

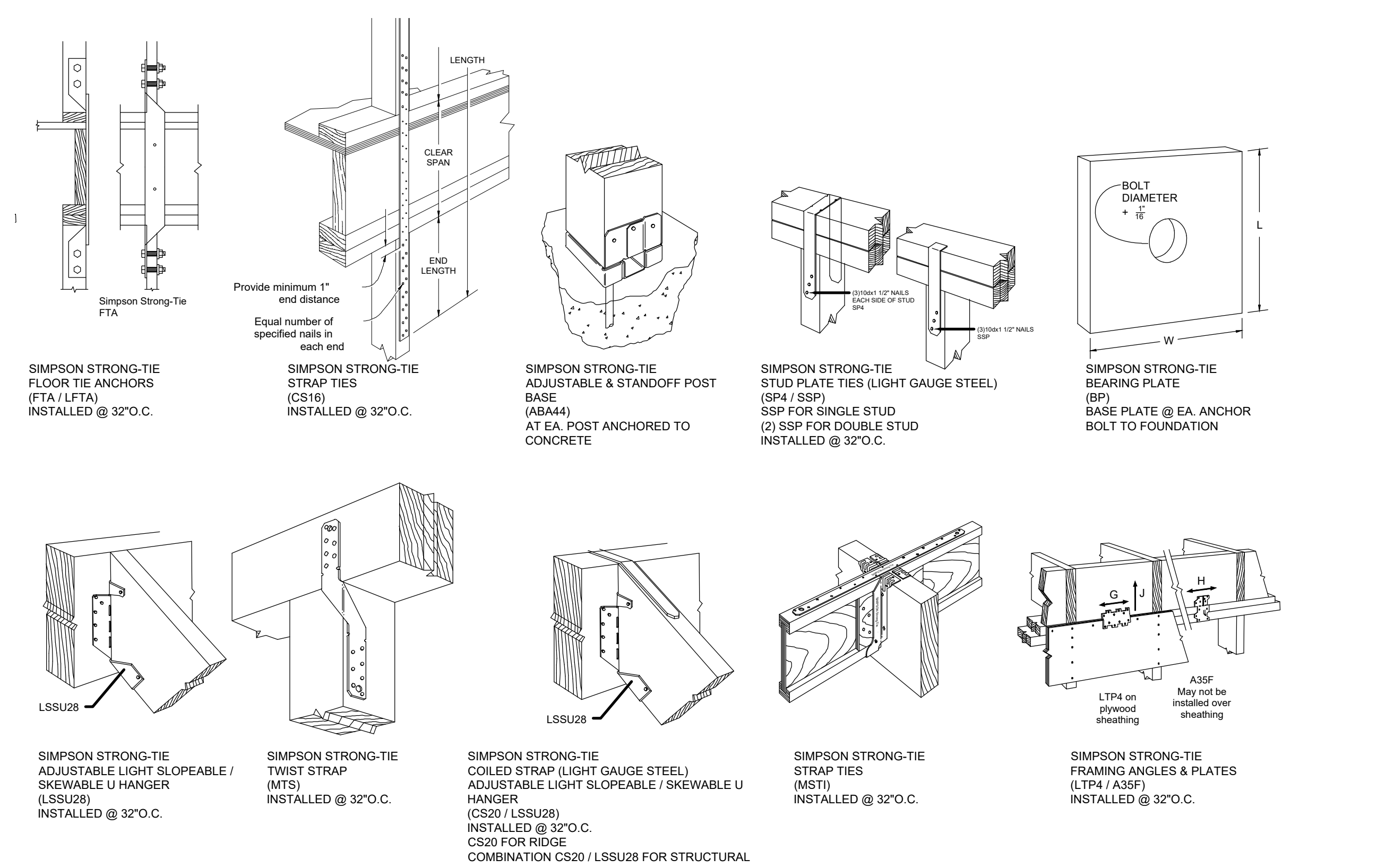
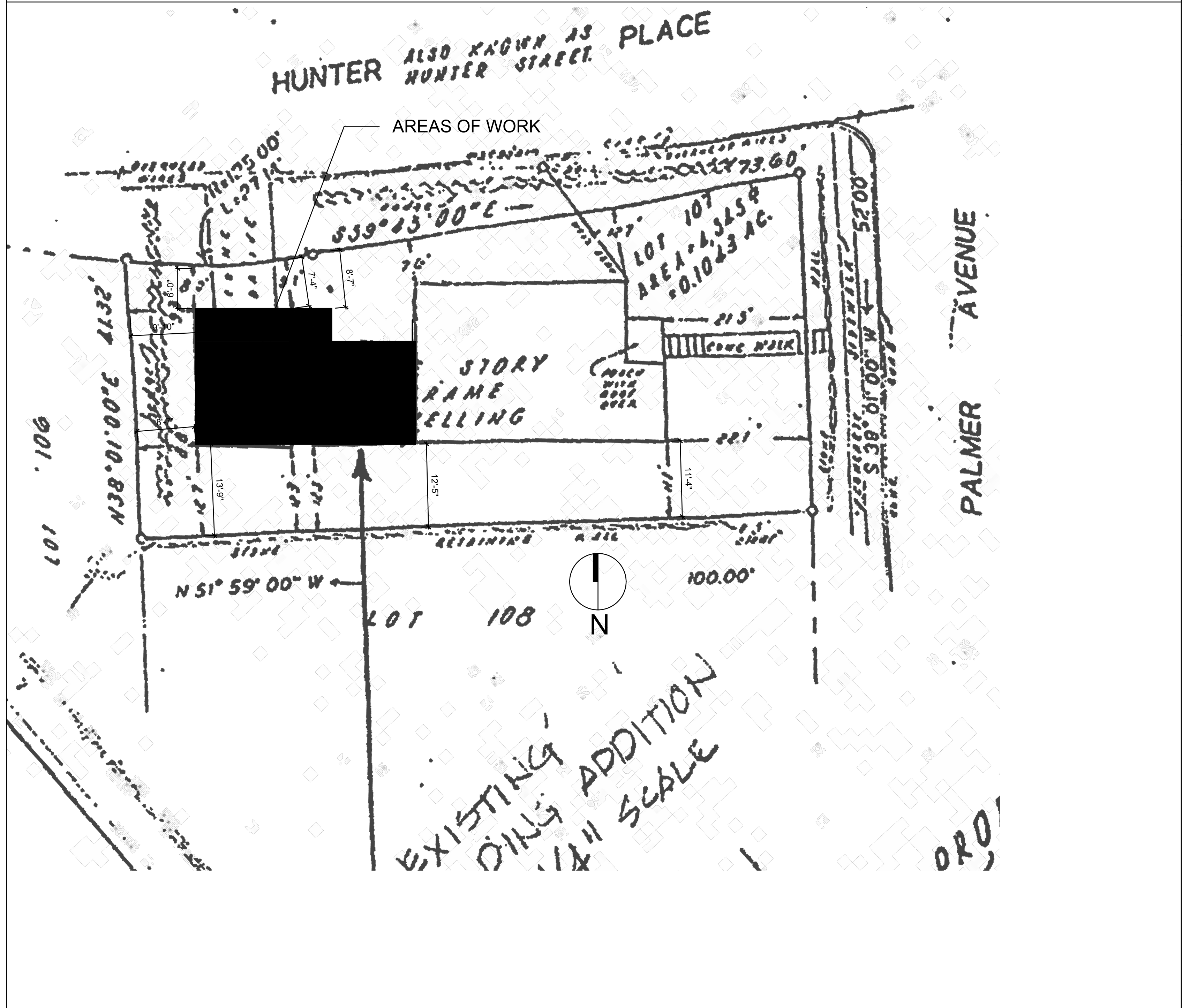
# CROCKER RESIDENCE

## 39 PALMER AVENUE

### CROTON ON HUDSON, NY 10520

ZONING DATA			
TOWN ZONING REQUIREMENTS			
ZONE:	RA-5		
SETBACKS	ALLOWED	EXISTING	PROPOSED
LOT SIZE	5,000 MIN	4452 SQFT	
SETBACKS (FT)			
FRONT	15 MIN	6.0	6.0 TO EXIST 7.3 TO ENTRY
SIDE	8 / 20 MIN	9.9/21.15	9.9/21.15
REAR	35 MIN	N/A	N/A
MAX BUILDING COVERAGE SQFT / %	40%	32.08%	33.36%

**SITE PLAN**  
SCALE 1"=10'-0" SURVEY AS PROVIDED BY HOME OWNER



### CONNECTION DETAILS

### DESIGN CRITERIA

THIS PROJECT WAS DESIGNED USING THE CURRENT NYS BUILDING CODE (2025 NYS RESIDENTIAL BUILDING CODE)

TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA									
GROUND SNOW LOAD	SEISMIC DESIGN CATEGORY	WIND SPEED (MPH)	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP.	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS FIRM MAP DEC 1999 HEATING DEGREE DAYS
			WEATHERING	FROST LINE DEPTH	TERMITES	DECAY			
30LB/FT	C	115	SEVERE	3'-6"	MODERATE TO HEAVY	SLIGHT TO MODERATE	7	YES	5750

PROPOSED PROJECT SHALL COMPLY WITH THE FOLLOWING:  
 TABLE R602.3(1) FASTENERS SCHEDULE FOR STRUCTURAL MEMBERS  
 TABLE R303.1 CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA  
 TABLE 1607.1 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS

**SMOKE DETECTORS:**  
 SMOKE DETECTORS SHALL BE INSTALLED AS PER THE RESIDENTIAL NEW YORK STATE BUILDING CODE SUPPLEMENT SECTION AJ504

**R905.2.5 FASTENERS**  
 FASTENERS FOR ASPHALT SHINGLES SHALL BE GALVANIZED STEEL, STAINLESS STEEL, ALUMINUM OR COPPER ROOFING NAILS, MIN. 12 GAGE SHANK W/ A MIN. 3/8" HEAD ASTM F 1667 OF A LENGTH TO PENETRATE THROUGH THE ROOFING MATERIAL AND A MIN. OF 3/4" INTO THE ROOF SHEATHING. WHERE THE ROOF SHEATHING IS LESS THAN 3/4" THICK, THE FASTENERS SHALL PENETRATE THROUGH THE SHEATHING. FASTENERS SHALL COMPLY W/ ASTM F 1667.

**R905.2.6 ATTACHMENT**  
 ASPHALT ROOF SHINGLES SHALL HAVE A MIN. OF SIX FASTENERS PER SHINGLE WHERE THE ROOF IS IN ONE OF THE FOLLOWING CATEGORIES - THE BASIC WIND SPEED PER R301.2(1) IS 110 MPH OR GREATER AND THE EA VE IS 20' OR HIGHER ABOVE GRADE.

**R905.2.7 ICE SHIELD**  
 ALL ROOF EAVES SHALL BE PROVIDED WITH ICE SHIELD MEMBRANE FROM EDGE TO 24" PAST INSIDE WALL

**SECTION R302 TABLE 302.1 ALL CONSTRUCTION WITHIN 5'-0" OF PROPERTY LINE TO BE 1HR RATED. BEYOND 5'-0" NO RATING IS REQUIRED**

MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (IN LBS. PER SQ. FT.)	
USE	LIVE LOADS
EXTERIOR BALCONIES	60
DECKS	40
PASSENGER VEHICLE GARAGES	50
ATTICS WITHOUT STORAGE	10
ATTICS WITH STORAGE	20
ROOMS OTHER THAN SLEEPING	40
SLEEPING ROOMS	30
STAIRS	40
GUARDRAILS AND HANDRAILS	200

**R905.1.1 UNDERLAYMENT APPLICATION**  
 FOR ROOF SLOPES FROM TWO VERTICAL UNITS IN 12 UNITS HORIZ. UP TO FOUR UNITS VERT. IN 12 UNITS HORIZ. UNITS SHALL BE TWO LAYERS.  
 ALL FRAMING SHALL COMPLY WITH NYS R802

**PROPOSED PROJECT SHALL COMPLY WITH THE FOLLOWING ADDITIONAL SECTIONS OF 2025 NYS RESIDENTIAL BUILDING CODE**

SECTION R403.3.4	SECTION R406.3.2
TERMITES SHIELD	VAPOR BARRIER
SECTION 303.1	SECTION R403.1.6
LIGHT & VENT	ANCHOR BOLTS
SECTION R310	SECTION R406
EMERGENCY ESCAPE WATERPROOFING & DAMPPROOFING	
SECTION 905.1.2	SECTION R1609.1.1
ICE SHIELD	WIND-BORNE DEBRIS

IF LEDGE ROCK IS ENCOUNTERED FOOTING ARE TO BE PINNED TO THE LEDGE WITH (3) 6" #4 REBAR WITH 3" MIN. EMBEDMENT INTO THE STONE

DECK FRAMING SHALL COMPLY WITH NYS R507 (18C 2015) & (FIGURE 507.2.1(2), 507.2.3 (1), 507.2.3 (2))

STRUCTURAL SCREWS MAY BE SUBSTITUTED FOR THRU BOLTING IS EQUIVALENT SIZES ARE USED

MIN TREAD LENGTH COMPLIES WITH NYS CODE R311.5.3.2

HANDRAIL TO HAVE GRASPABLE EDGE TO COMPLY WITH NYS CODE R311.5.6

LOADING

THIS DECK HAS BEEN DESIGNED FOR LIVE LOAD 40 LBS/SQFT  
 DEAD LOAD 10 LBS/SQFT  
 RAILING LATERAL 50 LBS/SQFT THRUST  
 SOIL BEARING 3,000 LBS/SQFT (ASSUMED)

### DRAWING LIST

- A-1 COVER SHEET
- A-2 GENERAL NOTES & DETAILS
- A-3 CONSTRUCTION PLANS
- A-4 ELEVATIONS & DETAILS
- A-5 SECTIONS DETAIL POWER & LIGHTING PLAN
- V-1 ZONING VIEWS OF HOUSE

### NOTES:

THE SPACE IS TO BE EQUIPPED WITH A HARDWIRED BATTERY BACKED UP SMOKE DETECTOR.

THE SPACE IS TO BE EQUIPPED WITH A HARDWIRED BATTERY BACKED UP CO2 DETECTOR.

ALL ELECTRICAL WORK IS TO BE PERFORMED BY A LICENSED ELECTRICIAN

ALL OF THE EXISTING CONSTRUCTION APPEARS TO BE STRUCTURALLY SOUND

LIGHTING FIXTURES NOTED ARE TO BE SUPPLIED BY OWNER & INSTALLED BY G.C.

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BASED UPON NFIP FIRM MAP THE PROJECT IS IN THE 'X' FLOOD ZONE  
 HVAC CONTRACTOR TO PROVIDE COMPLETE MANUAL J CALCULATIONS AND EQUIPMENT SCHEDULES SHOWING COMPLIANCE TO BUILDING DEPARTMENT FOR APPROVAL PRIOR TO PERFORMING EQUIPMENT INSTALLATION  
 G.C. SHALL BE RESPONSIBLE FOR RUNNING GAS / PROPANE LINE FROM TANK TO NEW FIREPLACE

G.C. SHALL BE RESPONSIBLE FOR PURCHASE & INSTALLATION OF TOILET FIXTURES AS DIRECTED / SELECTED BY HOMEOWNER

G.C. SHALL BE RESPONSIBLE FOR PURCHASE & INSTALLATION ALL LIGHT FIXTURES (INTERIOR & EXTERIOR) AS SELECTED BY HOMEOWNER

HOMEOWNER IS RESPONSIBLE FOR INSTALLATION OF FLAT SCREEN TV PROVIDED BY HOMEOWNER

G.C. SHALL BE RESPONSIBLE FOR PURCHASE & INSTALLATION OF ALL CROWN MOLDINGS AS SELECTED BY HOMEOWNER

PREP, REPAIR & REFINISHING EXIST OAK FLOORING  
 PURCHASE & INSTALL HVAC SYSTEM AS AGREED TO BY HOMEOWNER

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**LEWIS C ROANE**  
 ARCHITECT  
 3 WINDSOR ROAD  
 CROTON-ON-HUDSON, NEW YORK  
 TEL (914) 390-1802  
 LEWISROANEDESIGN@GMAIL.COM

REVISION	DATE	ISSUE
	11/15/2025	ISSUED FOR BID & FILING
	3/22/2026	REVISED PER TOWN COMMENT

PROJECT NAME: PROPOSED RENOVATION TO THE: CROCKER RESIDENCE 39 PALMER AVENUE CROTON ON HUDSON NY 10520

DRAWING TITLE: COVER SHEET

DATE: 9/01/2025

DRAWING NUMBER: A-1

**FASTENER SCHEDULE FOR STRUCTURAL MEMBERS**  
TABLE R602.3(1)

DESCRIPTION OF BUILDING ELEMENTS	NUMBER & TYPE OF FASTENER a, b, c, d	SPACING OF FASTENERS
1"x6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2-8d 2 STAPLES, 1-3/4	-
2" SUBFLOOR TO JOIST OR GIRDER, BLIND & FACE NAIL	2-16d	-
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d	16" O.C.
TOP OR SOLE PLATE TO STUD, END NAIL	2-16d	-
STUD TO SOLE PLATE, TOE NAIL	3-8d OR 2-16d	-
DOUBLE STUDS, FACE NAIL	10d	24" O.C.
DOUBLE TOP PLATES, FACE NAIL	10d	24" O.C.
SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANELS	3-16d	16" O.C.
DOUBLE TOP PLATES, MINIMUM 48-INCH OFFSET OF END JOINTS, FACE NAIL IN LAPPED AREA	8-16d	-
BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOE NAIL	3-8d	-
RIM JOIST TO TOP PLATE, TOE NAIL	8d	6" O.C.
TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS, FACE NAIL	2-10d	-
BUILT-UP HEADER, TWO PIECES WITH 1/2" SPACER	16d	16" O.C. ALONG EACH EDGE
CONTINUED HEADER, TWO PIECES	16d	16" O.C. ALONG EACH EDGE
CEILING JOISTS TO PLATE, TOE NAIL	3-8d	-
CONTINUOUS HEADER TO STUD, TOE NAIL	4-8d	-
CEILING JOIST, LAPS OVER PARTITIONS, FACE NAIL	3-10d	-
CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL	3-10d	-
RAFTER TO PLATE, TOE NAIL	2-16d	-
1" BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8d 2 STAPLES, 1-3/4	-
1"x6" SHEATHING TO EACH BEARING, FACE NAIL	2-8d 2 STAPLES, 1-3/4	-
1"x8" SHEATHING TO EACH BEARING, FACE NAIL	2-8d 3 STAPLES, 1-3/4	-
WIDER THAN 1"x8" SHEATHING TO EACH BEARING, FACE NAIL	3-8d 4 STAPLES, 1-3/4	-
BUILT-UP CORNER STUDS	10d	24" O.C.
BUILT-UP GIRDERS AND BEAMS, 2-INCH LUMBER LAYERS	10d	NAIL EACH LAYER AS FOLLOWS: 32" O.C. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AND AT EACH SPLICE.
2" PLANKS	2-16d	AT EACH BEARING
ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS: TOE NAIL FACE NAIL	4-16d 3-16d	- -
RAFTER TIES TO RAFTERS, FACE	3-8d	-
WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND WALL SHEATHING TO FRAMING, AND PARTICLEBOARD WALL SHEATHING TO FRAMING		
5/8" - 1/2"	6d COMMON NAIL (SUBFLOOR, WALL) 8d COMMON NAIL (ROOF)	6 12g
3/8" - 1"	8d COMMON NAIL	6 12g
1 1/2" - 1 1/4"	10d COMMON NAIL OR 8d DEFORMED NAIL	6 12

1  
A-2  
FASTENER SCHEDULE  
SCALE: N.T.S.

**FASTENER SCHEDULE FOR STRUCTURAL MEMBERS**  
TABLE R602.3(1) continued

DESCRIPTION OF BUILDING MATERIALS	DESCRIPTION OF FASTENERS b, c, d, e	SPACING OF FASTENERS	
		EDGES (INCHES) f	INTERMEDIATE SUPPORTS (INCHES) g, h
OTHER WALL SHEATHING h			
1/2" REGULAR CELLULOSIC FIBERBOARD SHEATHING	1 1/2" GALVANIZED ROOFING NAIL 6d COMMON NAIL STAPLE 16 GA., 1 1/2" LONG	3	6
1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1 1/2" GALVANIZED ROOFING NAIL 8d COMMON NAIL STAPLE 16 GA., 1 1/2" LONG	3	6
5/8" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1 1/2" GALVANIZED ROOFING NAIL 8d COMMON NAIL STAPLE 16 GA., 1 1/2" LONG	3	6
1/2" GYPSUM SHEATHING	1 1/2" GALVANIZED ROOFING NAIL; 6d COMMON NAIL; STAPLE GALVANIZED, 1 1/2" LONG; 1 1/4" SCREWS, TYPE W OR S	4	8
5/8" GYPSUM SHEATHING	1 1/2" GALVANIZED ROOFING NAIL; 8d COMMON NAIL; STAPLE GALVANIZED, 1 1/2" LONG; 1 1/4" SCREWS, TYPE W OR S	4	8
WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING			
3/4" AND LESS	6d DEFORMED NAIL OR 8d COMMON NAIL	6	12
7/8" - 1"	8d COMMON NAIL OR 8d DEFORMED NAIL	6	12
1 1/2" - 1 1/4"	10d COMMON NAIL OR 8d DEFORMED NAIL	6	12

FOR SI: 1 INCH = 25.4mm, 1 FOOT = 304.8mm, 1 MILE PER HOUR = 1.609km/h

- ALL NAILS ARE SMOOTH-COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED. NAILS USED FOR FRAMING AND SHEATHING CONNECTIONS SHALL HAVE MINIMUM AVERAGE BENDING YIELD STRENGTHS AS FOLLOWS: 80ksi (551Mpa) FOR SHANK DIAMETER OF 0.192" (20d COMMON NAIL), 90ksi (620Mpa) FOR SHANK DIAMETERS LARGER THAN 0.142" BUT NOT LARGER THAN 0.177", AND 100ksi (689Mpa) FOR SHANK DIAMETERS OF 0.142" OR LESS.
- STAPLES ARE 16 GAGE WIRE AND HAVE A MINIMUM 1/16" INCH ON DIAMETER CROWN WIDTH.
- NAILS SHALL BE SPACED AT NOT MORE THAN 6 INCHES ON CENTER AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES OR GREATER.
- 4-FOOT-BY-8-FOOT OR 4-FOOT-BY-9-FOOT PANELS SHALL BE APPLIED VERTICALLY.
- SPACING OF FASTENERS NOT INCLUDED IN THIS TABLE SHALL BE BASED ON TABLE R602.3(1).
- FOR REGIONS HAVING BASIC WIND SPEED OF 110mph OR GREATER, 8d DEFORMED NAILS SHALL BE USED FOR ATTACHING PLYWOOD AND WOOD STRUCTURAL PANEL ROOF SHEATHING TO FRAMING WITHIN MINIMUM 48 INCH DISTANCE FROM GABLE END WALLS, IF MEAN ROOF HEIGHT IS MORE THAN 25 FEET, UP TO 35 FEET MAXIMUM.
- FOR REGIONS HAVING BASIC WIND SPEED OF 110mph OR LESS, NAILS FOR ATTACHING WOOD STRUCTURAL PANEL ROOF SHEATHING TO GABLE END WALL FRAMING SHALL BE SPACED 6 INCHES ON CENTER. WHEN BASIC WIND SPEED IS GREATER THAN 100mph, NAILS FOR ATTACHING PANEL ROOF SHEATHING TO INTERMEDIATE SUPPORTS SHALL BE SPACED 6 INCHES ON CENTER FOR MINIMUM 48 INCH DISTANCE FROM RIDGES, EAVES AND GABLE END WALLS; AND 4 INCHES ON CENTER TO GABLE END WALL FRAMING.
- GYPSUM SHEATHING SHALL CONFORM TO ASTM C 79 AND SHALL BE INSTALLED IN ACCORDANCE WITH GA 253. FIBERBOARD SHEATHING SHALL CONFORM TO ASTM C 208.
- SPACING OF FASTENERS ON FLOOR SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND AT ALL FLOOR PERIMETERS ONLY. SPACING OF FASTENERS ON ROOF SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND AT ALL ROOF PLANE PERIMETERS. BLOCKING OF ROOF OR FLOOR SHEATHING PANEL EDGES PERPENDICULAR TO THE FRAMING MEMBERS SHALL NOT BE REQUIRED EXCEPT AT INTERSECTION OF ADJACENT ROOF PLANES. FLOOR AND ROOF PERIMETER SHALL BE SUPPORTED BY FRAMING MEMBERS OR SOLID BLOCKING.

**GENERAL NOTES**

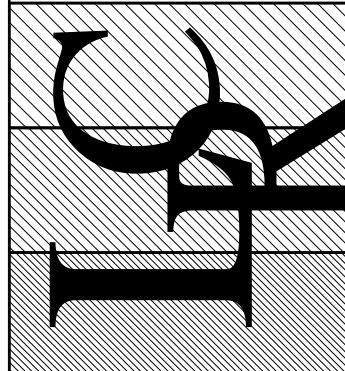
- GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND VERIFY LOCAL REQUIREMENTS WITH LOCAL BUILDING OFFICIALS.
- ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION AND PRIOR TO ORDERING MATERIALS.
- RECORD ARCHITECT / ENGINEER OR DESIGN CONSULTANTS ARE NOT TO FIELD SUPERVISE OR INSPECT THIS PROJECT.
- ALL CONCRETE SHALL BE MIXED AND PLACED IN ACCORDANCE WITH THE LATEST A.C.I. 3000 PSI MIN. AT 28 DAY TEST (A.C.I. 319-63).
- ALL FOUNDATIONS AND FOOTINGS SIZED FOR BEARING ON UNDISTURBED SOIL AT MINIMUM BEARING CAPACITY OF (2) TONS PER SQ. FT. MINIMUM OF 3' COVER.
- ALL WOOD FRAMING, INCLUDING JOISTS, BEAMS, POSTS, STUDS ETC. TO BE DOUGLAS FIR SPF #2 OR BETTER @ 1d1200 PSI.
- WOOD SILLS ON SLAB TO BE (2) 2x6 CCA WOLMINIZED LUMBER W/ 1/2" DIA. ANCHOR BOLTS 8' O.C.
- ALL HEADERS TO BE SUPPORTED BY CODE REQUIREMENT MIN BEARING SUPPORT
- PROVIDE DOUBLE HEADER AND TRIMMERS AT ALL STAIR AND FLOOR OPENINGS AND UNDER ALL POSTS AND PARTITIONS RUNNING PARALLEL TO SAME.
- BRIDGING TO BE EITHER SOLID OR 18 GA. CROSS BRIDGING NOT EXCEEDING 8' O.C.
- ALL HEADERS TO BE (2) 2x10 U.O.N. ON PLAN.
- THE TOP AND BOTTOM OF JOISTS MAY BE NOTCHED. NOT TO EXCEED 2". NO NOTCHING AT MIDDLE 1/3 OF SPAN.
- ALL STRUCTURAL WOOD TO BE KEPT BACK 2" FROM CHIMNEY.
- JOIST HANGERS AND OTHER METAL FASTENERS TO BE SIMPSON OR EQUAL.
- ALL CONCRETE HAUNCH FOOTINGS TO HAVE (2) #5 REBAR REINFORCING RODS (U.O.N.).
- THE EXTERIOR SURFACE OF ALL FOUNDATION WALLS BELOW GRADE (EXCLUDING SLABS) SHALL BE DAMPROOFED W/ AN ELASTIC COAL TAR BASE.
- NOT USED
- PROVIDE COMBUSTION AIR VENTS AS PER N.Y.S. ENERGY CODE.
- FOR ALL POURED CONCRETE SLABS, PROVIDE 6x6 10'10 WWF OVER 6 MIL POLYETHYLENE VAPOR BARRIER OVER 6" WELL COMPACTED FILL.
- AT LEAST (1) SINGLE STATION SMOKE DETECTING ALARM DEVICE INSTALLED IN CONFORMITY W/ SECTION R317 IN EACH SLEEPING ROOM AND OUTSIDE EACH SLEEPING ROOM AREA AND ON EACH STORY - INTERCONNECTED.
- NOT USED
- GLAZING IN DOORS, SHOWER DOORS AND ENCLOSURES SHALL BE SIZED AND CONSTRUCTED OF MATERIALS AS TO MINIMIZE THE POSSIBILITY OF INJURY TO PERSONS IN THE EVENT THAT THE GLAZING IS BROKEN OR DAMAGED.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE W/ THE 2025 NYS RESIDENTIAL BUILDING CODE AND THE N.Y.S. ENERGY CODE.
- ALL PLUMBING FIXTURES SHALL BE INDIVIDUALLY TRAPPED AND VENTED AS REQUIRED BY THE N.Y.S. CODE. CAST IRON PIPE SHALL CONFORM W/ LOCAL CODE REQUIREMENTS AND HAVE APPROVED CLEAN OUTS AN JOINTS.
- ALL HEATING AND COOLING DESIGNS SHALL CONFORM W/ A.S.H.R.A.E.
- ELECTRIC WORK TO BE IN ACCORDANCE W/ N.E.C. AND TO BE CERTIFIED BY THE BOARD OF FIRE UNDERWRITERS.
- NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- ROOF RAFTERS AND CRAWL SPACES TO BE VENTED AS PER N.Y.S. CODE.
- ALL STAIRS SHALL HAVE HANDRAILS IN ACCORDANCE W/ 2025 NYS RESIDENTIAL BUILDING CODE
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE AND COMPLY WITH 2025 NYS RESIDENTIAL BUILDING CODE
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FILE FOR AND OBTAIN ALL REQUIRED APPROVALS AND PERMITS FROM ANY AND ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS PROJECT.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH THE RESIDENTIAL CODE OF NEW YORK STATE AND ALL OTHER APPLICABLE CODES, LAWS, RULES AND REGULATIONS IN THE CONSTRUCTION OF THIS PROJECT.
- ALL PLUMBING WORK SHALL COMPLY WITH THE RESIDENTIAL CODE OF NEW YORK STATE AND ALL OTHER APPLICABLE CODES, LAWS, RULES AND REGULATIONS AND HEALTH DEPARTMENT REQUIREMENTS.
- HEATING AND AIR CONDITIONING REQUIREMENTS SHALL BE COORDINATED WITH THE OWNER'S H.V.A.C. CONTRACTOR PRIOR TO COMMENCING ANY WORK.
- ALL ELECTRICAL OUTLETS, SWITCHES, LIGHTS AND WIRING SHALL BE U.I. CERTIFIED AND INSTALLED IN COMPLIANCE WITH WITH ALL APPLICABLE ELECTRICAL CODES
- THE CONTRACTOR SHALL RELOCATE ALL EXISTING ELECTRIC, TELEPHONE, ANTENNA AND CABLE T.V. SERVICE WIRING AS REQUIRED.
- ALLOW A MINIMUM OF 18" BETWEEN BOTTOM OF FLOOR JOIST AND TOP OF SCREED COAT OR PROVIDE CCA LUMBER.
- FLOOR JOISTS SHALL BE DOUBLED BENEATH ALL PARALLEL PARTITIONS.
- ALL INTERIOR DOORS ARE TO COMPLY WITH THE 2025 NYS RESIDENTIAL BUILDING CODE

2  
A-2  
GENERAL NOTES  
SCALE: N.T.S.

- WINDOWS AND DOORS SHALL BE PROPERLY FLASHED AT HEADS AND PROPERLY SEALED AND WEATHER-STRIPPED.
- ALL GYPSUM SHALL BE TAPED AND SPACKLED (3) COATS READY FOR PAINT. 1/2" INCH SHEETROCK FOR ALL WALLS AND CEILINGS. 1/2" INCH TYPE "X" FOR ALL GARAGE AND MECHANICAL ROOMS. 1/2" INCH M/R GREENBOARD FOR ALL BATHROOMS.
- ALL FINISHES SHALL BE AS DIRECTED BY OWNER.
- ALL MICROLAM LUMBER IS TO BE MANUFACTURED BY "TRU JOIST CORP." P.O. BOX 60 BOISE IDAHO 83707 OR APPROVED EQUAL.
- ALL CONCRETE TO BE 3000 PSI. 28 DAY TEST. PROVIDE 1/2" INCH DIAMETER ANCHOR BOLTS SPACED A MAXIMUM OF 6'-0" O.C. ANCHOR BOLTS SHALL ALSO BE LOCATED WITHIN 12" FROM THE ENDS OF EACH PLATE SECTION EXCEPT FOUNDATION ANCHOR STRAPS, SPACED AS REQUIRED TO PROVIDE EQUIVALENT ANCHORAGE TO 1/2" INCH DIAMETER ANCHOR BOLTS.

- NO CONSTRUCTION OR DEMOLITION SHALL COMMENCE PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.
- THE CONTRACTOR SHALL PROVIDE ALL REQUIRED INSURANCE AND INSURANCE CERTIFICATES.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFE GUARD THE EXISTING RESIDENCE AND CONTENTS AGAINST DAMAGE FROM THE ELEMENTS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL REPAIR ALL EXISTING CONDITIONS DAMAGED DUE TO THE EXECUTION OF THIS WORK TO ITS ORIGINAL CONDITION.
- THE DRAWINGS ARE NOT TO BE SCALED - FOLLOW DIMENSIONS ONLY.
- NO CHANGE WILL BE PERMITTED WITHOUT PRIOR WRITTEN NOTIFICATION OF AN APPROVAL OF THE ARCHITECT/ENGINEER OF RECORD.
- "TECO" DETAILS SHOWN TO COMPLY WITH THE 2025 NYS RESIDENTIAL BUILDING CODE

LEWIS C ROANE  
ARCHITECT  
3 WINDSOR ROAD  
CROTON-ON-HUDSON, NEW YORK  
TEL (914) 330-1802  
LEWISROANEDESIGN@GMAIL.COM



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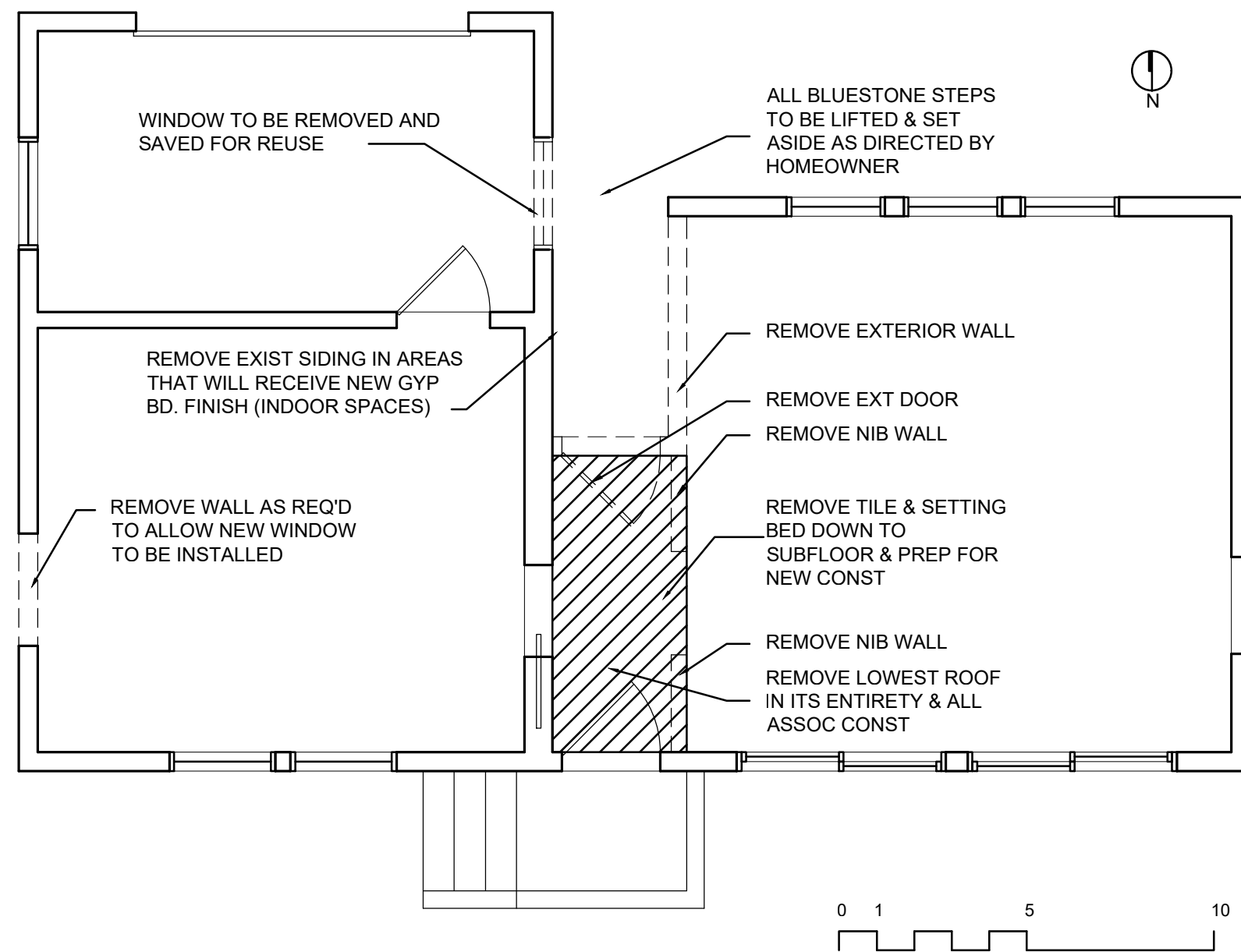
PROJECT NAME  
PROPOSED RENOVATION TO THE:  
CROCKER RESIDENCE  
39 PALMER AVENUE  
CROTON ON HUDSON NY 10520

DRAWING TITLE  
GENERAL NOTES & DETAILS

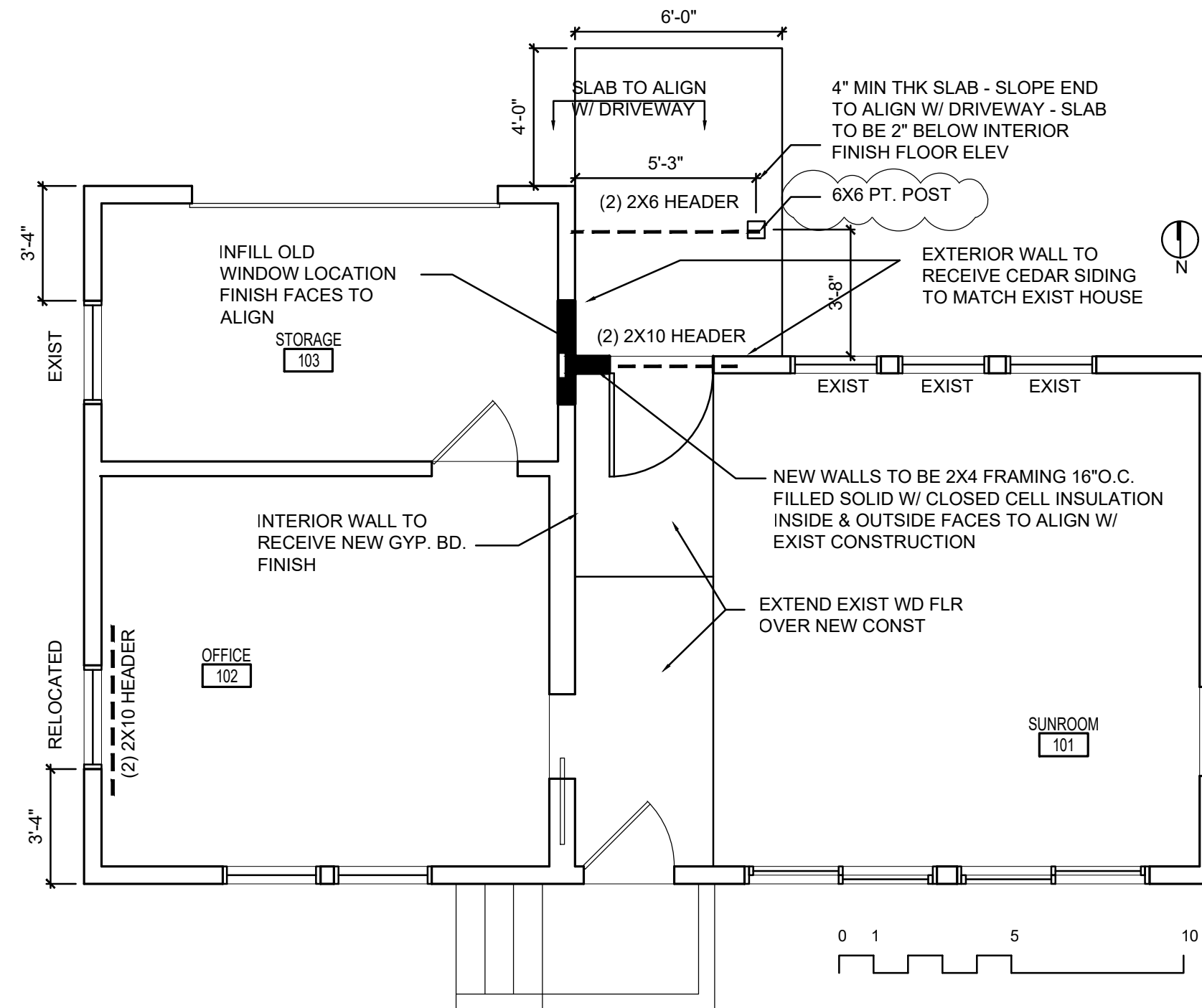
DATE 9/01/2025

DRAWING NUMBER  
A-2

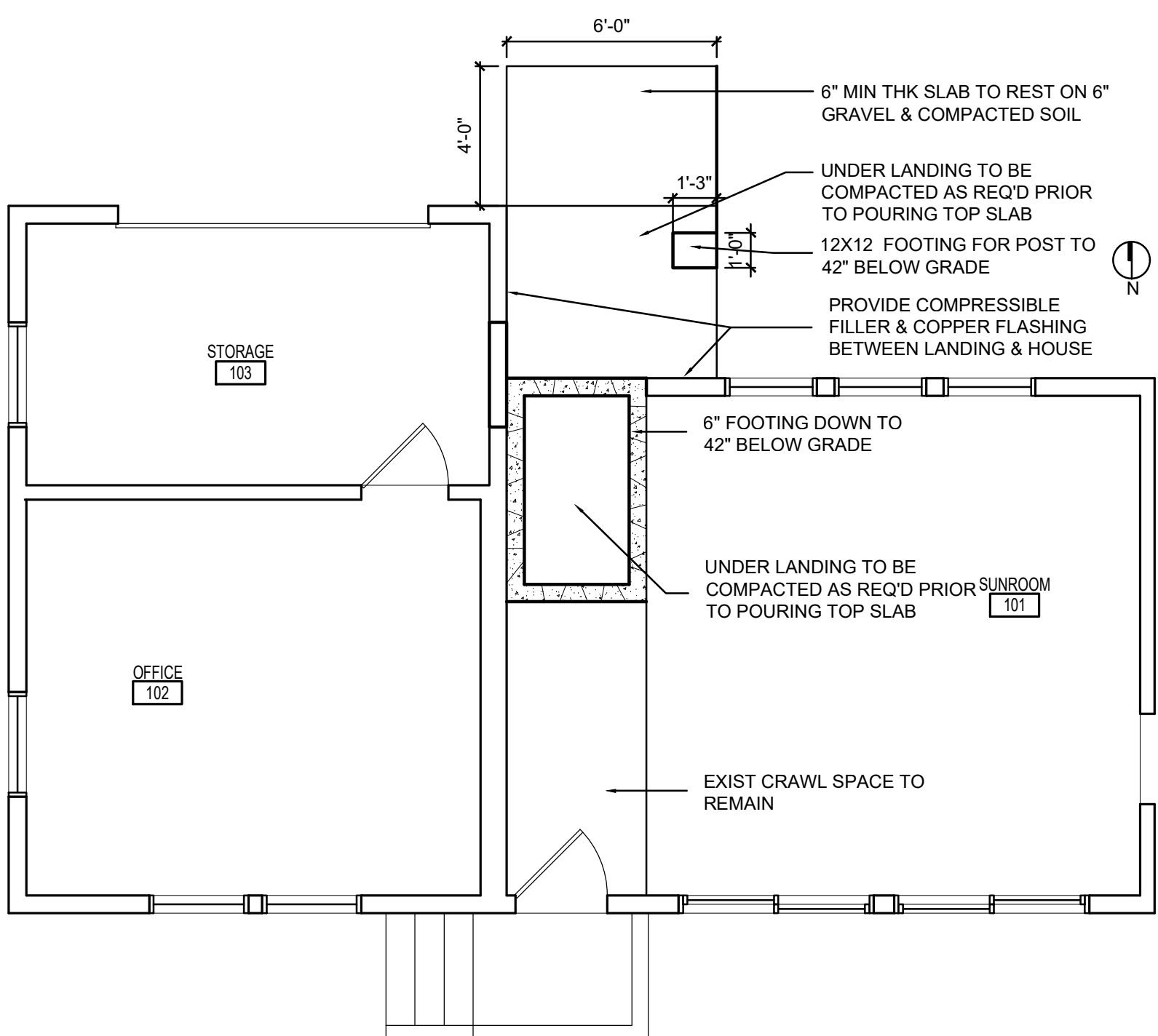
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1  
A-3  
**DEMOLITION PLAN**  
SCALE: 1/4"=1'-0"



3  
A-3  
**CONSTRUCTION PLAN**  
SCALE: 1/4"=1'-0"



2  
A-3  
**FOUNDATION PLAN**  
SCALE: 1/4"=1'-0"

**DEMOLITION LEGEND**

- EXIST. CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING DOOR, FRAME & HARDWARE TO BE REMOVED

**DEMOLITION NOTES**

1. ALL DEMOLITION AND REMOVAL WORK SHALL BE COMPLETED AS INDICATED AND NOTED ON THE DRAWINGS AND AS SPECIFIED.
2. BEFORE STARTING WORK, MAKE A THOROUGH EXAMINATION OF THOSE PORTIONS OF THE STRUCTURE IN WHICH THE WORK IS TO BE PERFORMED. CHECK ALL THE WORK ADJOINING OR AT UNDERLYING LOCATIONS. REPORT TO THE ARCHITECT ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE WORK. DO NOT START THE WORK UNTIL SUCH CONDITIONS HAVE BEEN EXAMINED AND A COURSE OF ACTIONS MUTUALLY AGREED UPON.
3. PRIOR TO THE START OF DEMOLITION, THE CONTRACTOR SHALL CALL TO THE ATTENTION OF THE OWNER: ANY DAMAGE, CRACKS OR OTHER IMPERFECTIONS IN THE WORK ADJACENT TO DEMOLITION AREAS.
4. KEEP ALL ADJOINING AREAS CLEAN AND FREE OF DEBRIS OR CONSTRUCTION MATERIALS DURING WORKING HOURS, AND PROVIDE SAFE SITE CONDITIONS.
5. PATCH, FILL AND REPAIR ALL SURFACES DISTURBED, CUT, DAMAGED, IN NEED OF REPAIR OR MADE IMPERFECT BY ALTERATIONS OR REMOVAL WORK AND AS REQUIRED TO PREPARE SURFACES FOR NEW MATERIALS AND ARRANGEMENTS.
6. PRIOR TO THE DEMOLITION OF THOSE ITEMS WHICH HAVE UTILITY CONNECTIONS (WATER, GAS, ELECTRICITY, STEAM, ETC.) THE CONTRACTOR SHALL ARRANGE WITH THE OWNER TO LOCATE SHUTOFF VALVES, PANEL BOXES AND OTHER CONTROL ELEMENTS, SO THAT WATER DAMAGE AND OTHER POTENTIALLY INCONVENIENT OR DANGEROUS SITUATIONS ARE VOIDED.
7. THE PROJECT SHALL BE GOVERNED IN ANY AND ALL RESPECTS BY THE CURRENT EDITION OF THE THE 2025 NYS RESIDENTIAL CODE
8. ALL OPENINGS DUE TO REMOVAL OF EXISTING ELECTRICAL OUTLETS, SWITCHES, ETC. AND MECHANICAL ITEMS SHALL BE PATCHED AND REPAIRED TO MATCH EXISTING FINISHES AND/OR NEW FINISHES.
9. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL REQUIRED ITEMS FROM THE CEILING AS REQ'D TO COMPLETE THE ENTIRE PROJECT.
10. CONTRACTOR SHALL ALSO SCHEDULE AND COORDINATE ALL REQUIRED TOWN INSPECTIONS.
11. CONTRACTOR SHALL OBTAIN THE ARCHITECT'S GUIDANCE WITH RESPECT TO INTERPRETATION OR DESIGN INTENT OF DESIGN DOCUMENTS. NO ASSUMPTIONS SHALL BE MADE BY THE CONTRACTOR.
12. CONTRACTOR SHALL IMMEDIATELY NOTIFY AND BRING TO THE ATTENTION OF THE ARCHITECT ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS CONTAINED IN OR ARISING AS A RESULT OF IMPLEMENTING THE CONTRACT DOCUMENTS.
13. ALL CONTRACTORS SHALL VERIFY ALL DIMENSIONS & CONDITIONS AT THE JOB SITE. ANY SUBSTITUTIONS OR CHANGES SHALL BE APPROVED IN WRITING BY THE ARCHITECT BEFORE COMMENCING WORK.
14. THOSE ITEMS AND TASKS NOT NOTED BUT IMPLIED AS NECESSARY FOR COMPLETION OF THE PROJECT SHALL BE CONSIDERED PART OF THE CONTRACT. PROJECT IS COMPLETE HABITABLE SPACE.
15. G.C. IS RESPONSIBLE FOR PROVIDING TEMPORARY SUPPORT AND SHORING OF EXISTING CEILINGS, PARTITIONS, ETC. DURING DEMOLITION AND RENOVATION.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COLLECTION OF ALL ARCHITECTURAL, STRUCTURAL, AND MECHANICAL DRAWINGS NOT INDICATED AS ISSUED FOR CONSTRUCTION AND FOR DISTRIBUTION TO ALL SUB CONTRACTORS & CONSULTANTS ARCHITECTURAL, STRUCTURAL, AND MECHANICAL DRAWINGS ISSUED FOR CONSTRUCTION, THE MOST CURRENT REVISED SET.
17. PROTECT EXIST FLOORS FOR REUSE

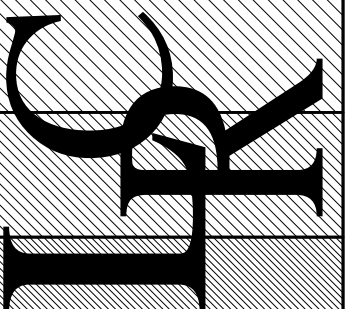
**CONSTRUCTION NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMP. DUST AND DEBRIS PROTECTION BETWEEN AREAS OF CONSTRUCTION AND AREAS IN WHICH NO WORK IS TAKING PLACE. LOCATION OF SUCH PROTECTION SHALL BE VERIFIED WITH OWNER PRIOR TO COMMENCING WORK AND IN CO-ORDIN. WITH PROGRESSION OF WORK SCHEDULE. HE SHALL PERFORM THE WORK IN A MANNER THAT WILL AVOID HAZARDS TO PERSONS IN ADJACENT AREAS AND THAT WON'T INTERFERE WITH WORK OR PASSAGE TO ANY OF THESE AREAS.
2. CONTRACTOR IS TO VERIFY ALL CONDITIONS AND NOTIFY ARCHITECT & HOME OWNER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
3. ALL PLUMBING & POWER REQUIREMENTS FOR CONVENIENCE & EQUIPMENT BEING INSTALLED ARE TO FOLLOW THE 2025 NYS RESIDENTIAL BUILDING CODE
4. FINISHES THAT ARE DISTURBED BY DEMOLITION SHALL BE PATCHED TO MATCH EXISTING.
5. ALL WALL BASE & TRIM TO MATCH EXIST AS DIRECTED BY THE HOME OWNER
6. CONTRACT DRAWINGS ARE NOT INTENDED TO REPRESENT EXACT DIMENSIONS. FIELD DIMENSIONS ARE THE RESPONSIBILITY OF THIS CONTRACTOR FOR ALL PHASES INCLUDING BIDDING, FABRICATION, COORDINATION AND CONSTRUCTION.
7. ALL DIMENSIONS TO BE APPROVED BY ARCHITECT / HOME OWNER
8. CONTRACTOR TO REMOVE ANY STRAY PAINT, DIRT, OR STAINS INCURRED DURING THE CONSTRUCTION PROCESS. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL TEMPORARY EQUIPMENT COVERINGS USED DURING CONSTRUCTION AND HE SHALL ALSO BE RESPONSIBLE FOR THE REMOVING OF HIS TRASH OFF OF THE JOB SITE DAILY
9. ALL WORK ASSOCIATED WITH THE RECONFIGURATION OF THE PLUMBING INCLUDING THE POSSIBLE DEMOLITION AND REPAIR OF THE CEILING BELOW IT IS THE RESPONSIBILITY OF THE GC
10. HOMEOWNER TO PROVIDE TUB & FAUCET. ALL OTHER SUPPLIES REQUIRED FOR A COMPLETE INSTALLATION / PROJECT ARE THE RESPONSIBILITY OF THE GC
11. ALL WALLS & CEILINGS ARE TO BE PAINTED W/ 2 COLOR COATS AND PRIMER COAT COLOR AS SELECTED BY HOMEOWNER
12. ALL WALL INFILL LOCATIONS CONSTRUCTION AS TO BE 2x CONSTRUCTION TYPE TO ALLOW FINISH SURFACES TO ALIGN W/ EXISTING FRAMING
13. ALL HEADERS TO BE FULLY ADHERED TOGETHER AND NAILED W/ 10P NAILS ON 6" CENTERS
14. ALL NEW EXTERIOR WALLS TO BE 2x6 STUDS 16"O.C. MAX W/ 1/2" GYP. BD. ON INSIDE FACE & 1/2" CDX PLY WD ON THE EXTERIOR W/ TYVEK TYPE HOUSE WRAP (ALL SEAMS TAPED), R-19 FACED BATT INSULATION CAVITY & 1-1/2" R-7.5 CONT RIGID INSUL ON EXTERIOR W/ SIDING TO MATCH EXISTING
15. ALL NEW INTERIOR WALLS TO BE 2x4 STUDS 16"O.C. MAX W/ 1/2" GYP. BD. ON EA FACE & SOUND BATT INSULATION
16. COORD ALL POWER & LIGHTING LOCATIONS & TYPE W/ HOME OWNER

**CONSTRUCTION ITEMS**

2. HOME OWNER IS RESPONSIBLE FOR PURCHASE OF VANITY, SINK FAUCET & TOILET. INSTALLATION AND ITEMS REQUIRED FOR FUNCTION ARE GC RESPONSIBILITY
3. ALL GENERAL LIGHTING TO BE LED DOWNLIGHTS BY GC. HOMEOWNER MAY ADD DECORATIVE LIGHTING FIXTURE (BY OWNER) INSTALLED BY GC
6. ALL REQUIRED POWER RELOCATIONS FOR EXISTING ITEMS IMPACTED BY THIS CONSTRUCTION ARE TO BE PART OF THE BASE CONTRACT IE: ATS SWITCH, INCOMING SERVICE A/C POWER AND ANY OTHER ITEM IMPACTED

**LEWIS C ROANE**  
ARCHITECT  
3 WINDSOR ROAD  
CROTON-ON-HUDSON, NEW YORK  
TEL (914) 330-1802  
LEWISROANEDESIGN@GMAIL.COM



REVISION	DATE	ISSUE
	11/15/2025	ISSUED FOR BID & FILING
	3/22/2026	REVISED PER TOWN COMMENT

PROPOSED RENOVATION TO THE:  
**CROCKER RESIDENCE**  
39 PALMER AVENUE  
CROTON ON HUDSON NY 10520

**CONSTRUCTION PLANS**

4/16/2024  
DATE AS NOTED

DRAWING NUMBER  
**A-3**

IT IS A VIOLATION FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

**Project Information**

**Project Title:** 39 Palmer Ave - Margaret Crocker  
**Energy Code:** 2020 NYStretch - 2018 IECC  
**Location:** Croton-on-Hudson, New York  
**Construction Type:** Single Family  
**Project Type:** Addition  
**Project Sub Type:** None  
**Climate Zone:** 4a (5550 HDD)  
**Project No.:** 1790707  
**All Electric:** false  
**Is Renewable:** false  
**Has Battery:** false  
**Has Charger:** false  
**Has Heat Pump:** false

**Construction Site:** 39 Palmer Avenue, Croton on Hudson, NY 10520  
**Owner/Agent:**  
**Designer/Contractor:**

**Project Notes:**

**Envelope Assemblies**

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor/F-Factor	Req. U-Factor/F-Factor	Prop. UA	Req. UA
Ceiling: Flat Ceiling or Scissor Truss	26	49.0	0.0	0.026	0.026	1	1
Floor: Slab-On-Grade (Heated) Insulation depth: 4.00' Insulation position: Horizontal Insulation	21		30.0	1.110	0.550	0	0
Wall: Wood Frame, 16" S.C.	35	24.0	0.0	0.054	0.045	1	1
Door: Solid Door (under 50% glazing)	18			0.300	0.270	5	5

**Compliance: Passes using UA trade-off**  
 Compliance: 0.0% Better Than Code  
 Max UA: 7 Your UA: 7 Max SHGC: 0.40

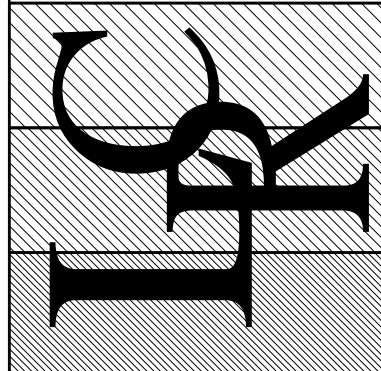
The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.  
 Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

**Compliance Statement**

The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2020 NYStretch - 2018 IECC requirements in REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name - Title Signature Date

LEWIS C ROANE  
 ARCHITECT  
 3 WINDSOR ROAD  
 CROTON-ON-HUDSON, NEW YORK  
 TEL (914) 330-1802  
 LEWISROANEDESIGN@GMAIL.COM



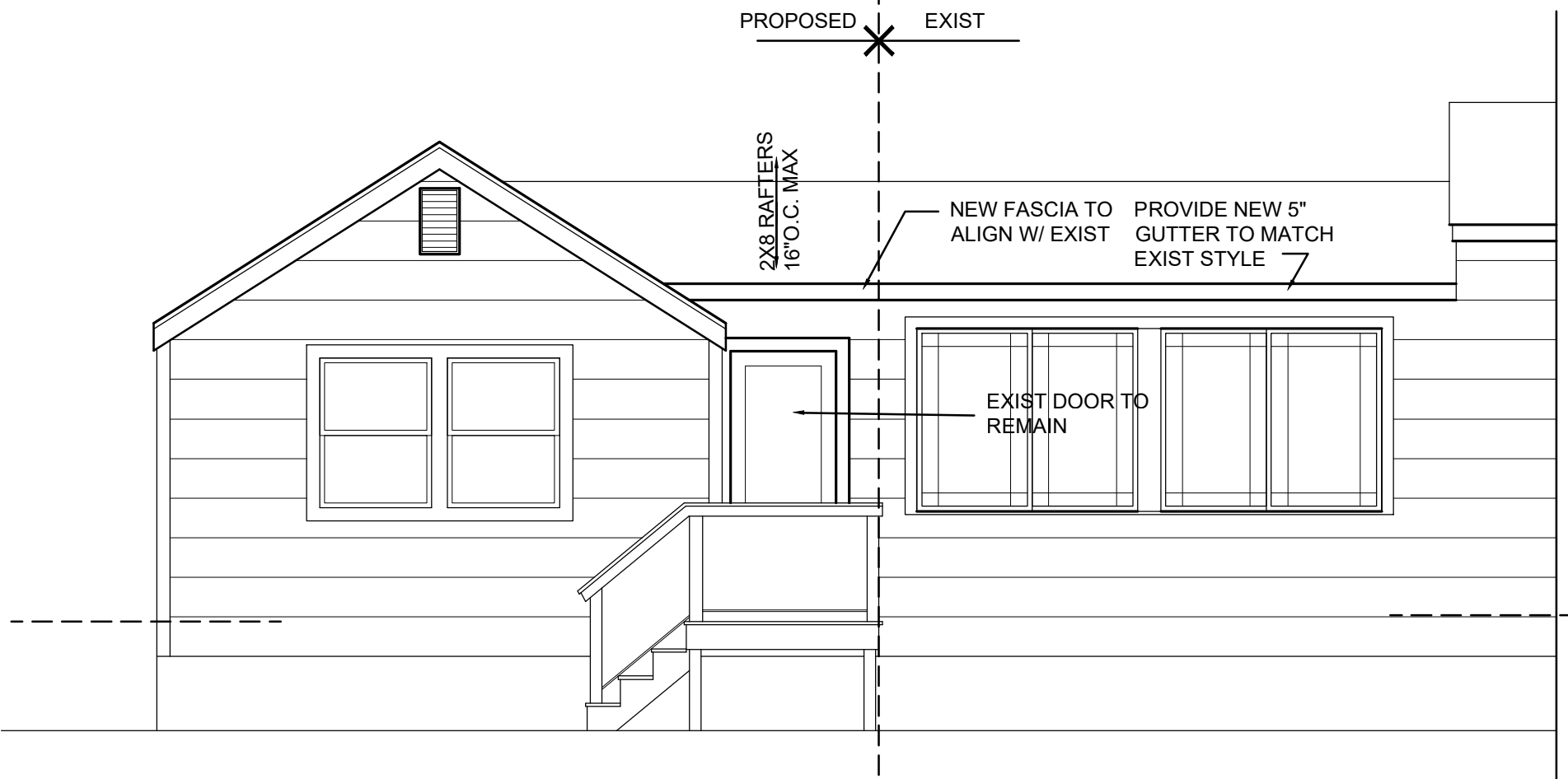
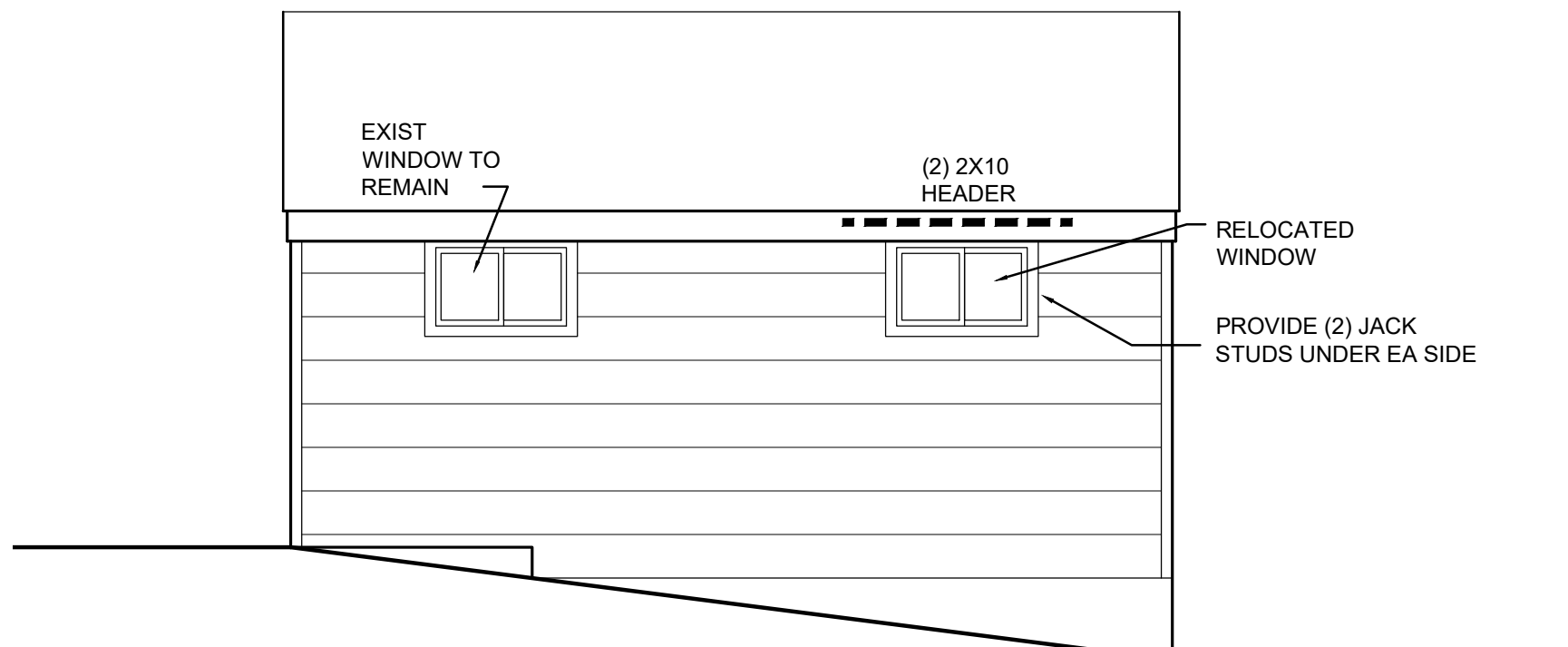
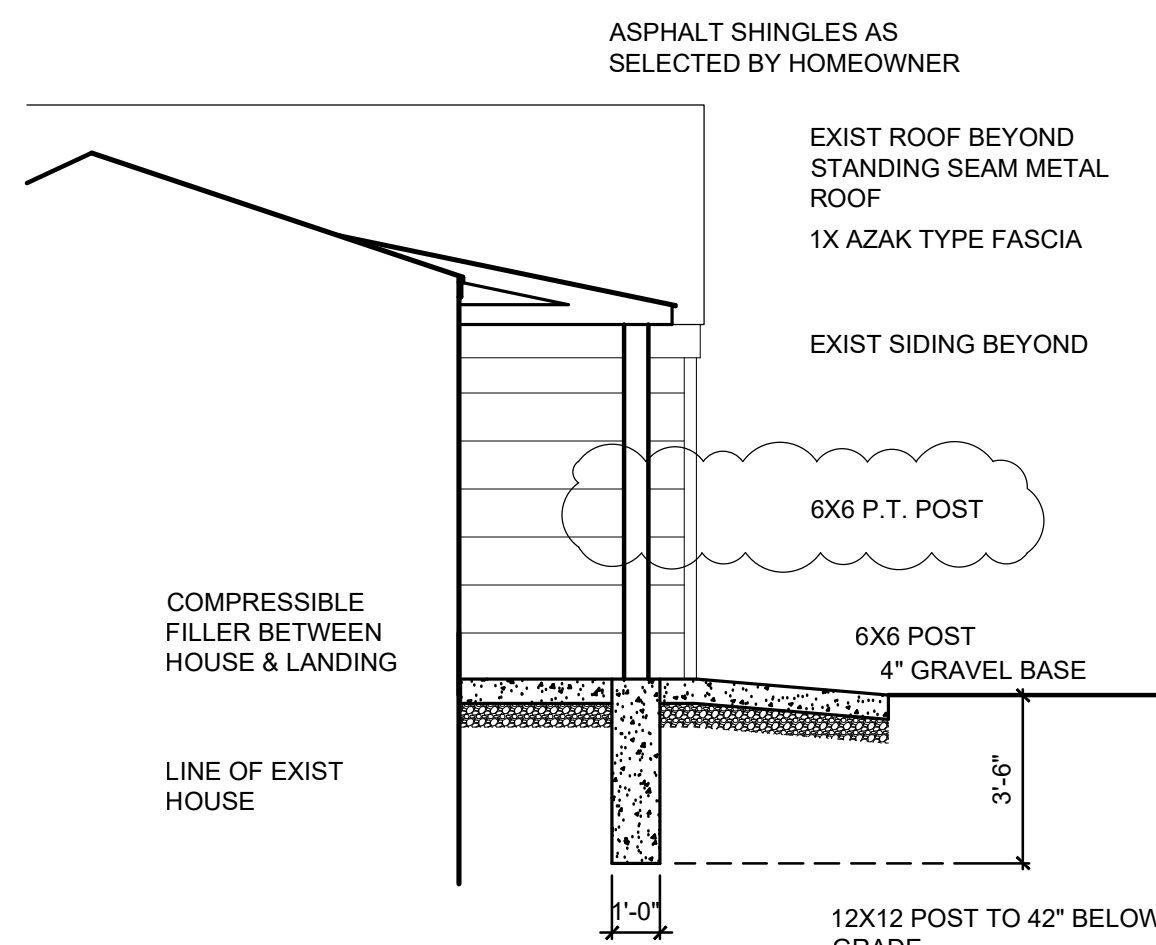
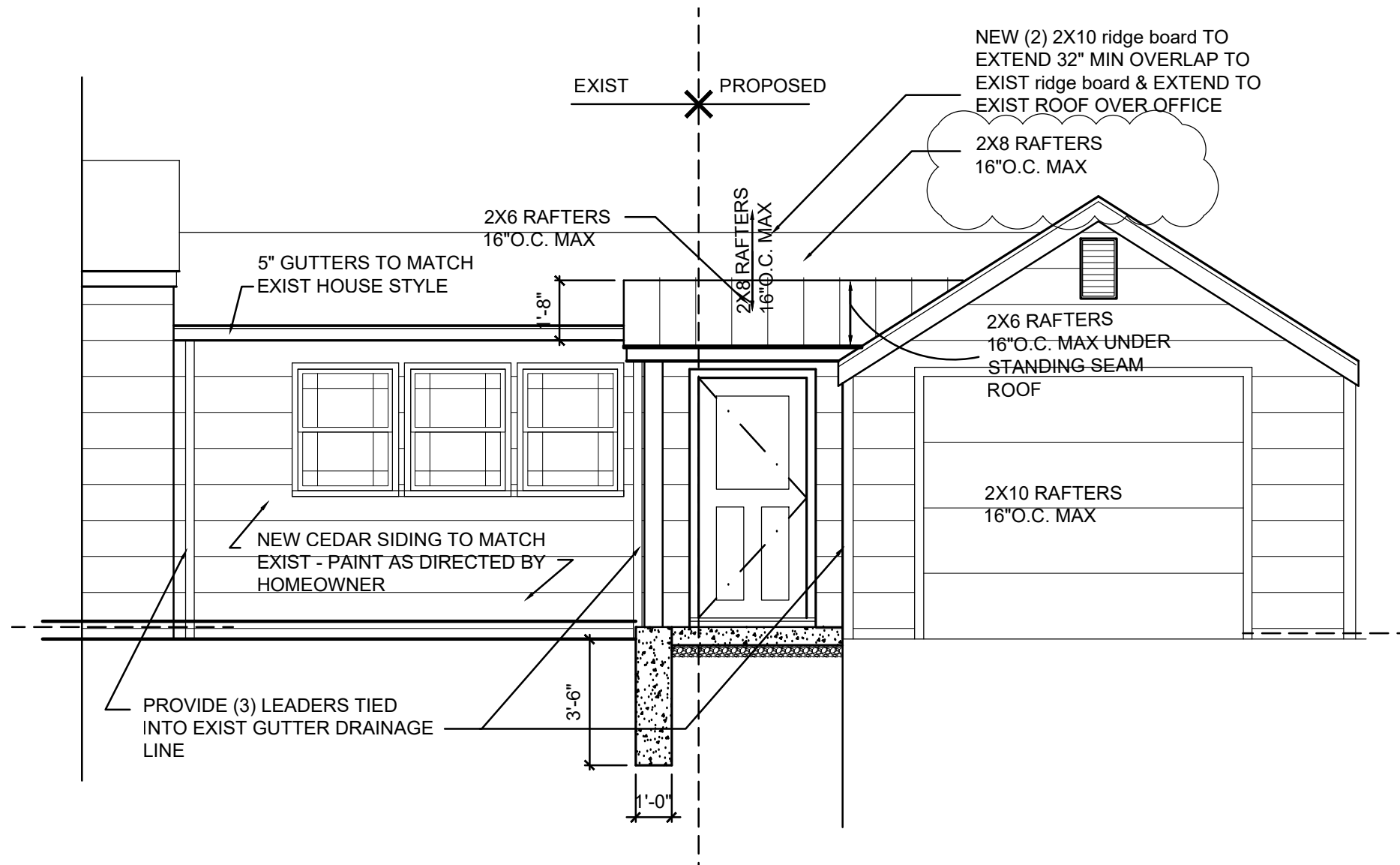
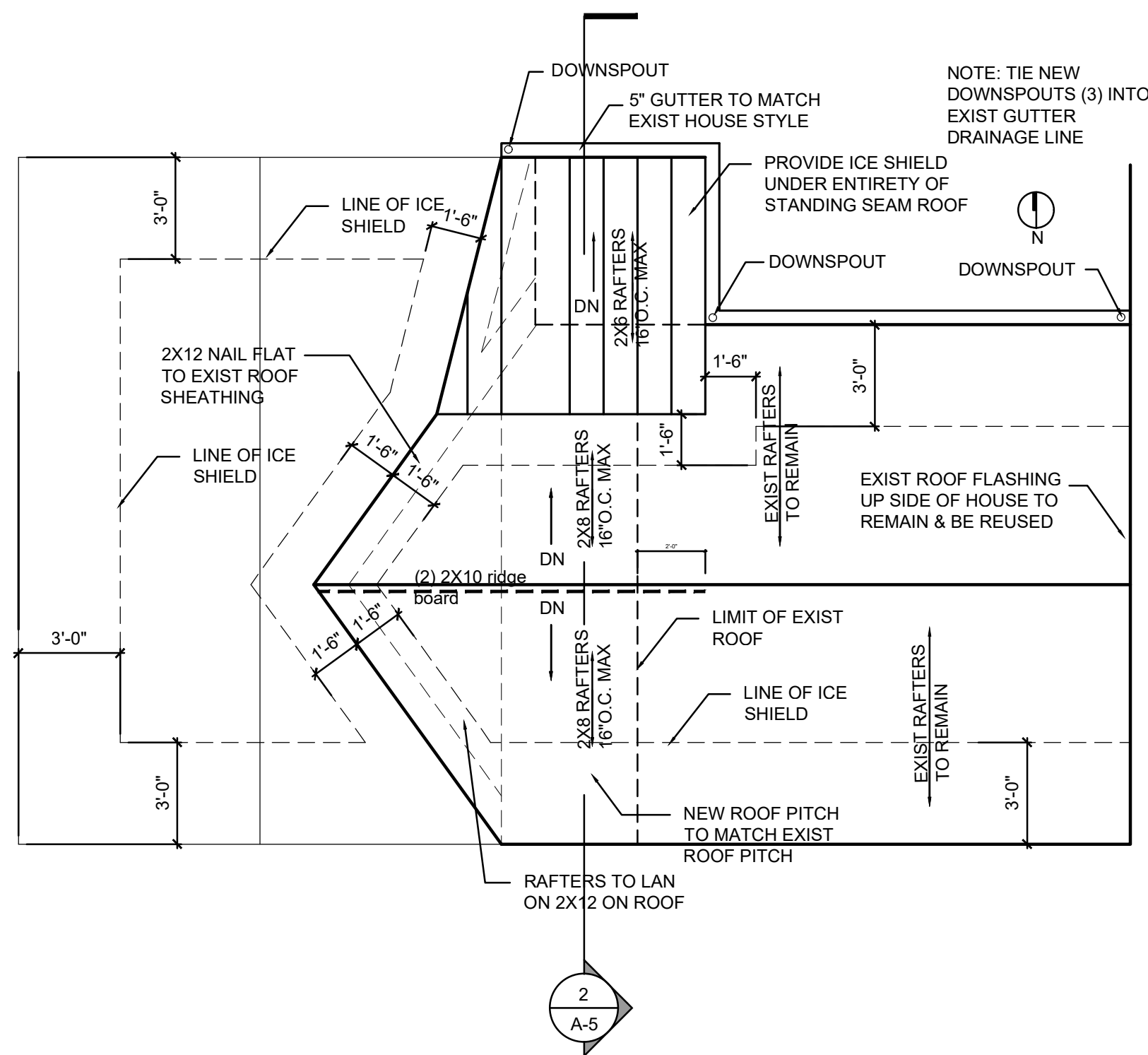
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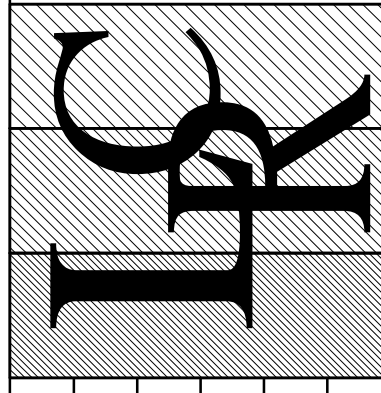
PROJECT NAME  
**PROPOSED RENOVATION TO THE:  
 CROCKER RESIDENCE  
 39 PALMER AVENUE  
 CROTON ON HUDSON NY 10520**

DRAWING TITLE  
**ROOF PLAN,  
 ELEVATIONS & DETAILS**

DATE: 4/16/2024  
 AS NOTED  
 DRAWING NUMBER  
**A-4**

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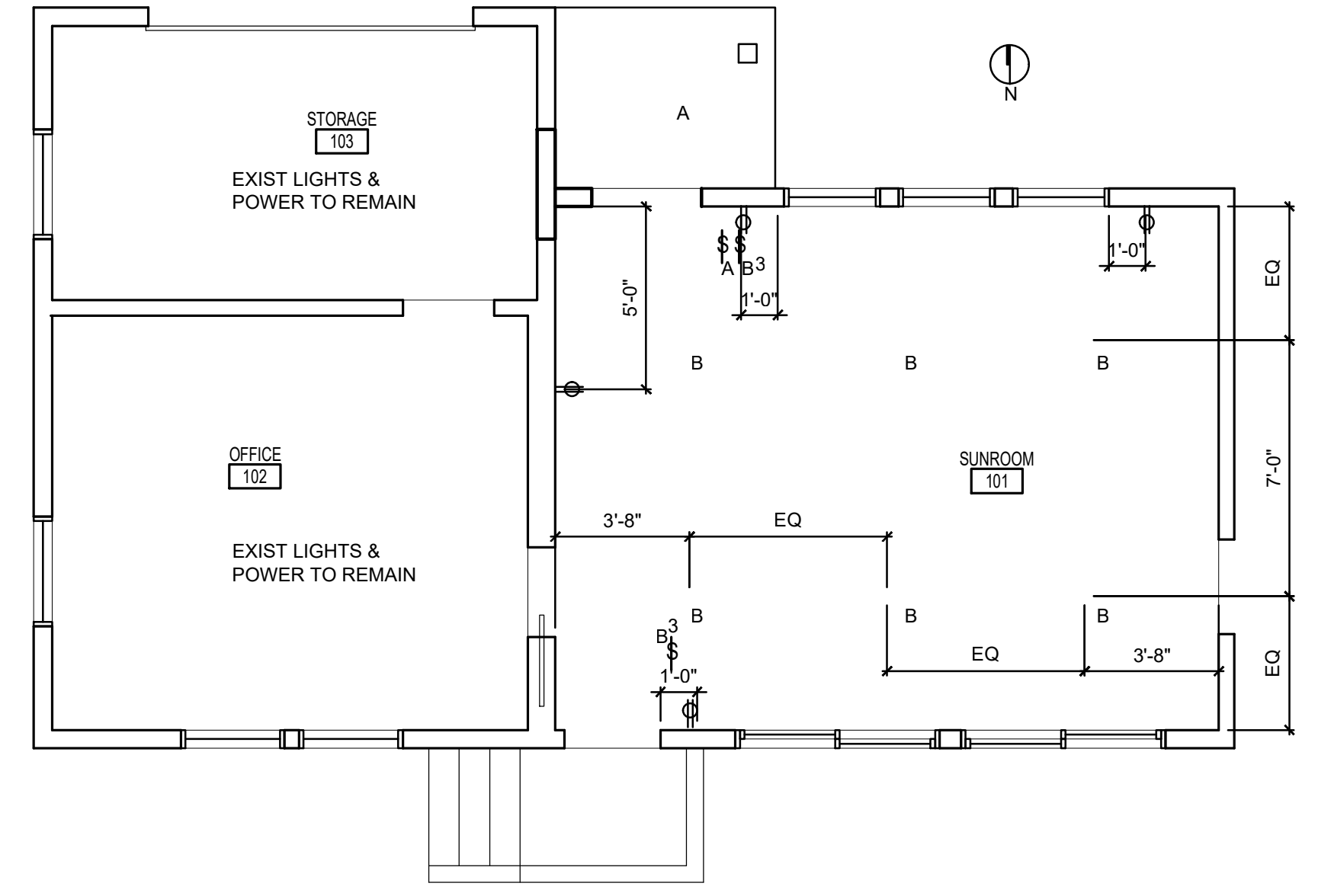


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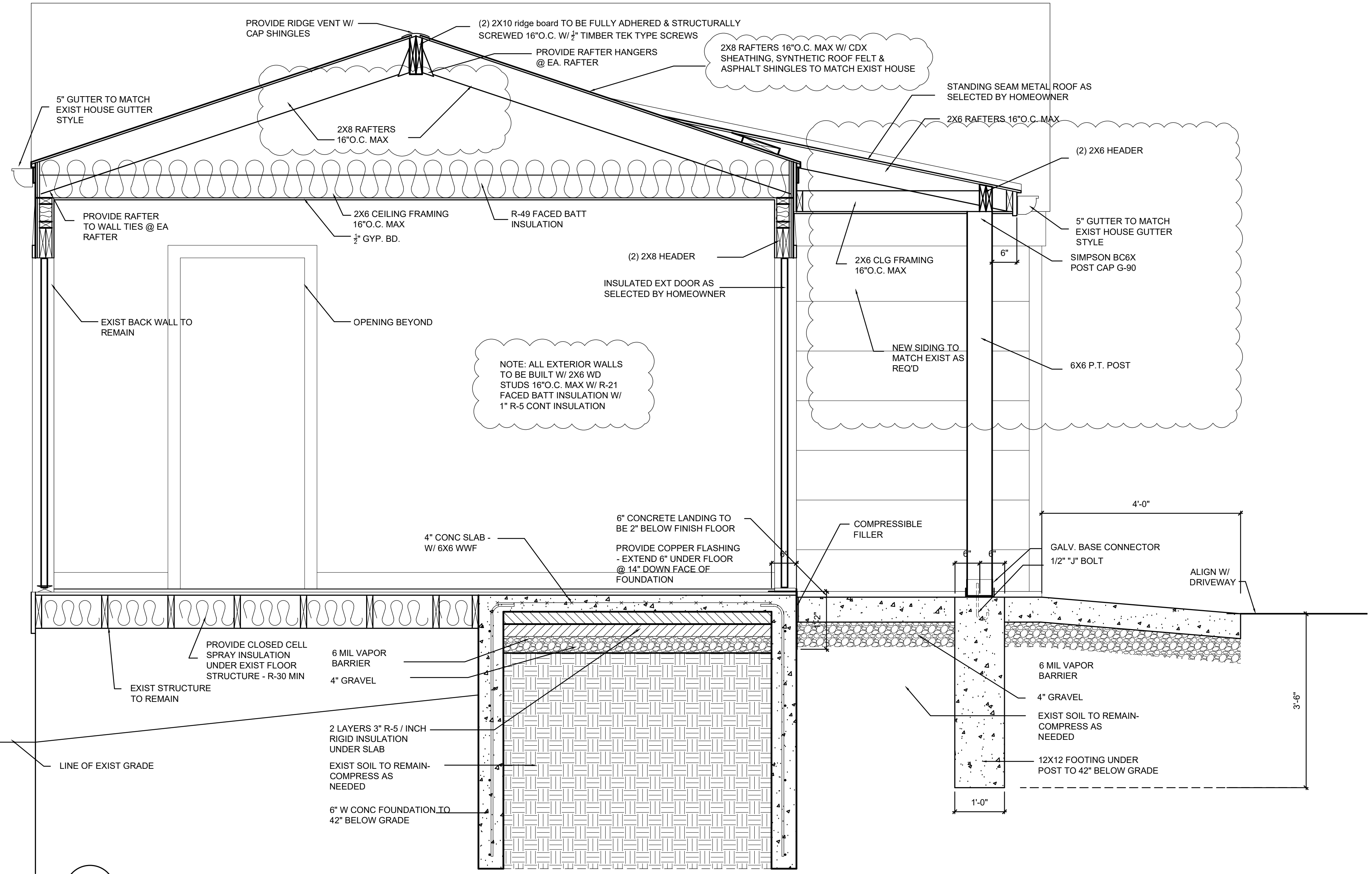
PROJECT NAME  
 PROPOSED RENOVATION TO THE:  
 CROCKER RESIDENCE  
 39 PALMER AVENUE  
 CROTON ON HUDSON NY 10520

DRAWING TITLE  
 SECTION, LIGHTING &  
 POWER PLAN

DATE	4/16/2024
AS NOTED	
DRAWING NUMBER	A-5



1  
 A-5  
 FIRST FLOOR  
 LIGHTING & POWER PLAN  
 SCALE: 1/4"=1'-0"



1  
 A-5  
 SECTION  
 SCALE: 3/4"=1'-0"

POWER & SIGNAL NOTES	REFLECTED CEILING NOTES	PLUMBING & ELECTRICAL NOTES																				
<ol style="list-style-type: none"> <li>ALL OUTLETS TO DECORA TYPE OUTLETS</li> <li>CONTRACTOR TO FURNISH &amp; INSTALL LIFE SAFETY DETECTORS AS DIRECTED BY THE NEW YORK STATE BUILDING CODE</li> <li>CONTRACTOR SHALL INSTALL ELECTRICAL DEVICES FOLLOWING ALL APPLICABLE CODES</li> <li>ALL EXISTING POWER IS TO REMAIN WHERE POSSIBLE.</li> <li>ALL OUTLET LOCATIONS ARE TO BE VERIFIED WITH OWNER PRIOR TO INSTALLATION</li> <li>ALL NEW OUTLETS ARE TO BE MATCH EXISTING OUTLETS</li> </ol>	<ol style="list-style-type: none"> <li>ALL NEW SWITCHES ARE TO NEW DECORA TYPE SWITCHES</li> <li>ALL NEW DOWNLIGHTS ARE TO BE DIRECTIONAL</li> <li>CONTRACTOR TO COORDINATE FINAL LOCATION OF LIGHTING FIXTURES WITH OWNER BEFORE INSTALLATION</li> <li>THIS LIGHTING PLAN IS FOR REFERENCE ONLY ALL LIGHTING LOCATIONS AND FIXTURE TYPES ARE TO BE BY THE HOME OWNER AND INSTALLED BY G.C. U.O.N</li> <li>ALL NEW SWITCH LOCATIONS ARE TO BE CONFIRMED IN THE FIELD WITH THE OWNER</li> </ol>	<ol style="list-style-type: none"> <li>ALL MATERIAL USED SHALL BE NEW, BEST OF THEIR RESPECTIVE KINDS, FREE FROM DEFECTS AND CONFORM TO THE REQUIREMENTS OF ALL LOCAL, STATE, AND NATIONAL AUTHORITIES HAVING JURISDICTION.</li> <li>SUBCONTRACTORS SHALL FILE FOR PLUMBING AND ELECTRICAL PERMITS, PAY FOR ALL FEES AND HAVE THEIR WORK INSPECTED BY STATE AND LOCAL AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL SECURE ANY AND ALL CERTIFICATES OF COMPLIANCE AND/OR INSPECTION ISSUED BY SAID AGENCIES. ANY MODIFICATION OR CHANGE CALLED FOR BY AUTHORITIES HAVING JURISDICTION SHALL BE MADE WITHOUT ADDITIONAL CHARGE.</li> <li>ARCHITECTURAL DRAWINGS FOR PLUMBING AND ELECTRICAL ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF THE WORK REQUIRED. EACH CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES AS REQUIRED TO AVOID INTERFERENCES AND INSURE PROPER INSTALLATION.</li> <li>ALL SUBCONTRACTORS SHALL LAY OUT THEIR WORK IN ADVANCE SO ALL NECESSARY ACCOMMODATIONS FOR IT CAN BE MADE AS REQUIRED. UNNECESSARY CUTTING OF THE STRUCTURE IS TO BE AVOIDED. SHOULD A CONTRACTOR REQUIRE CUTTING FOR THE INSTALLATION OF HIS WORK HE SHALL COORDINATE HIS REQUIREMENTS WITH OTHER CONTRACTORS AND THE ARCHITECT AND PAY ALL COSTS FOR SAID CUTTING, STRENGTHENING, AND ANY PATCHING THAT MAY RESULT.</li> <li>ANY RIGGING AND HOISTING REQUIRED BY ANY CONTRACTOR SHALL BE DONE BY HIM AS A NORMAL PART OF HIS INSTALLATION PROCEDURES.</li> <li>ACCESSORIES NEEDED TO MAKE THE INSTALLATION OF EACH SUBCONTRACTOR PERFECT AND COMPLETE IN ALL RESPECTS AND READY FOR OPERATION, EVEN IF NOT PARTICULARLY CALLED FOR, SHALL BE FURNISHED, DELIVERED AND INSTALLED HEREIN WITHOUT ADDITIONAL COST. INCLUDED HERE UNDER SHALL BE, BUT NOT LIMITED TO, THE INCIDENTAL OR MINOR ITEMS THAT ARE NOT SHOWN OR SPECIFIED, BUT WHICH ARE CONSIDERED AS NECESSARY FOR THE PROPER FUNCTIONING OF THE INSTALLATION BY TRADE CUSTOM AND/OR STANDARD PRACTICE, OR SPECIAL REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.</li> </ol>																				
<p>RCP / POWER LEGEND</p> <table border="0"> <tr> <td>⊕</td> <td>WALL MTD. DUPLEX ELEC. OUTLET</td> <td>⊕</td> <td>HARDWIRED BATTERY BACKED UP WALL MTD. CARBON MONOXIDE DETECTOR PER NYS CODE</td> </tr> <tr> <td>⊖</td> <td>WALL MTD. PHONE/DATA OUTLET</td> <td>⊕</td> <td>HARDWIRED BATTERY BACKED UP SMOKE DETECTOR. ALL ARE TO BE INTERCONNECTED</td> </tr> <tr> <td>⊕</td> <td>WALL MTD. ELEC. QUAD OUTLET</td> <td>⊕</td> <td>INSULATION CONTACT DOWN LIGHT</td> </tr> <tr> <td>⊕</td> <td>CEILING MTD DIRECTIONAL LED DOWNLIGHT</td> <td>⊕</td> <td>WALL MTD. LIGHT SWITCH</td> </tr> <tr> <td>—</td> <td>WALL MTD LED STRIP FIXTURE. MOUNT OVER DOOR INSIDE CLOSET</td> <td>⊕</td> <td>WALL MTD. LIGHT SCENCE</td> </tr> </table> <p>** ALL LIGHT FIXTURES TO BE SELECTED BY THE HOMEOWNER. THIS DRAWING IS FOR REFERENCE ONLY</p>			⊕	WALL MTD. DUPLEX ELEC. OUTLET	⊕	HARDWIRED BATTERY BACKED UP WALL MTD. CARBON MONOXIDE DETECTOR PER NYS CODE	⊖	WALL MTD. PHONE/DATA OUTLET	⊕	HARDWIRED BATTERY BACKED UP SMOKE DETECTOR. ALL ARE TO BE INTERCONNECTED	⊕	WALL MTD. ELEC. QUAD OUTLET	⊕	INSULATION CONTACT DOWN LIGHT	⊕	CEILING MTD DIRECTIONAL LED DOWNLIGHT	⊕	WALL MTD. LIGHT SWITCH	—	WALL MTD LED STRIP FIXTURE. MOUNT OVER DOOR INSIDE CLOSET	⊕	WALL MTD. LIGHT SCENCE
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<p>6. ALL WORK SHALL BE INSTALLED READILY ACCESSIBLE FOR OPERATION, MAINTENANCE, AND REPAIRS. EQUIPMENT INSTALLED AS A PART HEREOF IS TO BE FULLY GUARANTEED FOR ONE (1) YEAR AGAINST FAULTY PARTS AND WORKMANSHIP FROM THE DATE OF ACCEPTANCE OR FINAL PAYMENT, WHICHEVER COMES LATER.</p> <p>7. PROVIDE AND INSTALL SMOKE DETECTORS AS PER DRAWINGS AND AS PER CODE.</p> <p>8. WHERE OUTLETS AND SWITCHES ARE PLACE IN CABINetry, PANELING OR MOLDING, THE CARPENTER, NOT THE ELECTRICIAN, SHALL MAKE ALL CUTS.</p> <p>9. UNLESS OTHERWISE NOTED, ALL WALL SWITCHES SHALL BE MOUNTED 3'-0" FF. TO CENTER AND ALIGN WITH DOOR HARDWARE AT 3'-0" A.F.F.</p> <p>10. ALL MULTIPLE SWITCH PLATE CONFIGURATIONS ARE TO BE DETERMINED.</p> <p>11. ALL MULTI-GANG FACE PLATES SHALL BE ONE PIECE.</p> <p>12. ALL MATERIAL, EQUIPMENT, AND FIXTURES, INCLUDING THOSE SUPPLIED BY OWNER AND INSTALLED BY G.C., MUST BE IN COMPLIANCE WITH U.L.</p> <p>13. THE SPACE IS EQUIPPED WITH A HARDWIRED BATTERY BACKED UP SMOKE DETECTOR.</p> <p>14. THE SPACE IS TO BE EQUIPPED WITH A HARDWIRED BATTERY BACKED UP CO2 DETECTOR.</p> <p>15. ALL ELECTRICAL WORK IS TO BE PERFORMED BY A LICENSED ELECTRICIAN</p> <p>16. ALL OF THE EXISTING CONSTRUCTION IN THE BASEMENT IS STRUCTURALLY SOUND</p> <p>17. ALL FIXTURES AND FINISHES ARE TO BE SUPPLIED BY OWNER &amp; INSTALLED BY G.C. U.O.N.</p> <p>18. NO BEDROOMS ARE ADDED AS PART OF THIS DESIGN</p> <p>19. PROPOSED PROJECT SHALL COMPLY WITH THE NEW YORK STATE BUILDING CODE FOR RESIDENTIAL (2025 NYS RESIDENTIAL CODE, NATIONAL ELECTRIC CODE 2017 OF NYS)</p> <p>IT IS A VIOLATION FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR SURVEYOR, TO ALTER AN ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION</p>																						



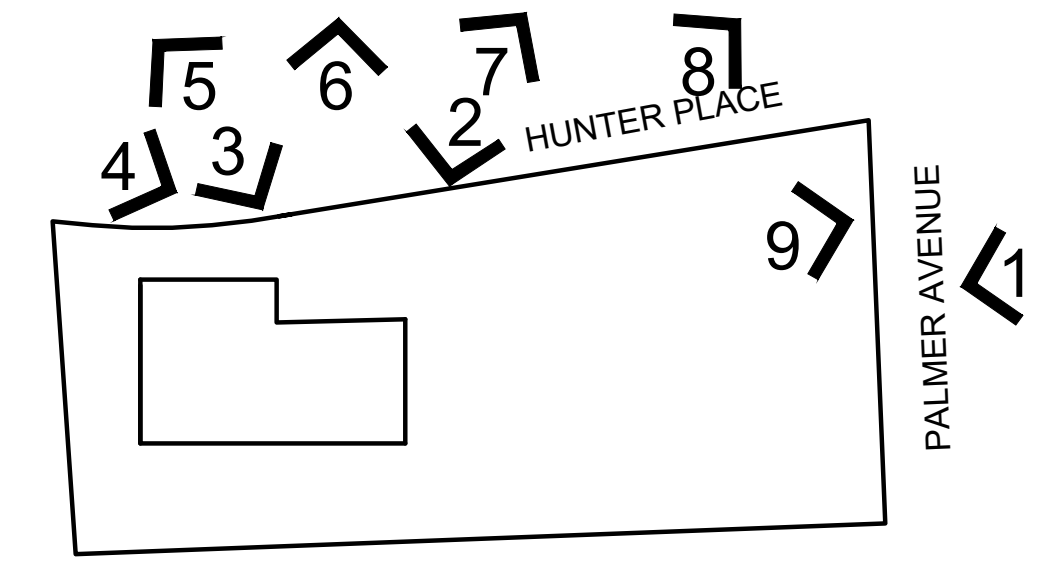
VIEW 1



VIEW 2



VIEW 3



VIEW KEY PLAN



VIEW 4



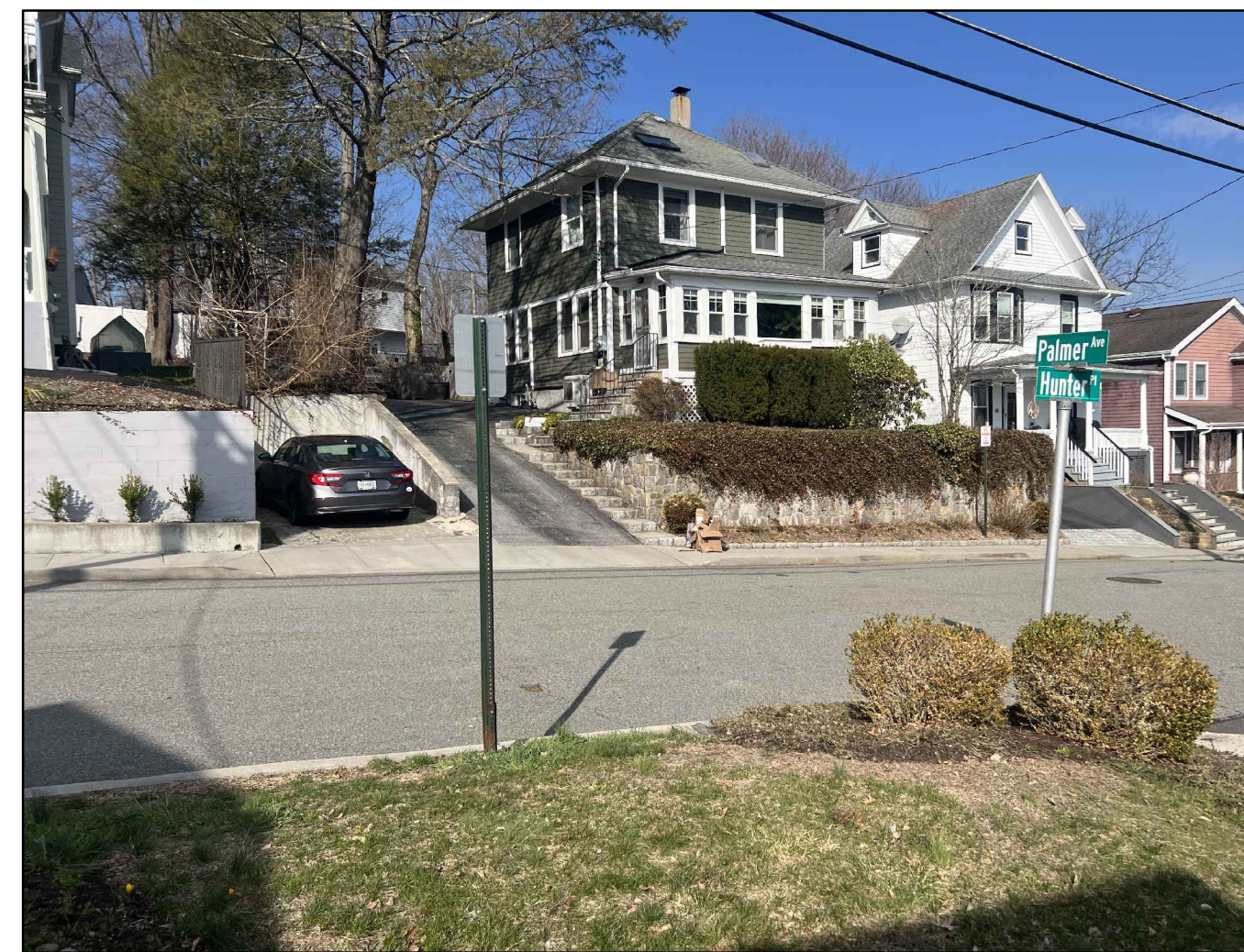
VIEW 5



VIEW 6



VIEW 7

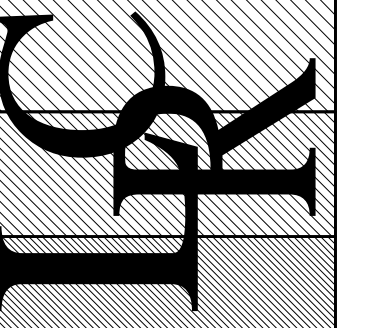


VIEW 8



VIEW 9

LEWIS C ROANE  
ARCHITECT  
3 WINDSOR ROAD  
CROTON-ON-HUDSON, NEW YORK  
TEL (914) 330-1802  
LEWISROANEDESIGN@GMAIL.COM



REVISION	DATE	ISSUE
	11/15/2025	ISSUED FOR BID & FILING
	3/22/2026	REVISED PER TOWN COMMENT

PROJECT NAME  
PROPOSED RENOVATION TO THE:  
CROCKER RESIDENCE  
39 PALMER AVENUE  
CROTON ON HUDSON NY 10520

DRAWING TITLE  
ZONING VIEWS  
OF HOUSE

DATE 3/30/2026

DRAWING NUMBER

V-1

IT IS A VIOLATION FOR ANY PERSON UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.