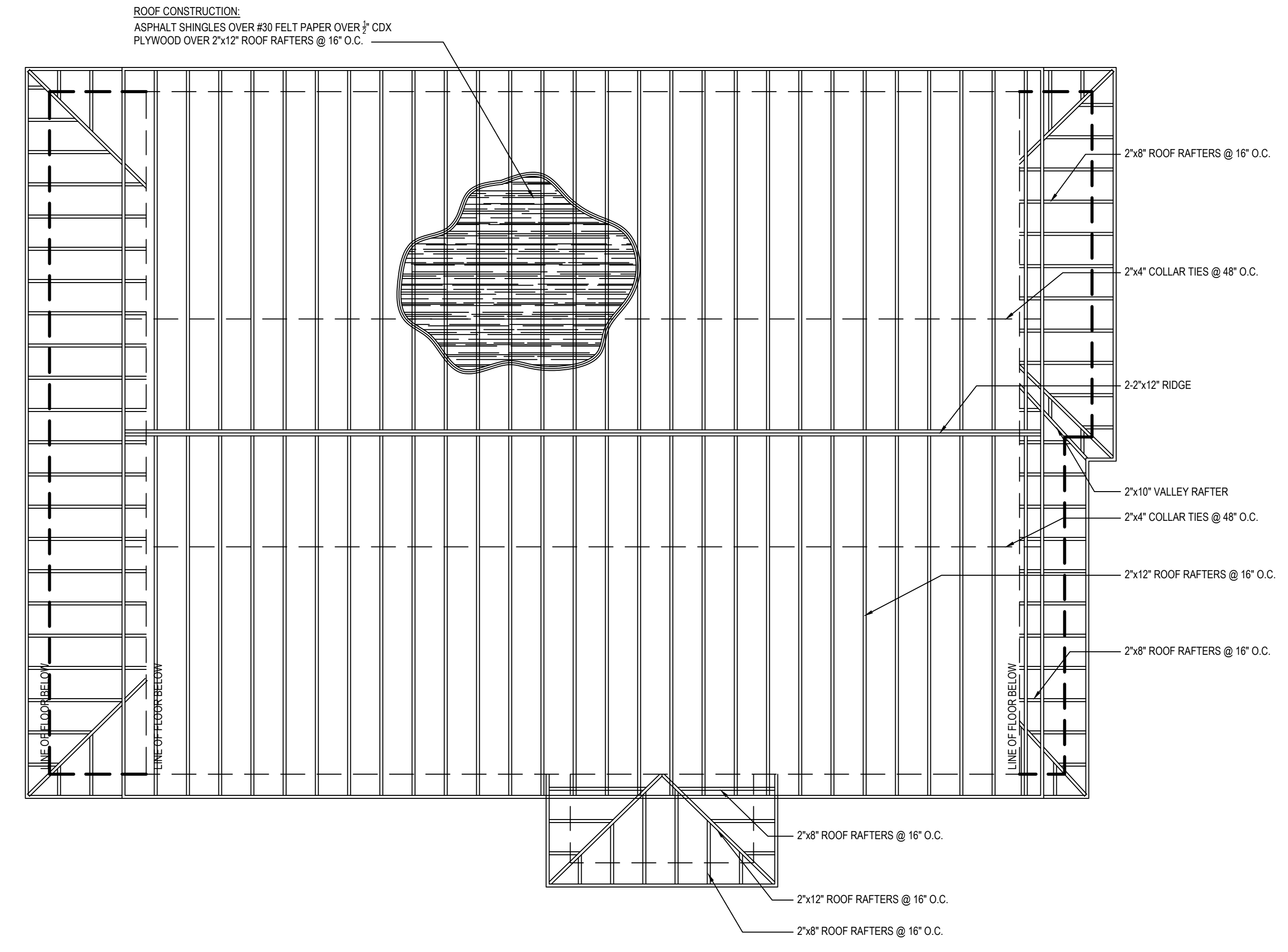
R402.2.1 CEILINGS WITH ATTIC SPACES  
 WHERE SECTION R1102.1.2 REQUIRES R-38 INSULATION IN THE CEILING, INSTALLING R-30 INSULATION OVER 100 PERCENT OF THE CEILING AREA REQUIRING INSULATION SHALL SATISFY THE REQUIREMENT FOR R-38 INSULATION WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-30 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES. WHERE SECTION N1102.1.2 REQUIRES R-49 INSULATION IN THE CEILING, INSTALLING R-38 INSULATION OVER 100 PERCENT OF THE CEILING AREA REQUIRING INSULATION SHALL SATISFY THE REQUIREMENT FOR R-49 INSULATION WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES. THIS REDUCTION SHALL NOT APPLY TO THE U-FACTOR ALTERNATIVE APPROACH IN SECTION N1102.1.4 AND THE TOTAL UA ALTERNATIVE IN SECTION N1102.1.5

R402.2.4 ACCESS HATCHES AND DOORS  
 ACCESS DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES SUCH S ATTICS AND CRAWL SPACES SHALL BE WEATHER-STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES. ACCESS THAT PREVENTS DAMAGING OR COMPRESSING THE INSULATION SHALL BE PROVIDED TO ALL EQUIPMENT. WHERE LOOSE-FILL INSULATION IS INSTALLED, A WOOD-FRAMED OR EQUIVALENT Baffle OR RETAINER SHALL BE INSTALLED TO PREVENT THE LOOSE-FILL INSULATION FROM SPILLING INTO THE LIVING SPACE WHEN THE ATTIC ACCESS IS OPENED. THE Baffle OR RETAINER SHALL PROVIDE A PERMANENT MEANS OF MAINTAINING THE INSTALLED R-VALUE OF THE LOOSE-FILL INSULATION

WALL TYPE SCHEDULE	
	NEW CONC. FOUNDATION WALL
	NEW 2"x4" STUD WALL, FINISHED
	NEW 2"x6" STUD WALL, FINISHED



PROPOSED SECOND FLOOR PLAN 1/4"= 1'-0"



ROOF PLAN 1/4"= 1'-0"

PROJECT: **PROP. 1ST & 2ND FLOOR ADDITION**  
**DILLON RESIDENCE**  
 100 YOUNG AVE, CROTON-HUDSON, NY, 10520  
 TM#: 79.13-1-13  
 TITLE: -PROPOSED SECOND FLOOR PLAN  
 -PROPOSED ROOF PLAN

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT, TO ALTER THESE PLANS IN ANY WAY. BY ACCEPTING AND USING THESE PLANS, THE OWNER, CONTRACTOR, AND/OR AGENT AGREES TO LIMIT THE LIABILITY OF THE DESIGN PROFESSIONAL AND THEIR EMPLOYEES FOR ANY ACTS OF NEGLIGENCE OR ERROR. THE TOTAL AGGREGATE LIABILITY SHALL NOT EXCEED THE TOTAL FEE FOR SERVICES RENDERED ON THIS PROJECT.

**ISSUE:**  
 11-21-25 ISSUED FOR PRELIMINARY REVIEW  
 11-26-25 ISSUED FOR PRELIMINARY REVIEW  
 12-04-25 ISSUED FOR PRELIMINARY REVIEW  
 12-22-25 ISSUED FOR PRELIMINARY REVIEW  
 01-06-26 ISSUED FOR ARCHITECTURAL REVIEW  
 02-05-26 ISSUED FOR BUILDING PERMIT REVIEW

**PROJECT:**  
**PROP. 1ST & 2ND FLOOR ADDITION**  
**DILLON RESIDENCE**  
 100 YOUNG AVE, CROTON-HUDSON, NY, 10520  
 TM#: 79.13-1-13

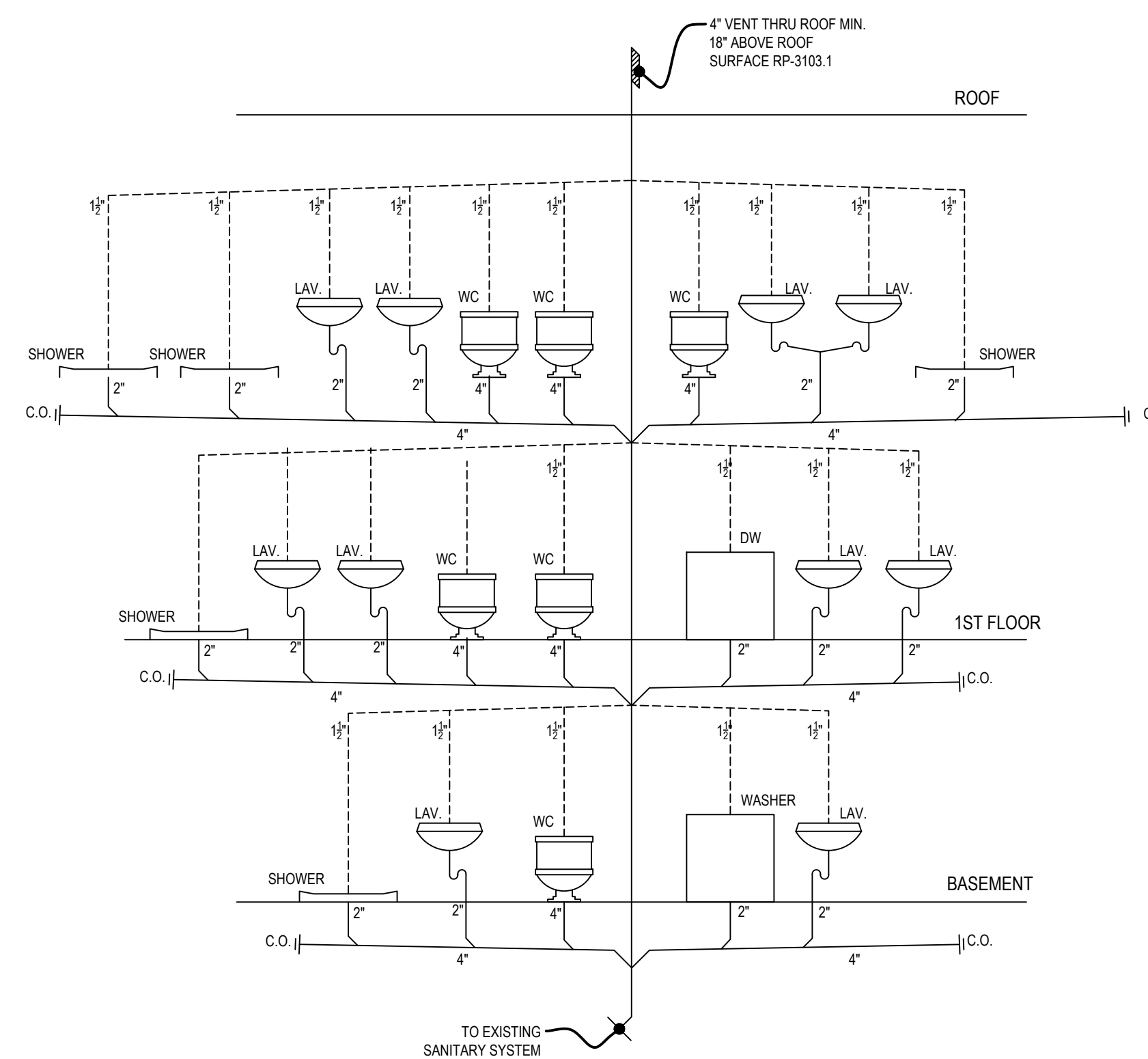
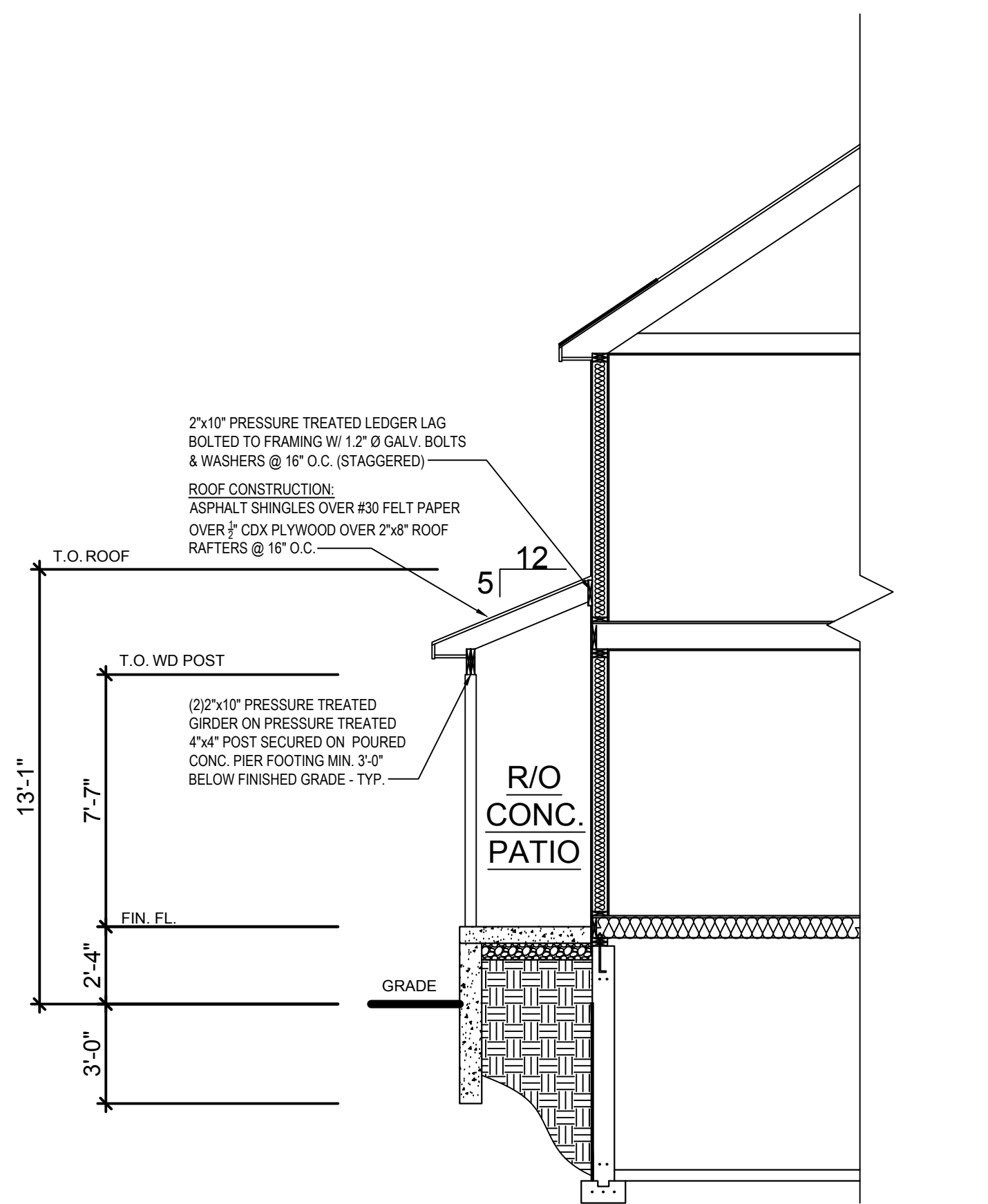
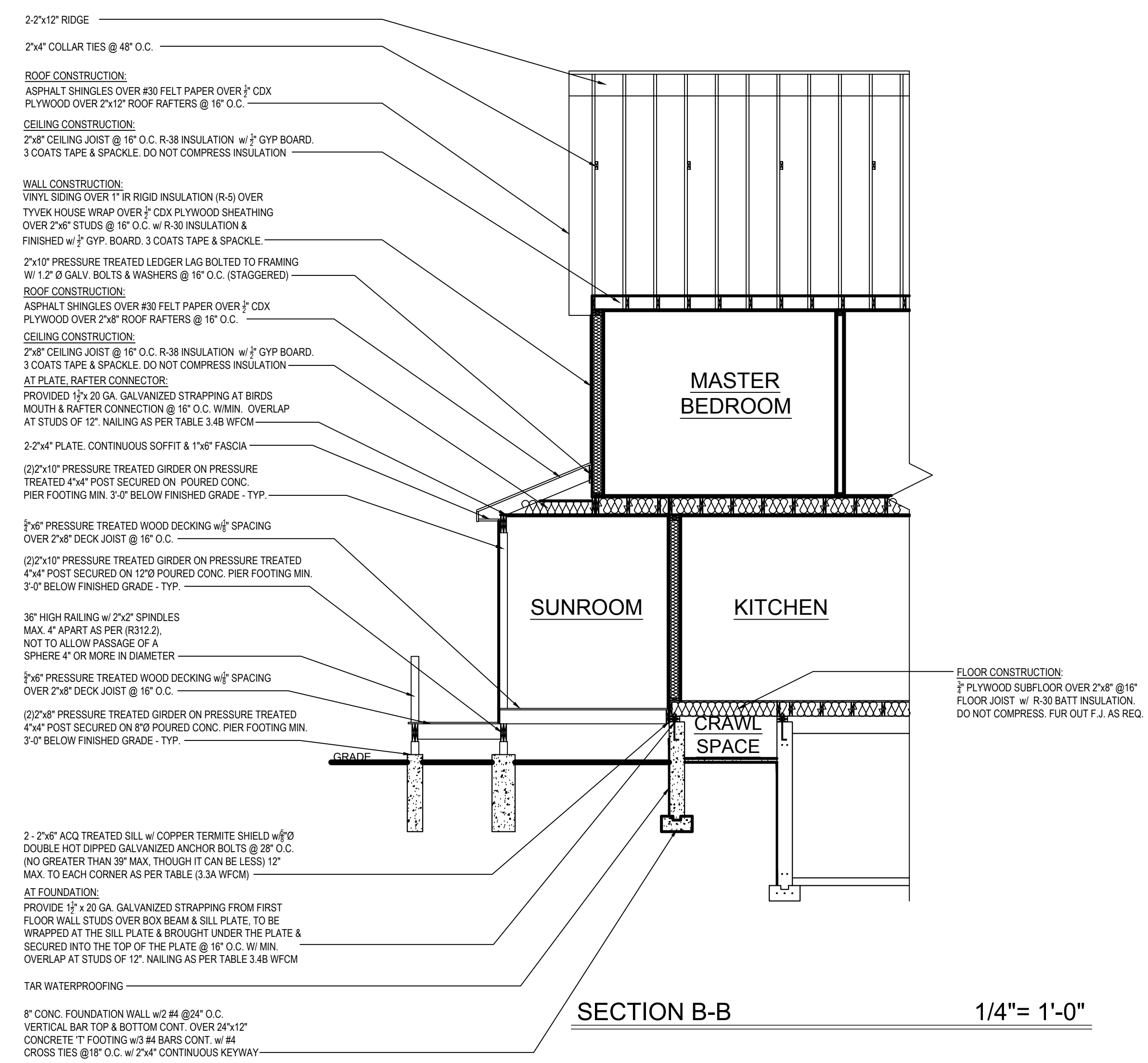
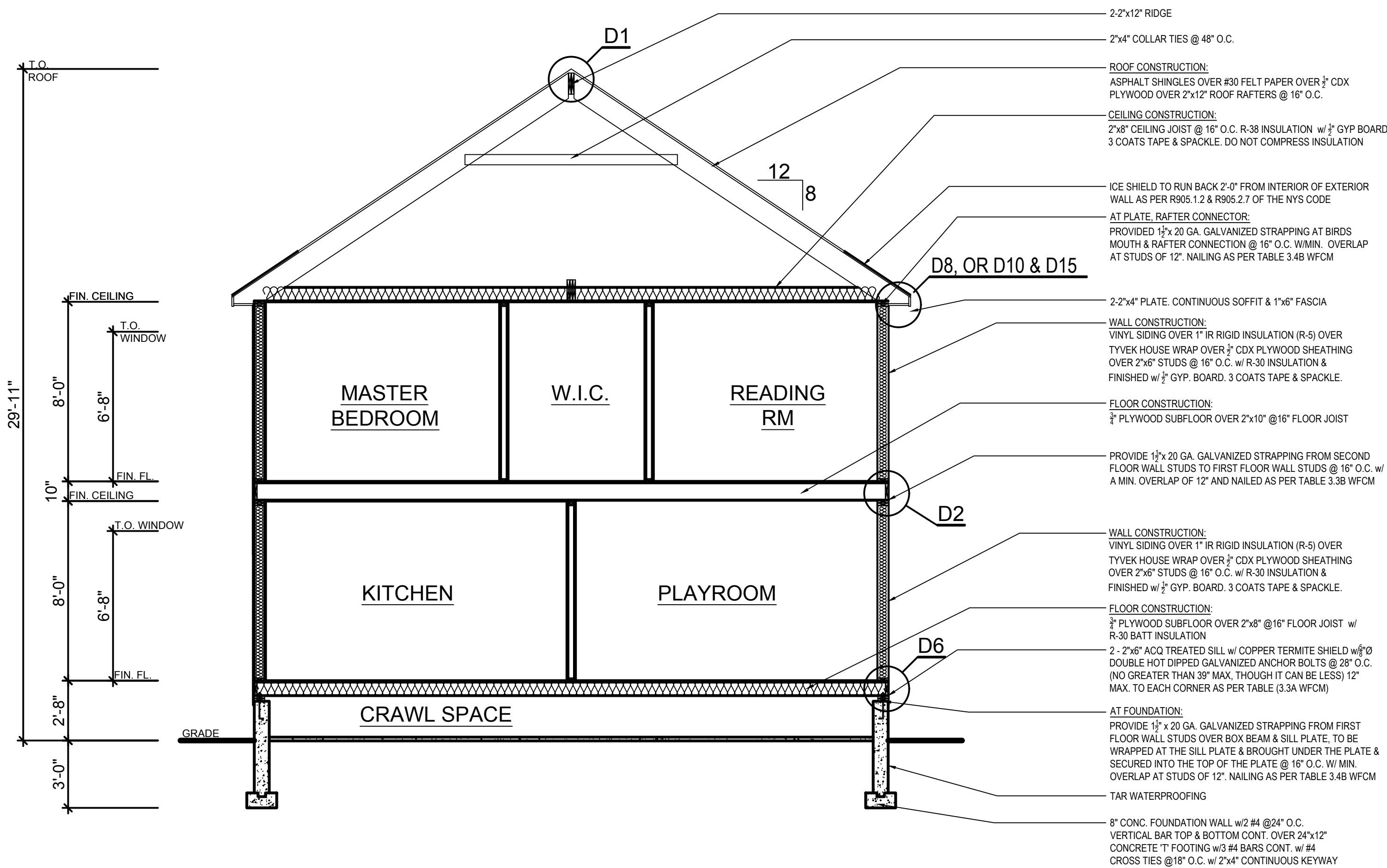
**TITLE:**  
 -SECTION A-A  
 -SECTION B-B  
 -SECTION C-C  
 -RISER DIAGRAM

PROJECT#: 251121

DRAWN BY: NGD

SHEET NUMBER

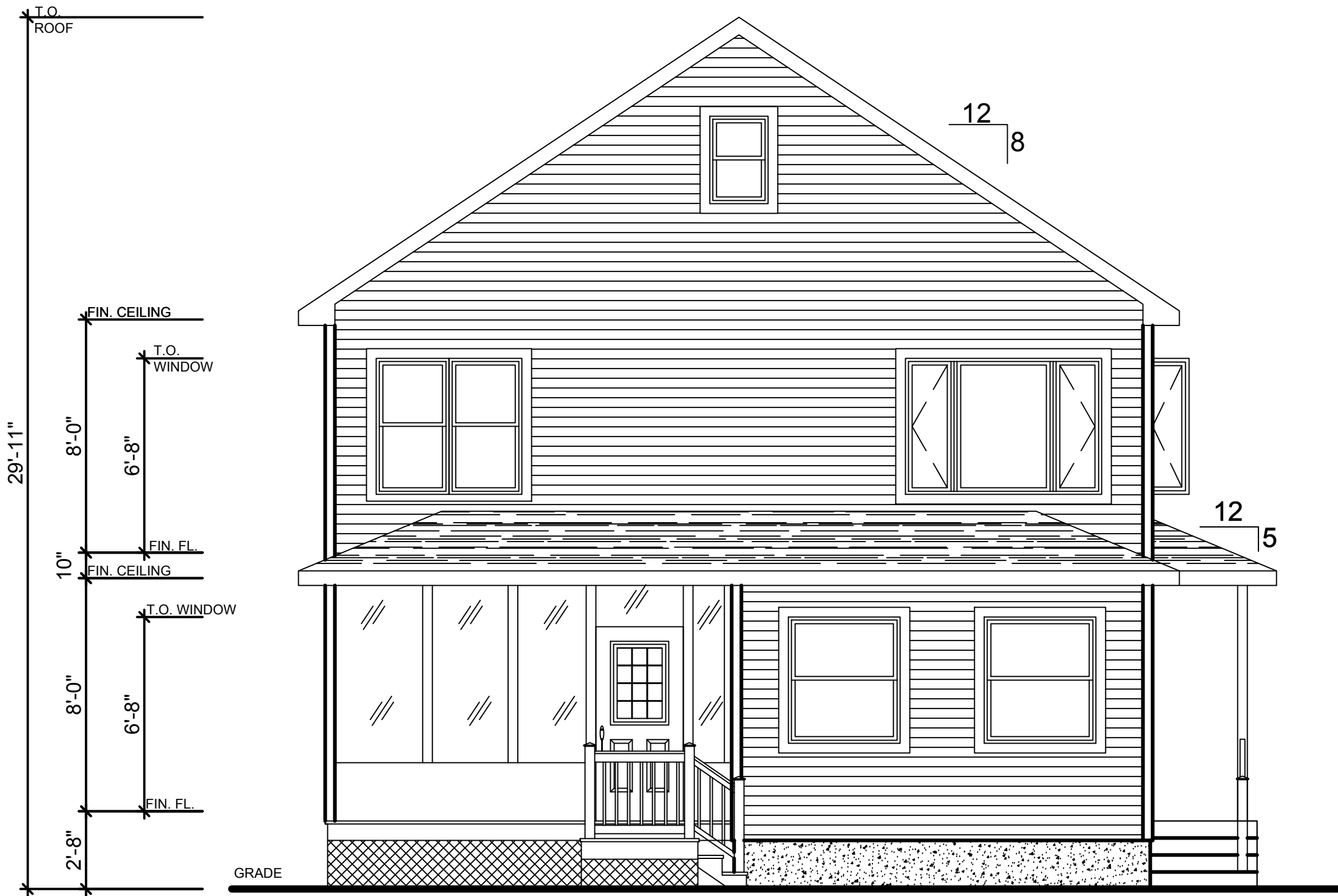
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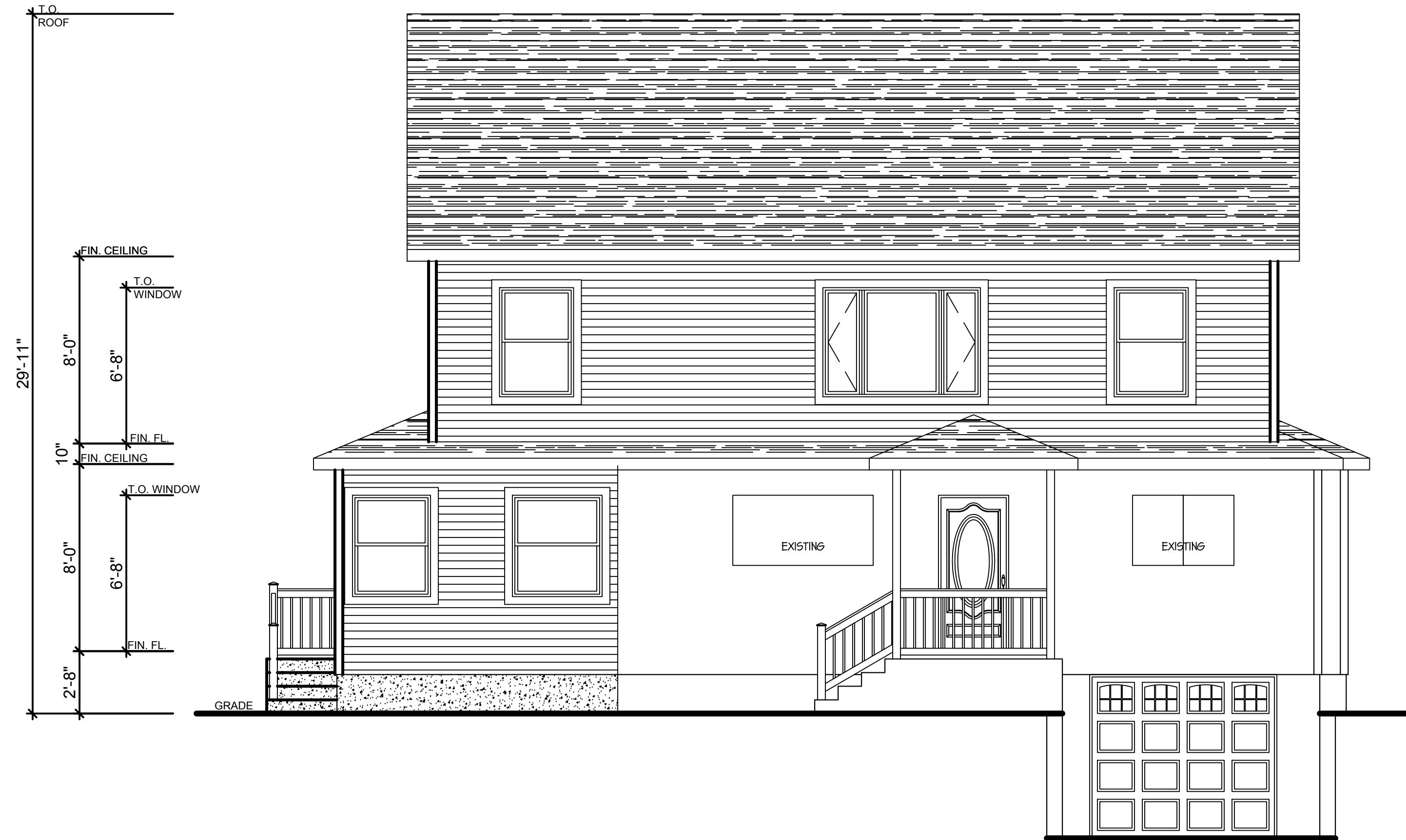
RISER DIAGRAM

N.T.S.

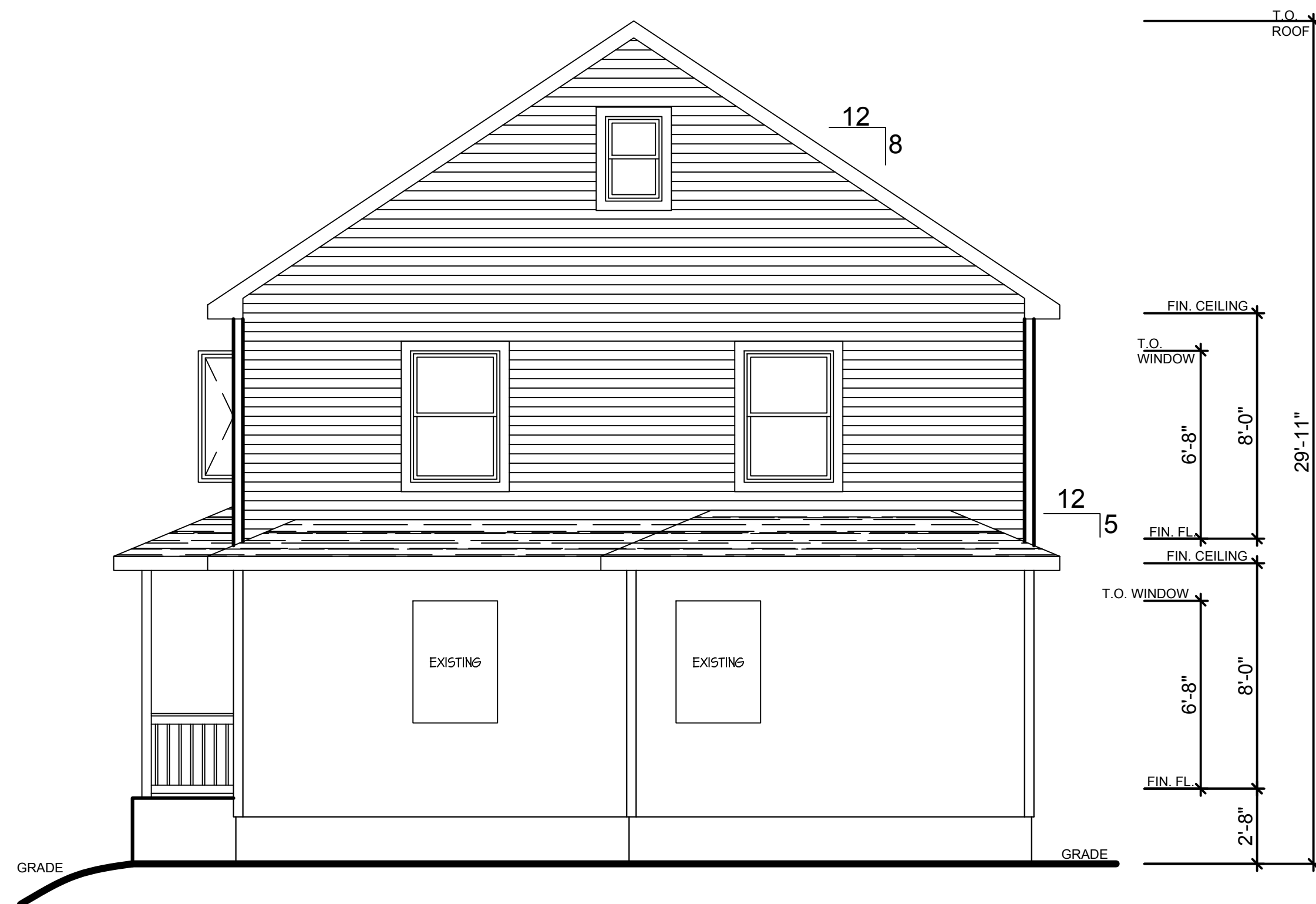
**NOTE:**  
 - P3103.1 ROOF EXTENSION: OPEN VENT PIPES THAT EXTEND THROUGH THE ROOF SHALL BE TERMINATED NOT LESS THAN 6 INCHES ABOVE THE ROOF OR 6 INCHES ABOVE THE ANTICIPATED SNOW ACCUMULATION, WHICHEVER IS GREATER. WHERE A ROOF IS TO BE USED FOR ASSEMBLY, AS A PROMENADE, OBSERVATION DECK OR SUNBATHING DECK OR FOR SIMILAR PURPOSES, OPEN VENT PIPES SHALL TERMINATE NOT LESS THAN 7 FEET ABOVE THE ROOF.  
 - P3103.2 FROST CLOSURE: WHERE THE 97.5% VALUE FOR OUTSIDE DESIGN TEMPERATURE IS 0°F (-18°C) OR LESS, VENT EXTENSIONS THROUGH A ROOF OR WALL SHALL BE NOT LESS THAN 3 INCHES IN DIAMETER. ANY INCREASE IN THE SIZE OF THE VENT SHALL BE MADE NOT LESS THAN 1 FOOT INSIDE THE THERMAL ENVELOPE OF THE BUILDING



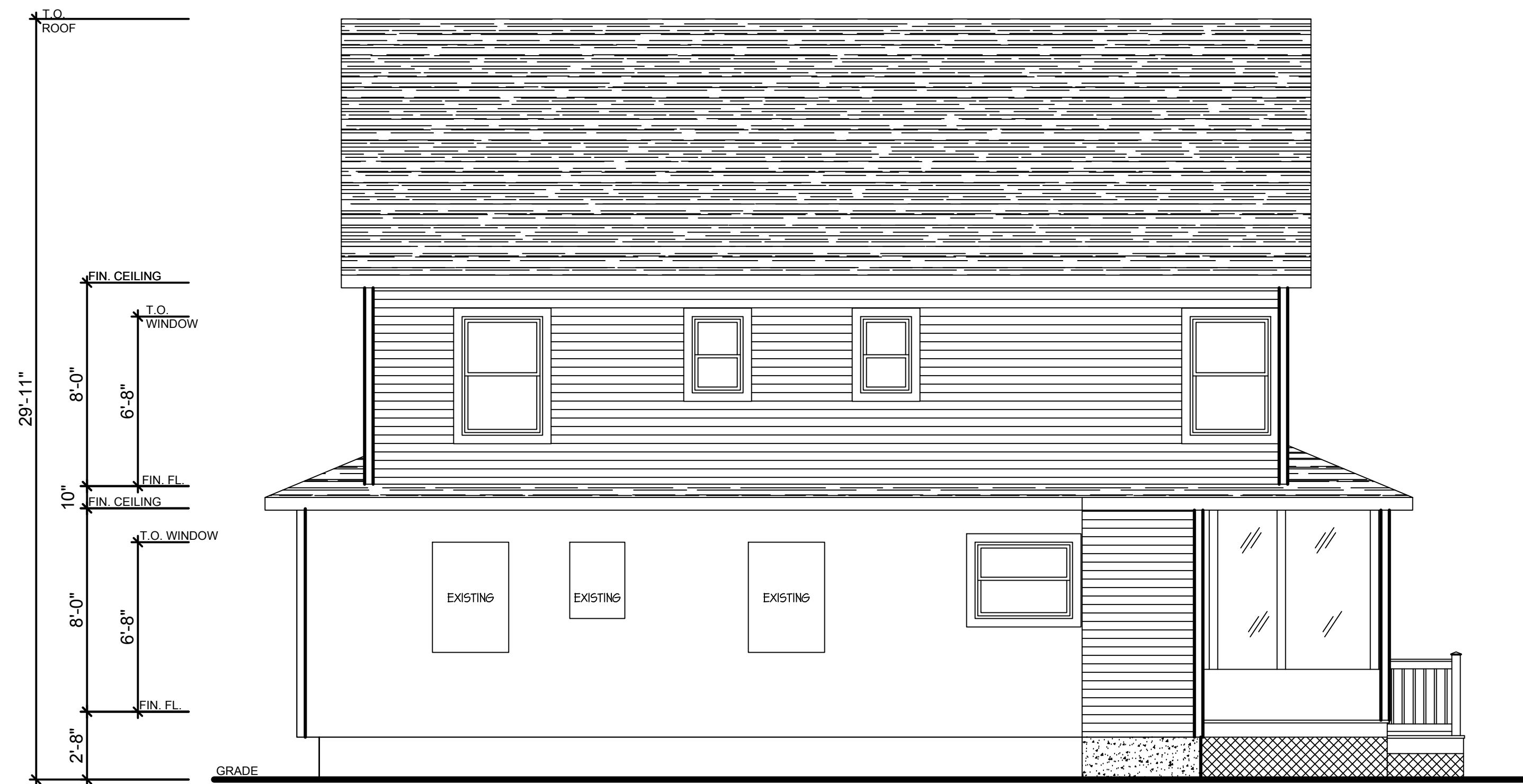
LEFT SIDE ELEVATION 1/4" = 1'-0"



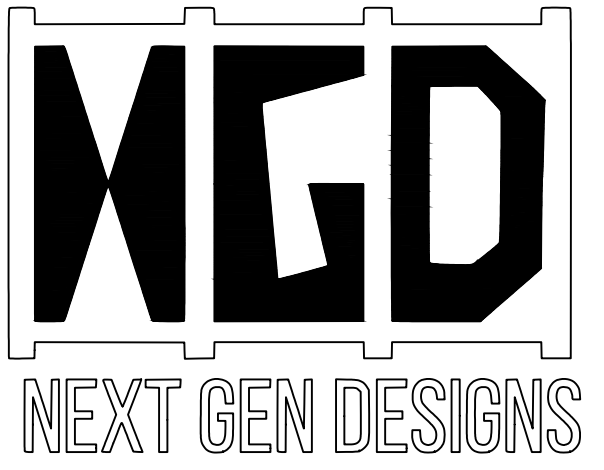
FRONT ELEVATION 1/4" = 1'-0"



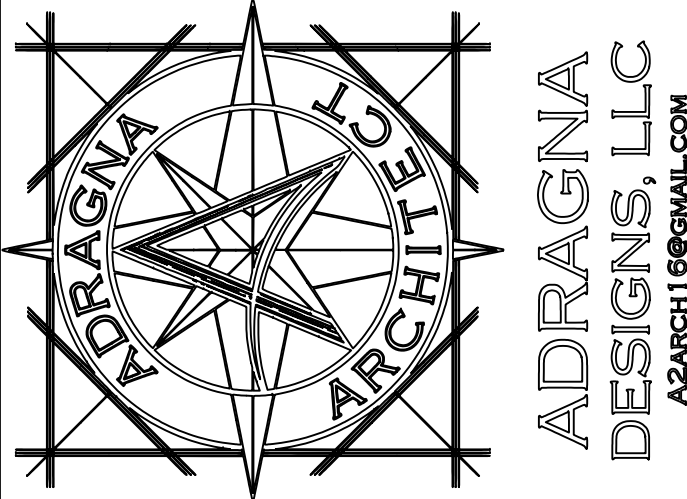
RIGHT SIDE ELEVATION 1/4" = 1'-0"



REAR ELEVATION 1/4" = 1'-0"



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 DILLON RESIDENCE**

100 YOUNG AVE, CROTON-HUDSON, NY, 10520  
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TITLE:  
 -FRONT & REAR ELEVATION  
 -LEFT & RIGHT SIDE ELEVATION

PROJECT#: 251121

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