



HIGHLANDS ARCHITECTURE pllc

3212 ROUTE 9
COLD SPRING, NY 10516
(845) 809-5976 office
highlandsarchitecture.com

Letter of Transmittal

Prepared: 30 April 2026

Project: New ADU and Modifications for:
Fernandez Residence
129 Scenic Road West, Croton-on-Hudson, NY

Attn: Ms. Karen Stapleton, Secretary
Planning Board, Village of Croton-on-Hudson, NY
Stanley H. Kellerhouse Municipal Building
1 Van Wyck Street, Croton-on-Hudson, NY 10520

Re: Drawings and Documents for Planning Board Review

The following materials to be delivered to your office by Diane Sinicrope:

Date	Copies	Number	Content and Remarks
	9		Planning Board and Village Board Application
4/27/2026	9		Application for Accessory Apartment Permit
4/27/2026	9	SP-1 D-0 A-0 A-1	Site/Plot Plan & Zoning Data Existing/Demo Drawings Basement Plan with ADU Accessory Bldg Plans Upper Level Plans & Elevs <ul style="list-style-type: none"> • Drawings by Highlands Architecture • Drawings are 24" x 36", bound • One (1) drawing set is signed and sealed
4/28/2026	9	1 2	ADU Site Plan ADU Detail/Notes <ul style="list-style-type: none"> • Drawings by Ralph G. Mastromonaco, PE, PC • Drawings are 30" x 42" • One (1) drawing set is signed and sealed

	for Design Review		for Design Approval		
	for Bldg Permit Filing	X	for Planning Bd Review		for Referral to ZBA
	As Requested		for Budget Estimate		

Dear Ms. Stapleton and Members of the Planning Board and Village Board,

Enclosed for your review are documents regarding proposed Accessory Dwelling Unit (ADU), Building Envelope modification, and Wetlands Review for the Fernandez Residence at 129 Scenic Road West, Croton-on-Hudson.

Approval is being sought to add an ADU to the existing residence. The requested ADU will be for Ms. Fernandez’s parents, Mr. and Ms. Sinicrope. To create the ADU we propose using about 500 square feet of existing finished basement plus an addition of about 250 square feet. The addition and entrance to the ADU will be at the back of the residence and will not affect the front building elevation.

Approval is being sought for a Building Envelope modification for the proposed addition along with a retaining wall structure around an egress window will exceed the building limit area of the property. Please note that this property is within the Baltic Estates subdivision and subject to the conditions approved by the Planning Board in 1995. (This neighborhood is also within the RA-25 Zone.)

We hope to see you at the Planning Board meeting scheduled for May 26, 2026.

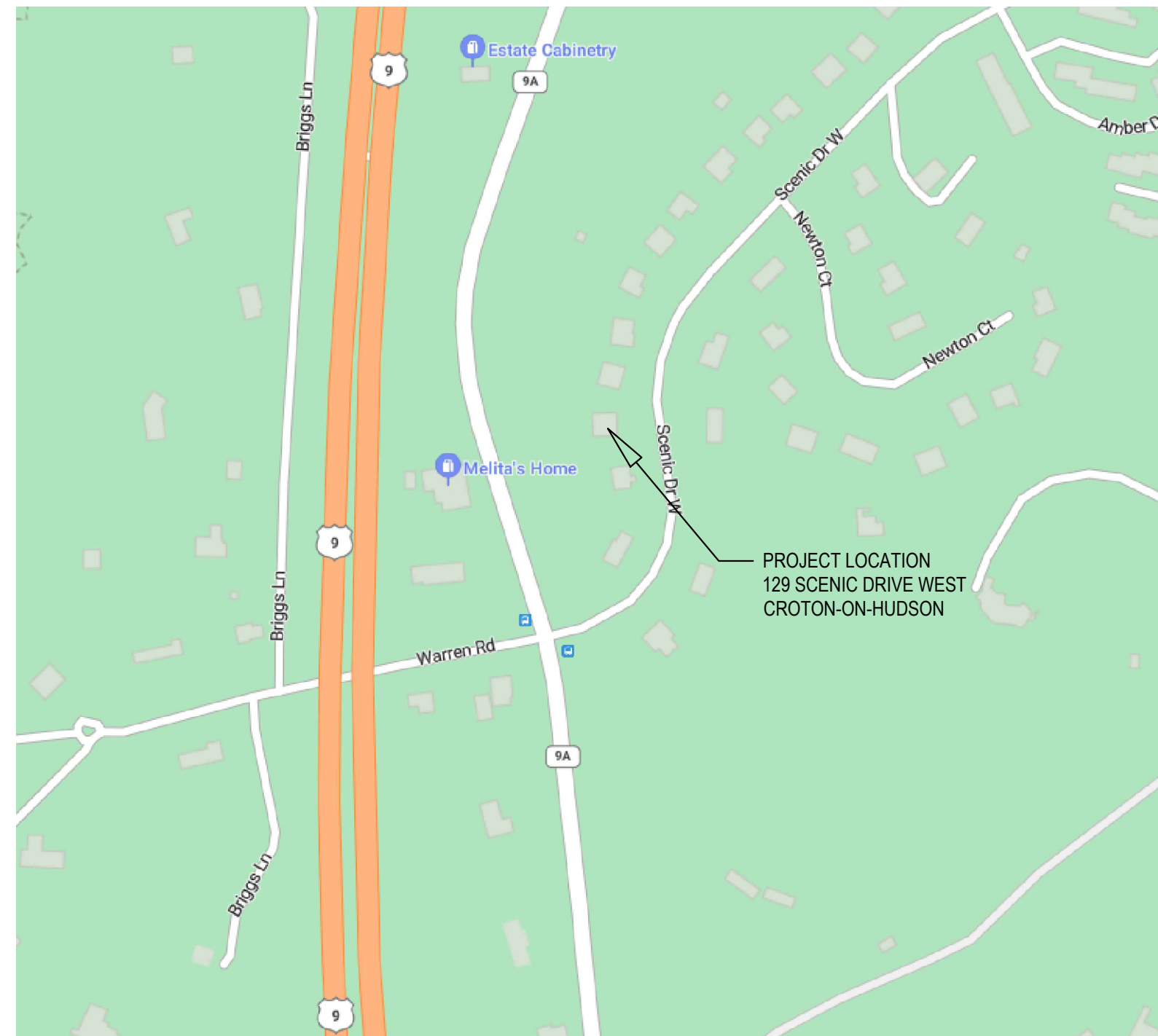
Electronic pdf files of these documents also be emailed to engineering@crotononhudson-ny.gov, and also are available upon request.

Please contact us with any questions, comments, or concerns.

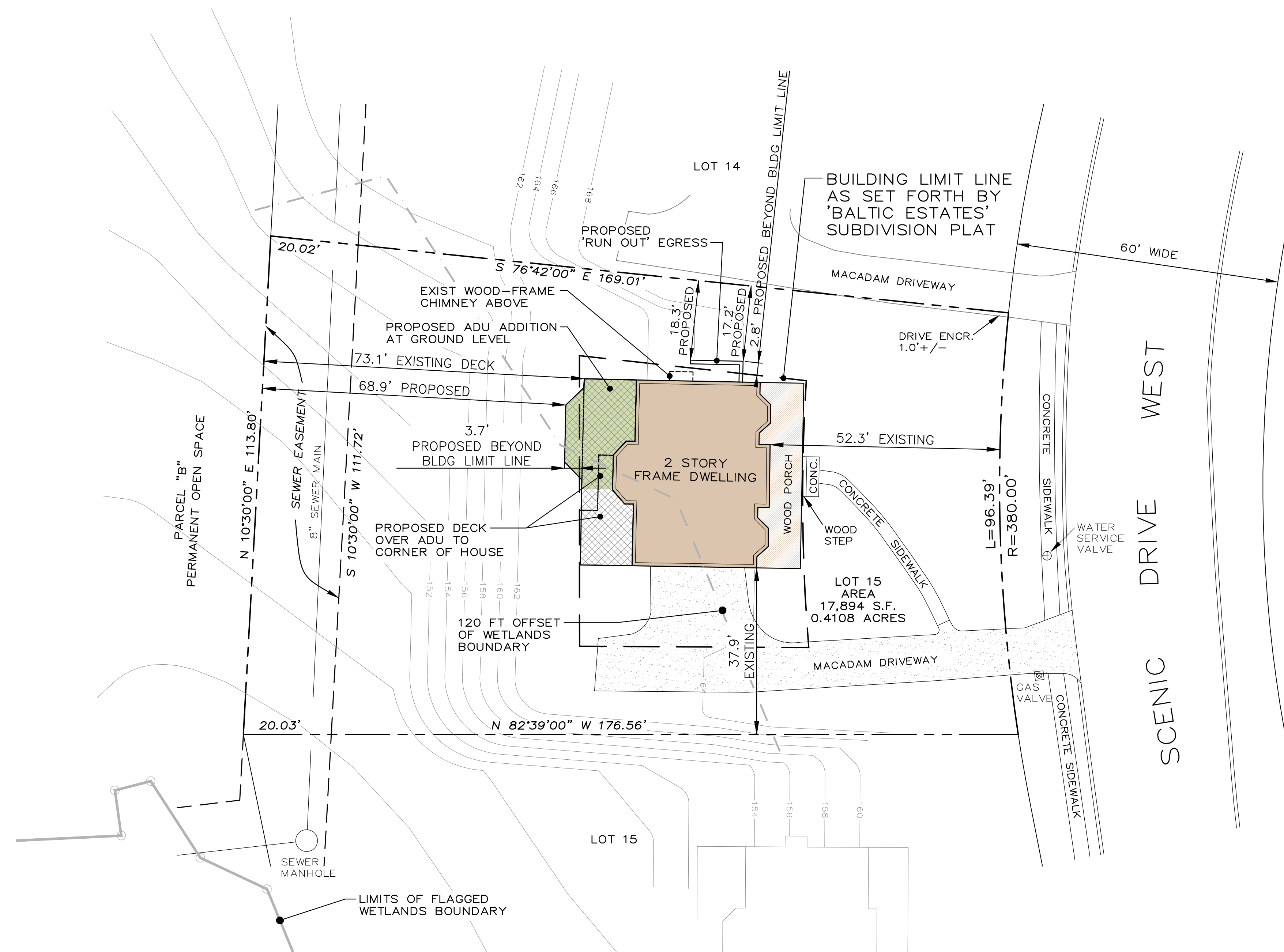
Best regards,



Justin R. Kacur, Architect
Highlands Architecture pllc



2 LOCATION PLAN
SP-1 NOT TO SCALE



1 SITE / PLOT PLAN
SP-1 1/16" = 1' - 0"



ZONING DATA TABLE												
MUNICIPALITY: VILLAGE OF CROTON-ON-HUDSON TAX ID: 67.10-2.4.15 ZONING DISTRICT: RA-25				PROJECT ADDRESS: 129 SCENIC DRIVE WEST, CROTON-ON-HUDSON, NY AREA = 0.4108 ACRES (17,894 SQUARE FEET)								
	LOT SIZE	BUILDING COVERAGE %	LOT WIDTH	LOT DEPTH	FRONT YARD	SIDE YARD	REAR YARD	RETAINING WALL SETBACK	HABITABLE FLOOR AREA	HABITABLE MAIN FLOOR AREA	FLOOR AREA RATIO	STORIES / HEIGHT
RA-25 REQUIREMENT:	25,000 SF (MINIMUM)	25% (MAXIMUM)	125 FT (MINIMUM)	150 FT (MINIMUM)	40 FT (MINIMUM)	20 FT MINIMUM / 50 FT TOTAL	30 FT (MINIMUM)	5 FT MINIMUM AT SIDE YARD	1,200 SQ FT (MINIMUM) PER DU	880 SQ FT (MINIMUM)	0.20 (MAXIMUM)	2.5 STORY (MAXIMUM) / 35 FT (MAXIMUM)
SUBDIVISION REQUIREMENT:			**	**	**	**	**	**	**	**	**	**
EXISTING:	17,894 SF	10.79 %	96.1 FT	168.9 FT	52.3 FT	20.8 FT / > 58 FT	73.1 FT	NA	2,849 SQ FT	1,228 SQ FT	0.16	2 STORY / ±25.8 FT
PROPOSED:	NO CHANGE	12.30 %	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	68.9 FT ALSO SEE NOTE 2	17.2 FT ALSO SEE NOTE 3	3,131 SQ FT	NO CHANGE	0.18	NO CHANGE / NO CHANGE

NOTES AND SYMBOLS LEGEND

1. THE ADDITION FOR THE PROPOSED ACCESSORY DWELLING UNIT (ADU) AND ASSOCIATED ROOF DECK AND EGRESS RUN OUT PROJECT BEYOND BALTIC ESTATES' BUILDING LIMITS. THE PROPOSED ADDITION IS COMPLIANT WITH RA-25 ZONING SETBACKS AND SECTION 230-40 SUPPLEMENTARY REGULATIONS APPLICABLE TO RESIDENCE DISTRICTS.

2. PROPOSED ADU EXCEEDS SUBDIVISION'S BUILDING AREA LIMITS BY 3.7 FEET

3. PROPOSED RETAINING WALL FOR EGRESS 'RUN OUT' EXCEEDS SUBDIVISION'S BUILDING AREA LIMITS BY 2.8 FEET

** DOUBLE ASTERISKS INDICATES REQUIREMENTS ARE AS DESCRIBED ON THE FINAL SUBDIVISION PLAT, BALTIC ESTATES, SCENIC DRIVE WEST, VILLAGE OF CROTON-ON-HUDSON, TOWN OF CORTLANDT, WESTCHESTER COUNTY, NEW YORK, WESTCHESTER COUNTY MAP INDEX - SHEET 165, BLOCK 9847, FILED JULY 31, 1996.

ACCESSORY DWELLING UNIT (ADU) DATA TABLE				
THE AREA OF AN ACCESSORY DWELLING UNIT (ADU) MAY NOT EXCEED 800 SQUARE FEET OR 40% OF HABITABLE SPACE THE PRINCIPAL RESIDENCE WHICHEVER IS LESS.				
EXISTING HABITABLE FLOOR AREA OF BUILDING	40% OF EXISTING HABITABLE FLOOR AREA OF BUILDING	PROPOSED HABITABLE AREA OF ADU	PROPOSED TOTAL HABITABLE FLOOR AREA OF BUILDING	PROPOSED INCREASE IN HABITABLE FLOOR AREA OF BUILDING
2,849 SQ FT	1,140 SQ FT	763 SQ FT	3,131 SQ FT	282 SQ FT

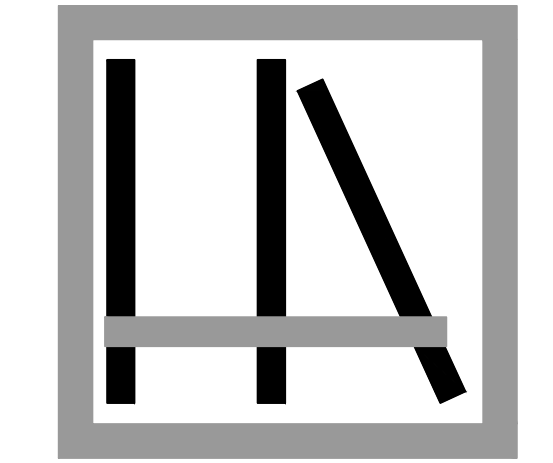
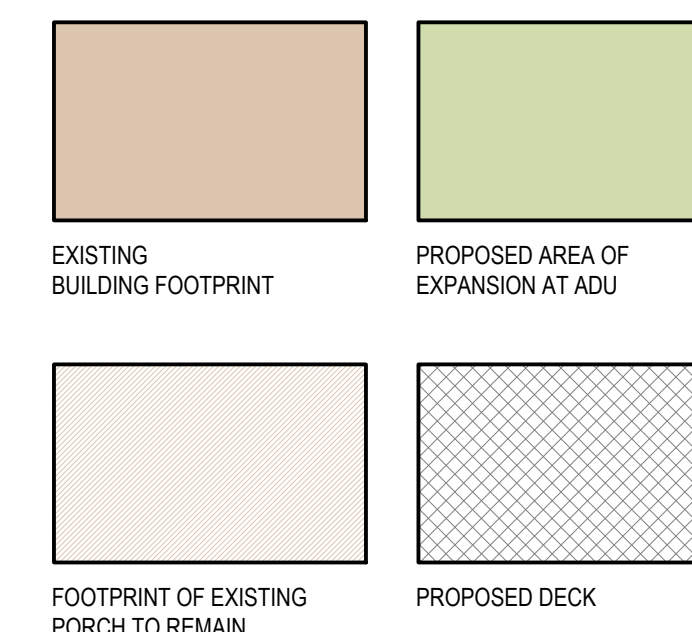
PLOT PLAN MAP INFORMATION OBTAINED FROM SURVEY COMPLETED BY:
RALPH G. MASTROMONACO, PE PC, CONSULTING ENGINEERS, 13 DOVE CT, CROTON-ON-HUDSON, NY

PLOT PLAN UPDATE BY:
JAMES A. DILLIN, PLS, PROFESSIONAL LAND SURVEYOR, GOSHEN, NY

SUBDIVISION REFERENCE: BEING LOT No. 15 AS SHOWN ON A MAP ENTITLED "SUBDIVISION PLAT, BALTIC ESTATES, SCENIC DRIVE WEST", FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE, DIVISION OF LAND RECORDS, ON JULY 31, 1996 AS MAP No. 25772.

SECTION 67.10 BLOCK 2 LOT 4.15

SITE/PLOT PLAN LEGEND:



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NEW ADU & MODIFICATIONS FOR:
FERNANDEZ RESIDENCE
129 SCENIC DRIVE WEST
CROTON-ON-HUDSON, NY 10520

PLANNING BOARD REVIEW SET
NOT FOR CONSTRUCTION

SITE / PLOT PLAN & ZONING DATA

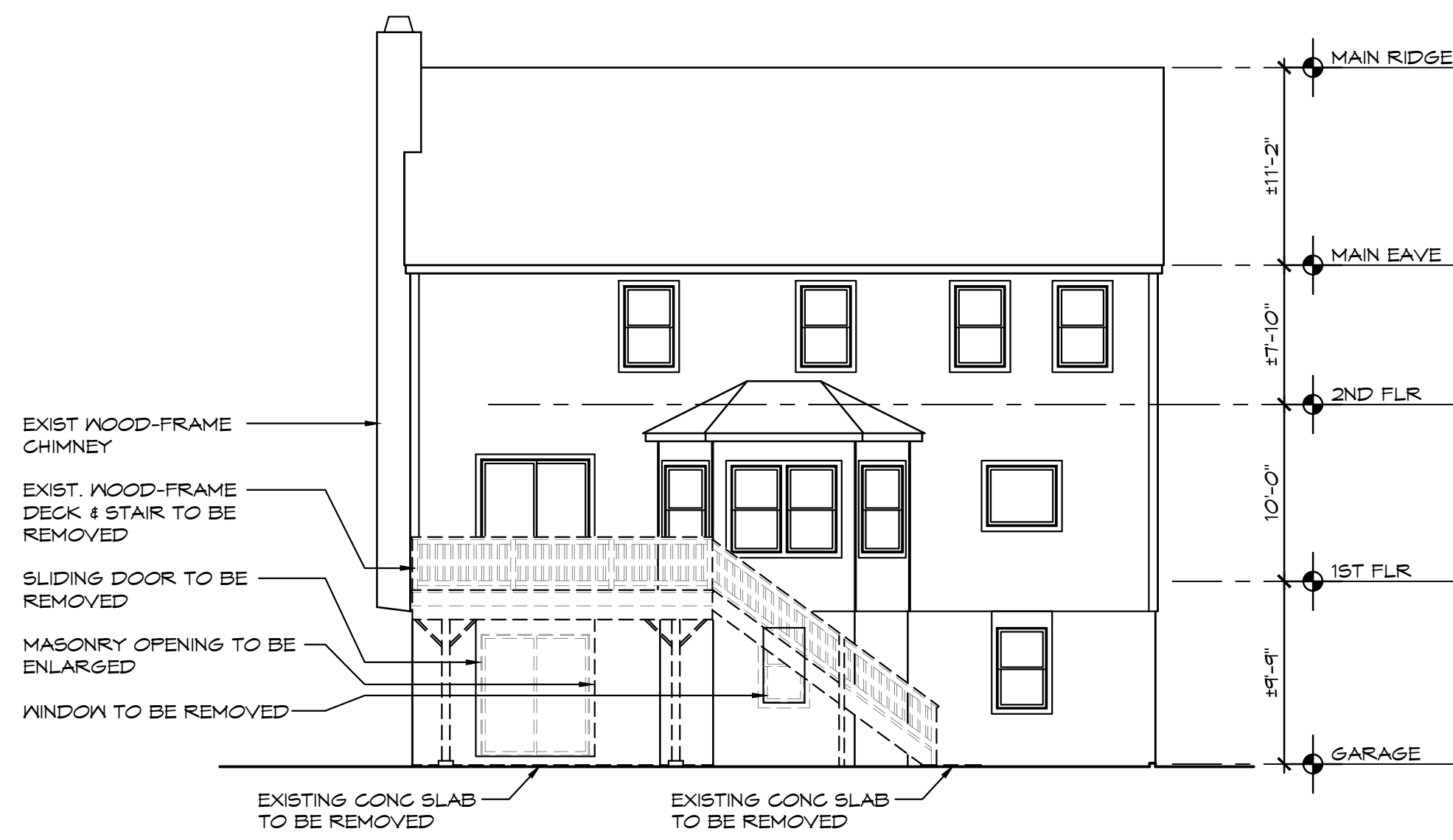
SP-1

SHEET 1 OF 4

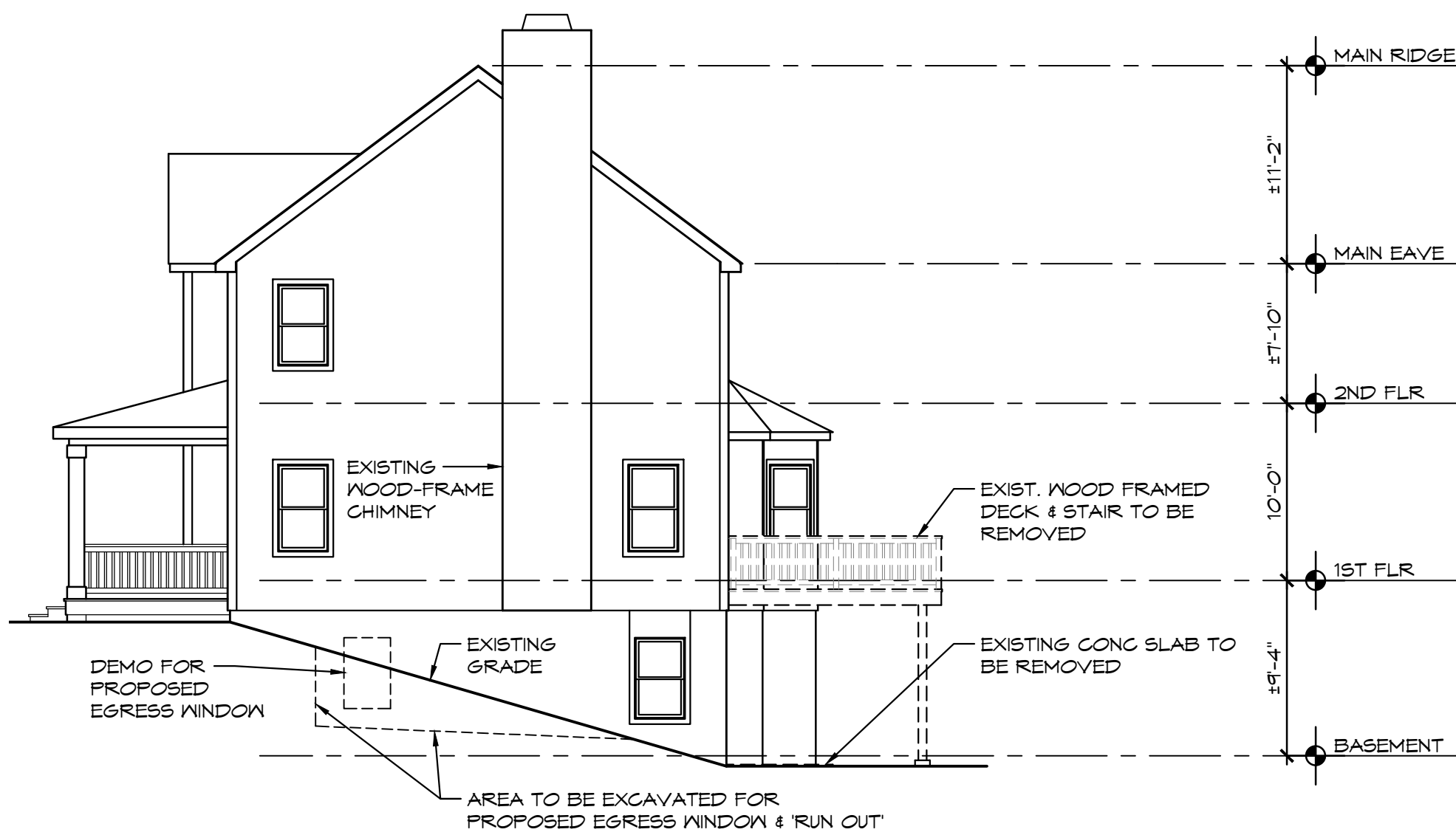
DATE: 27 APR 2026
REVISIONS:
REVISIONS:
REVISIONS:
DRAWN BY: EN
PROJECT NUMBER: 2509



3 SOUTH ELEVATION WITH DEMOLITION
1/8" = 1' - 0"



4 WEST ELEVATION WITH DEMOLITION
1/8" = 1' - 0"



5 NORTH ELEVATION WITH DEMOLITION
1/8" = 1' - 0"

GENERAL NOTES:

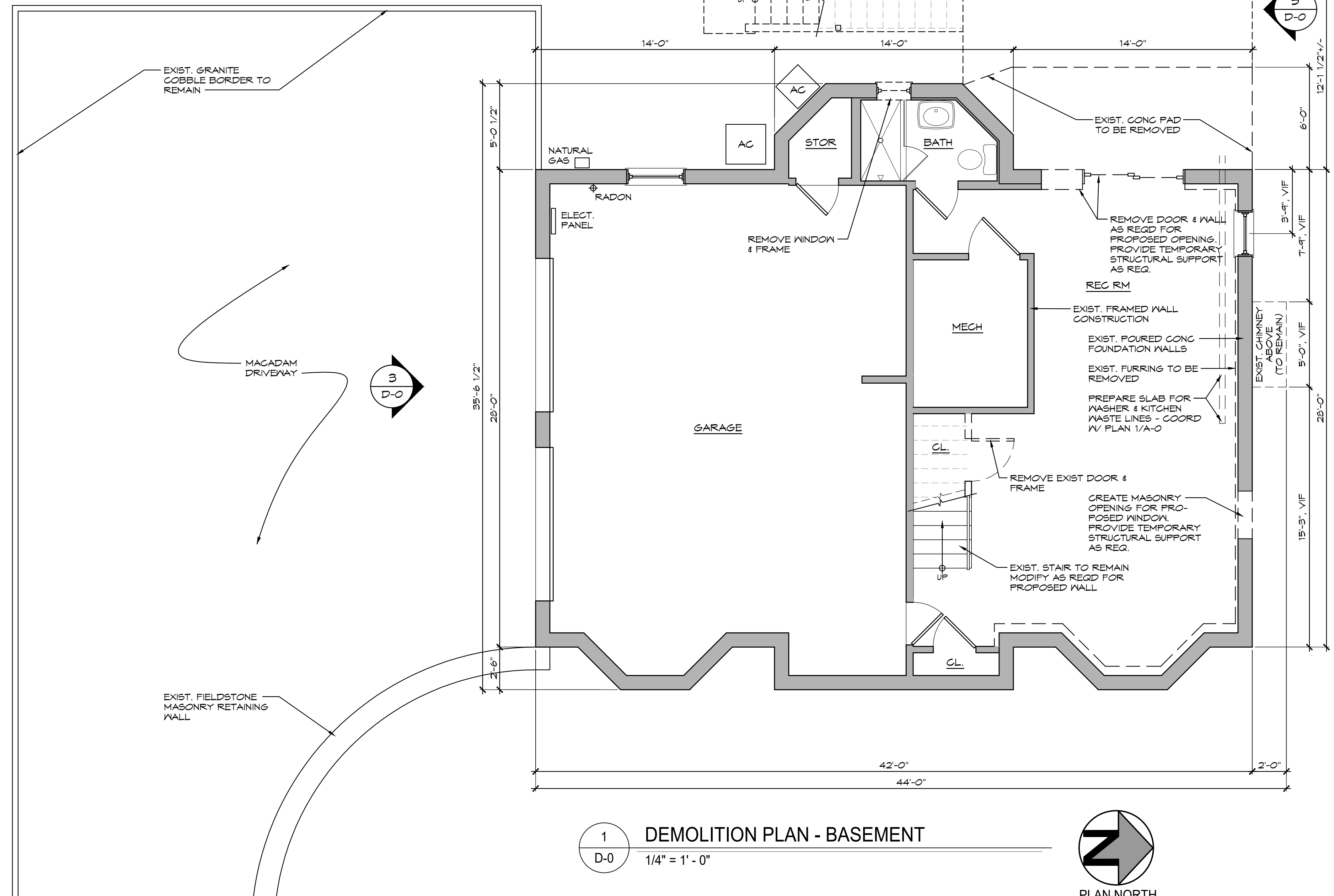
1. ALL WORK SHALL CONFORM TO THE 2025 NEW YORK STATE RESIDENTIAL BUILDING CODE.
2. THE GENERAL CONTRACTOR AND HIS/HER SUB-CONTRACTOR(S) SHALL CHECK AND VERIFY ALL EXISTING CONDITIONS BEFORE STARTING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE START OF WORK.
3. THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED DEPARTMENT OF BUILDING PERMITS PRIOR TO THE START OF WORK. OWNER SHALL REIMBURSE THE CONTRACTOR FOR ALL REQUIRED BUILDING, PLANNING, ZONING, HEALTH AND OTHER ASSOCIATED AGENCIES FILING AND FILING PERMITTING FEES. PERMITS MUST BE POSTED AND REMAIN VISIBLE AT THE JOBSITE AT ALL TIMES DURING CONSTRUCTION.
4. THE GENERAL CONTRACTOR AND HIS/HER SUB-CONTRACTOR(S) SHALL REVIEW ALL CONSTRUCTION DOCUMENTS AND SHALL COORDINATE THEIR WORK WITH THE WORK OF OTHER TRADES.
5. THE GENERAL CONTRACTOR SHALL COORDINATE HIS/HER WORK WITH THAT OF OTHER SUB-CONTRACTORS AND SUPPLIERS RETAINED BY THE OWNER.
6. ALL TRADES SHALL COOPERATE TO ASSURE THE STEADY PROGRESS OF ALL WORK UNDER THIS CONTRACT.
7. THE CHARACTER AND SCOPE OF WORK ARE ILLUSTRATED BY THE DRAWINGS. TO INTERPRET AND EXPLAIN THE DRAWINGS, OTHER INFORMATION DEEMED NECESSARY BY HIGHLANDS ARCHITECTURE WILL BE FURNISHED TO THE CONTRACTOR WHEN AND AS REQUIRED BY THE WORK, AND IT IS TO BE UNDERSTOOD THAT THE SAID ADDITIONAL DRAWINGS ARE TO BE OF EQUAL FORCE WITH THE DRAWINGS AND SHALL BE CONSIDERED AS FORMING PART OF THESE NOTES TO WHICH THEY REFER.
8. CONTRACTOR SHALL NOT OBSTRUCT ACCESS TO ROADWAYS AT ANY TIME.
9. ALL LICENSED TRADES ARE TO CONDUCT THEIR WORK IN CONFORMANCE WITH GOVERNING BODIES HAVING JURISDICTION OVER THE SITE.
10. PROJECT/SITE ACCESS SHALL BE PROVIDED TO ARCHITECT AT ALL TIMES THROUGHOUT THE COURSE AND DURATION OF CONSTRUCTION (MONDAY - SUNDAY 7AM - 7 PM) ACCESS TIME-FRAME, TYPICAL.

DEMOLITION NOTES:

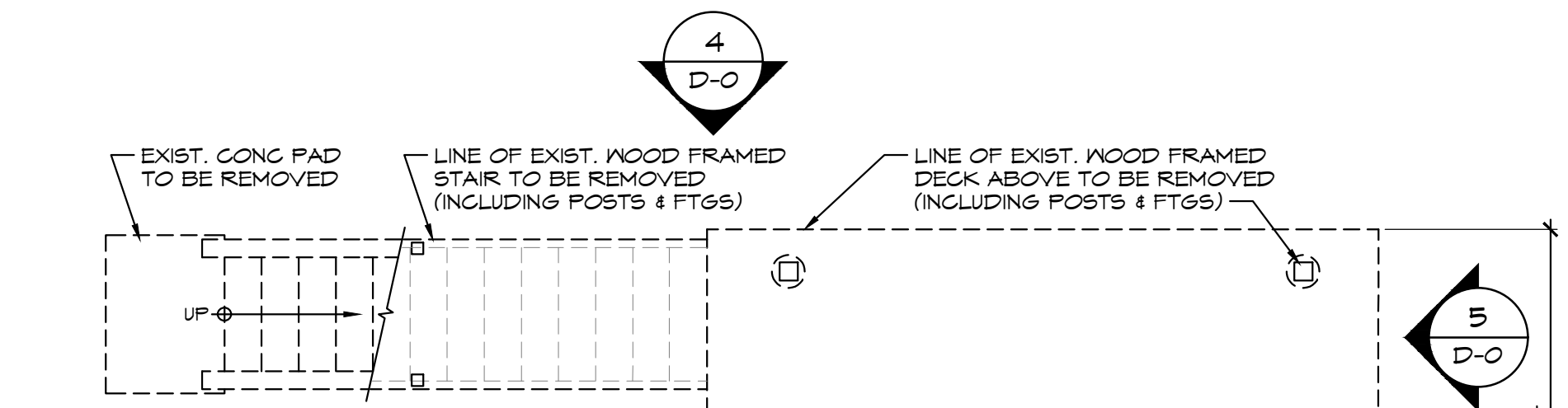
1. PROVIDE TEMPORARY SUPPORT AS REQUIRED AT ALL REMOVALS. SUPPORTS TO REMAIN IN PLACE UNTIL ALL NEW STRUCTURAL ELEMENTS ARE IN PLACE.
2. COORDINATE ALL REMOVALS WITH PROPOSED WORK AS DESCRIBED ELSEWHERE IN THESE DRAWINGS.
3. THE CONTRACTOR SHALL PROVIDE 24-HOUR NOTICE TO THE OWNER OF ANY ANTICIPATED UTILITY DISRUPTIONS.
4. PROTECT ALL EXISTING CONSTRUCTION SCHEDULED TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ANY DAMAGE CAUSED DURING DEMOLITION.
5. PATCH AND REPAIR ALL CONSTRUCTION SCHEDULED TO REMAIN ADJACENT TO DEMOLITION AS REQUIRED.
6. PREPARE EXISTING SURFACES TO RECEIVE NEW FINISHES AS REQUIRED.
7. ALL DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.

DEMOLITION LEGEND:

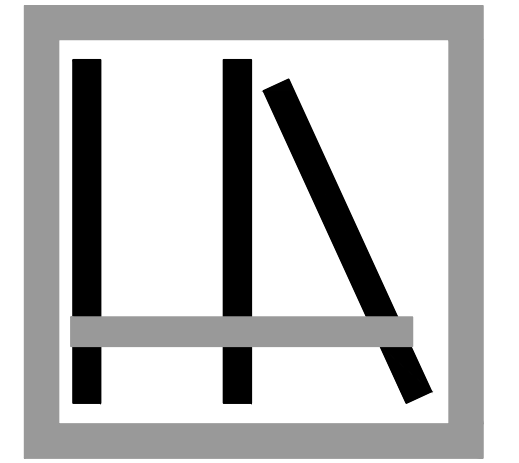
- CONTINUOUS LINES WITH SHADING DENOTE EXISTING CONSTRUCTION TO REMAIN.
- DASHED LINES DENOTE EXISTING CONSTRUCTION TO BE DEMOLISHED OR REMOVED.



1 DEMOLITION PLAN - BASEMENT
1/4" = 1' - 0"



2 DEMOLITION PLAN - PARTIAL MAIN FLOOR
1/4" = 1' - 0"



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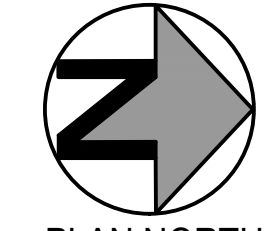
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CROTON-ON-HUDSON, NY 10520

PLANNING BOARD REVIEW SET
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EXISTING / DEMO DRAWINGS

D-0

SHEET 2 OF 4
DATE: 27 APRIL 2026
REVISIONS:
REVISIONS:
DRAWN BY: KP, EN
PROJECT NUMBER: 2509



PLAN NORTH

GENERAL CONSTRUCTION NOTES

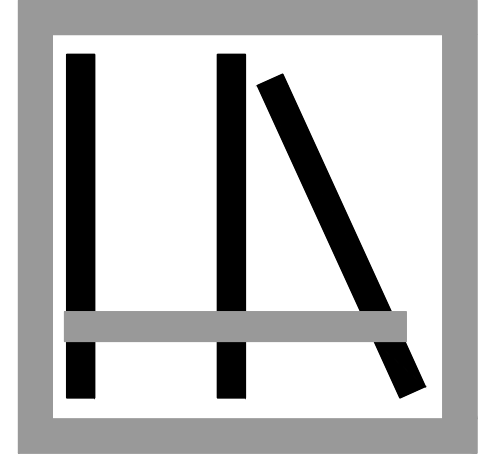
1. ALL DIMENSIONS ARE TO FACE OF FRAMING, U.O.N.
2. DOOR AND WINDOW LOCATION DIMENSIONS ARE TO UNIT CENTERLINE, U.O.N.
3. PROVIDE ALL BLOCKING AS REQUIRED BY NEW YORK STATE BUILDING CODE AND FOR INSTALLATION OF ACCESSORIES.
4. ALL BATHROOM PLUMBING FIXTURES AND PLUMBING TRIM SHALL BE SELECTED AND PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR.
5. ALL FINISH SAMPLES TO BE PROVIDED BY CONTRACTOR AND SHALL BE APPROVED BY THE ARCHITECT TYPICAL.
6. SEE SHEET 'E' SHEETS FOR ELECTRICAL AND LIGHTING LAYOUTS AND NOTES. COORDINATE FRAMING AS REQUIRED.
7. ALSO SEE GENERAL NOTES ON SHEET T-1.
8. MECHANICAL SYSTEM MODIFICATIONS TO BE DESIGNED BY OTHERS.
9. ELECTRICAL SYSTEM MODIFICATIONS TO BE DESIGNED BY OTHERS.

MECHANICAL AND PLUMBING NOTES

1. MECHANICAL DESIGN-BUILD BY OTHERS.
2. MECHANICAL DESIGN: BY OTHERS, SEE SHEET T-3 FOR DESIGN AND PERFORMANCE CRITERIA.
3. PLUMBING SYSTEM DESIGN BY OTHERS.
4. PLUMBING SUPPLY LINES SHALL BE COPPER.
5. PLUMBING VENTS SHALL BE COMBINED TO REDUCE THE NUMBER OF THRU-ROOF PENETRATIONS.

LEGEND:

- CONTINUOUS LINES WITH SHADING DENOTE PROPOSED CONSTRUCTION
- CONTINUOUS LINES WITHOUT SHADING DENOTE EXISTING CONSTRUCTION
- DASHED LINES DENOTE CONSTRUCTION ABOVE
- EXISTING HABITABLE AREA TO BE INCLUDED IN PROPOSED ADU
- PROPOSED HABITABLE AREA TO BE INCLUDED IN ADU
- PROPOSED ENTRANCE AREA FOR ADU. PAVERS OR CONC FINISH



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CROTON-ON-HUDSON, NY 10520

PLANNING BOARD REVIEW SET
NOT FOR CONSTRUCTION

BASEMENT PLAN WITH ADU

A-0

SHEET 3 OF 4

DATE: 27 APRIL 2026

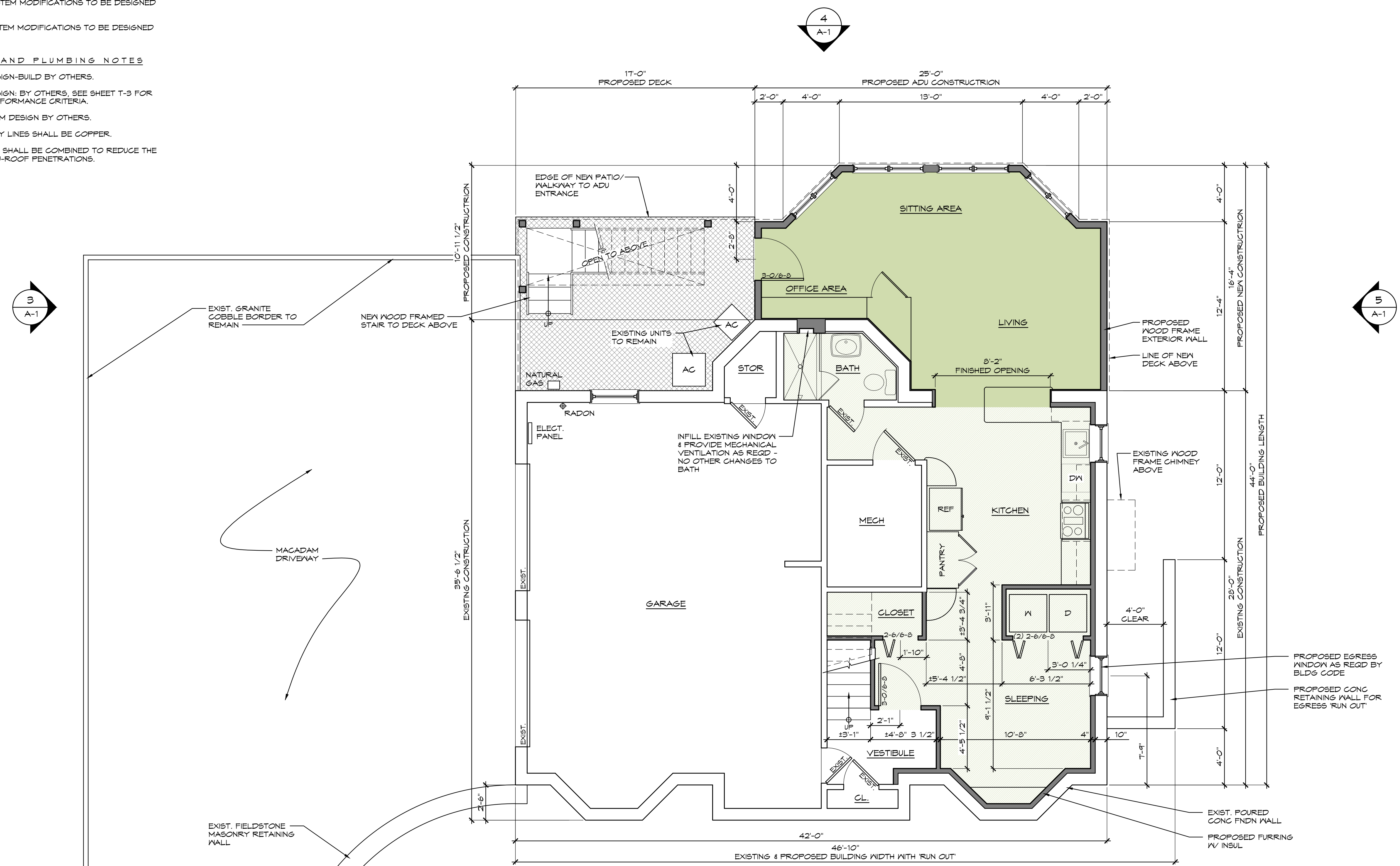
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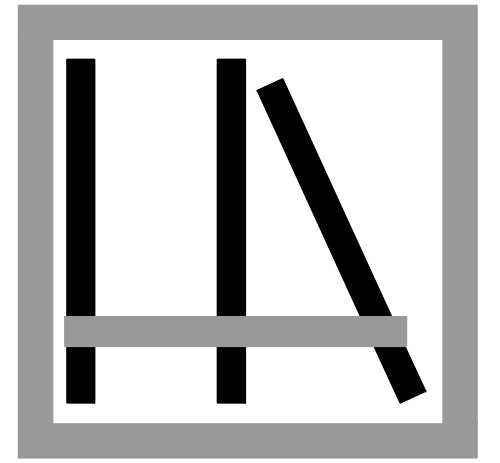
DRAWN BY: KP, EN

PROJECT NUMBER: 2509



1 BASEMENT PLAN WITH ADU (ACCESSORY DWELLING UNIT)
A-0 1/4" = 1' - 0"





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**UPPER LEVEL
PLANS AND ELEVATIONS**

A-1

SHEET 4 OF 4

DATE: 27 APRIL 2026

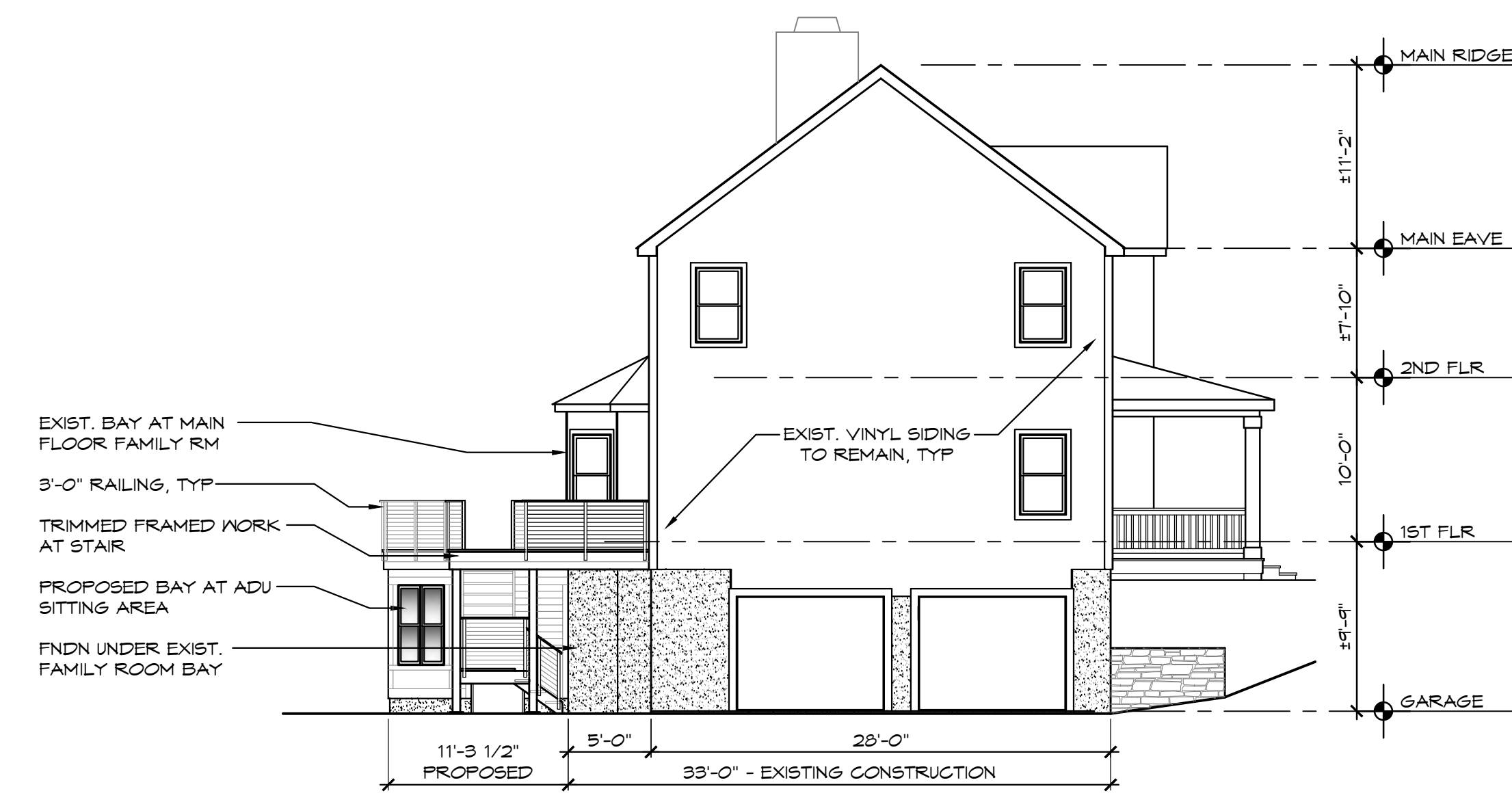
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DRAWN BY: KP, EN

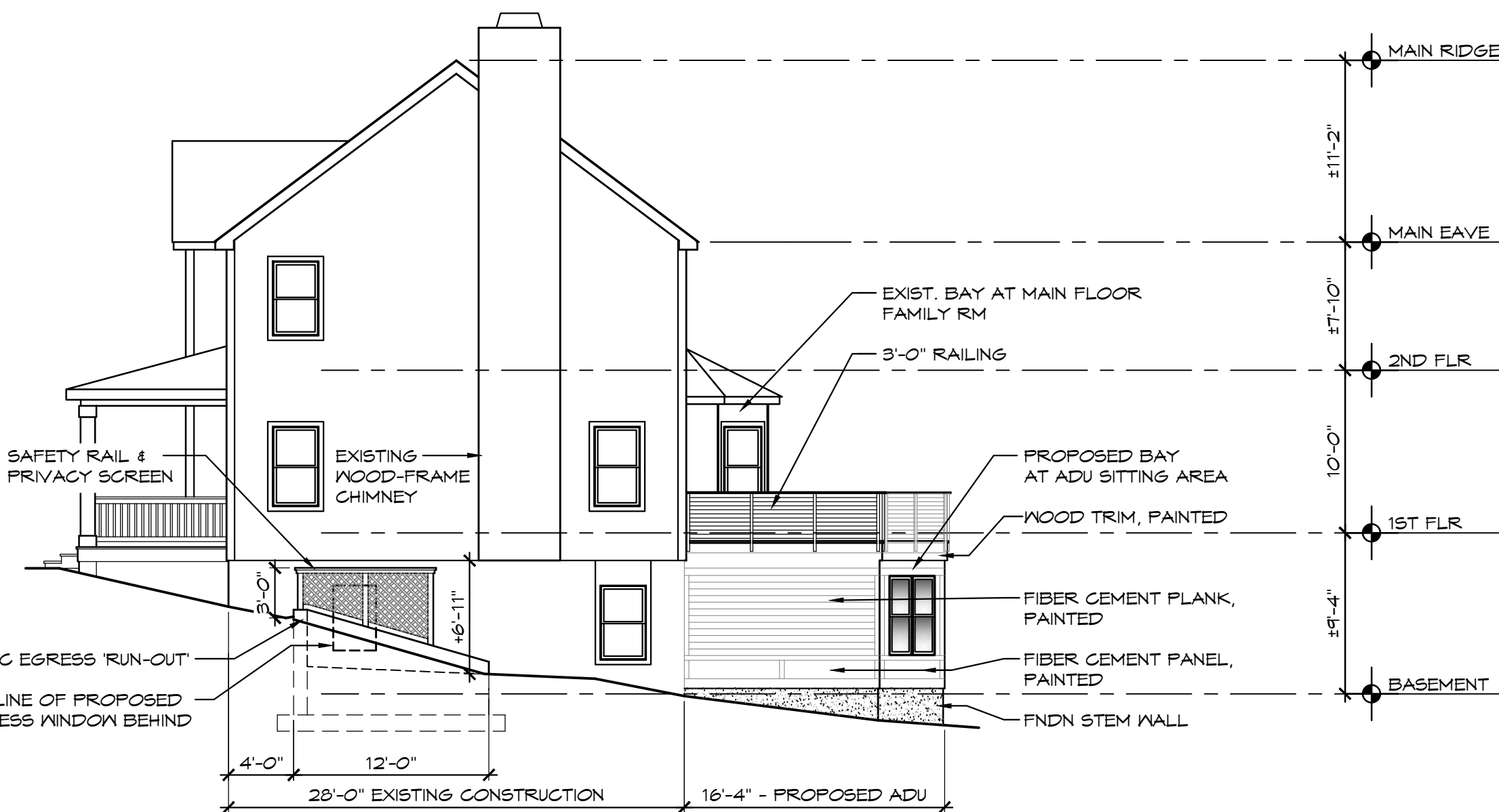
PROJECT NUMBER: 2509



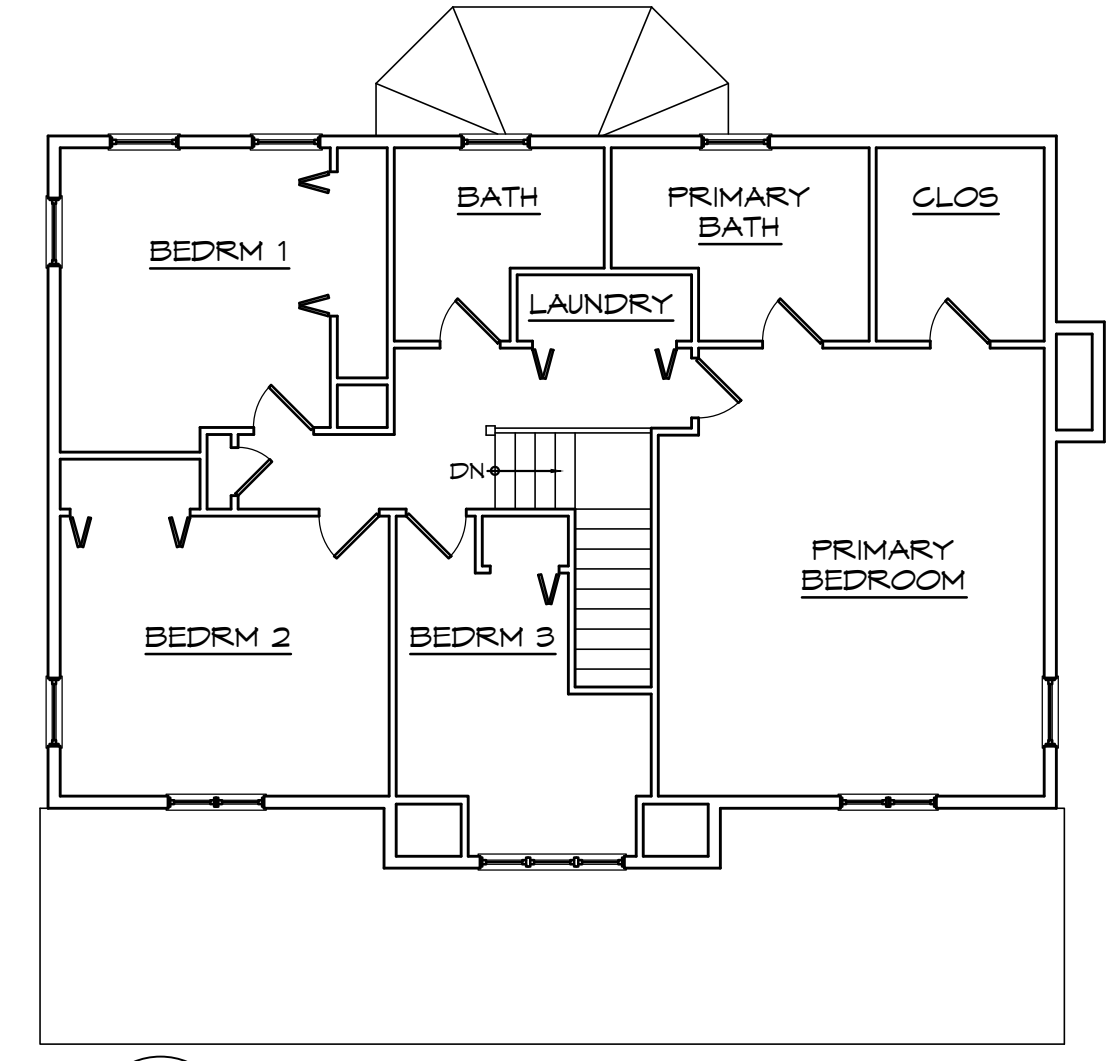
3 SOUTH ELEVATION WITH PROPOSED DECK
A-1 1/8" = 1' - 0"



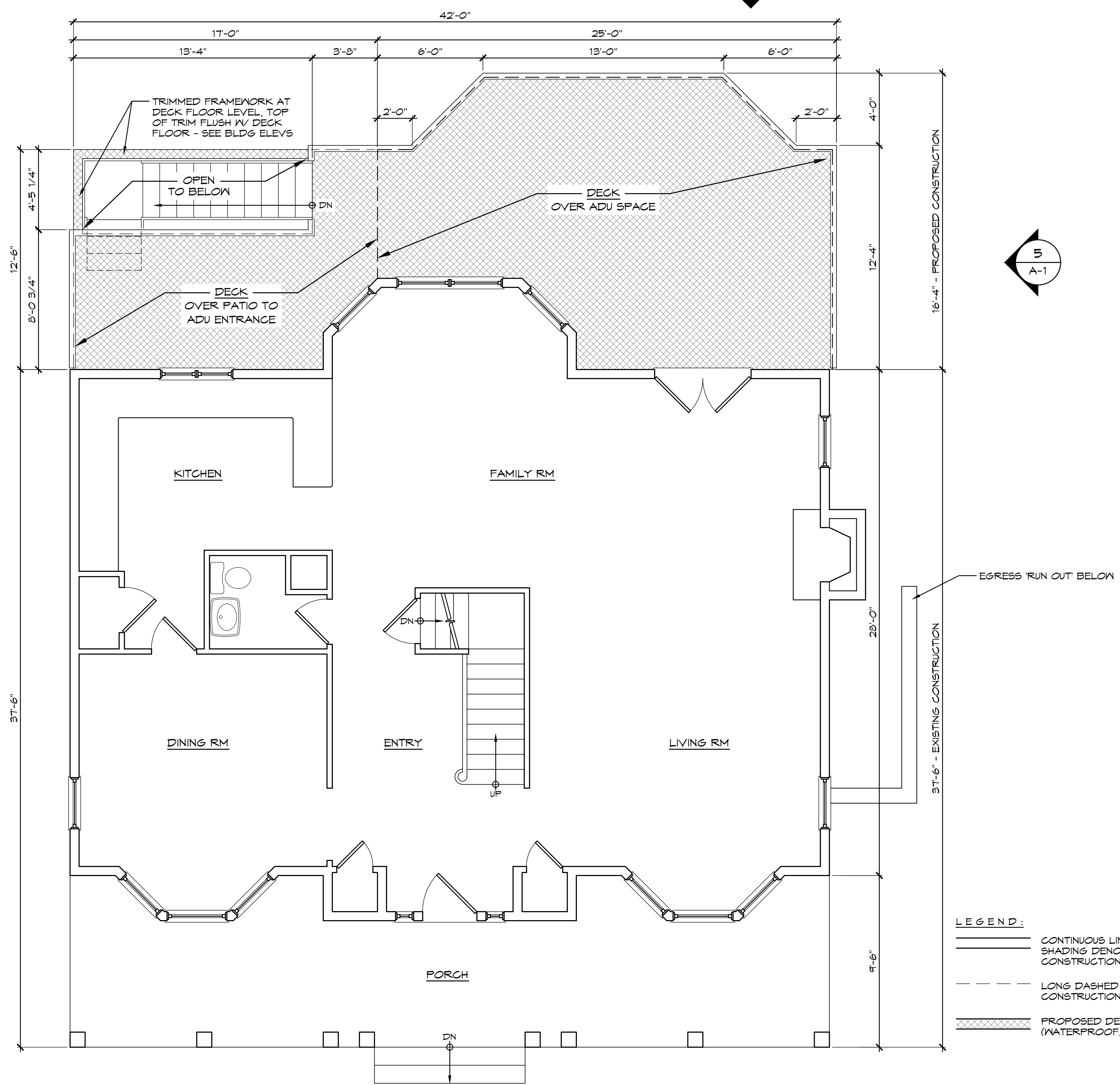
4 WEST ELEVATION WITH PROPOSED ADU & DECK
A-1 1/8" = 1' - 0"



5 NORTH ELEVATION WITH PROPOSED ADU & DECK
A-1 1/8" = 1' - 0"

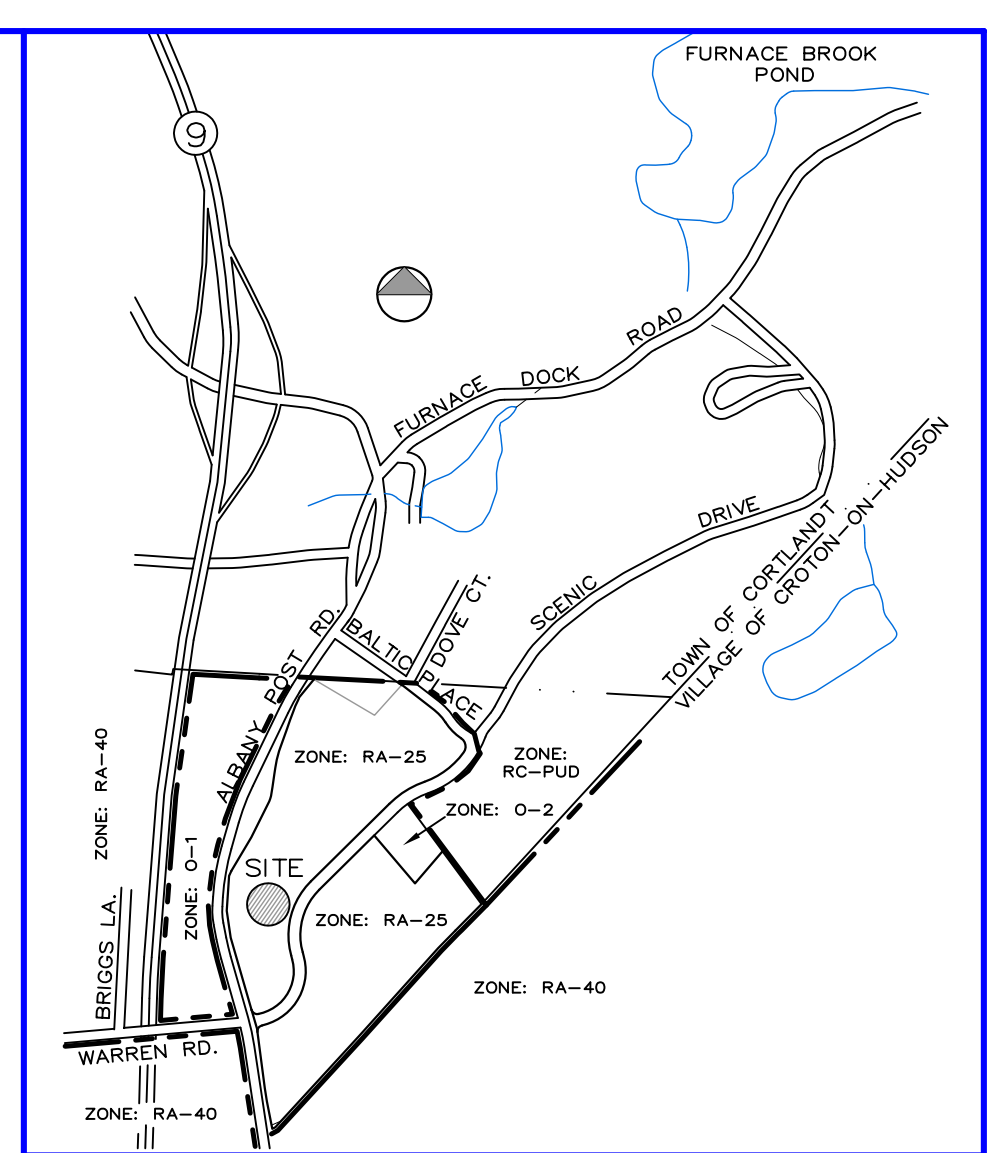
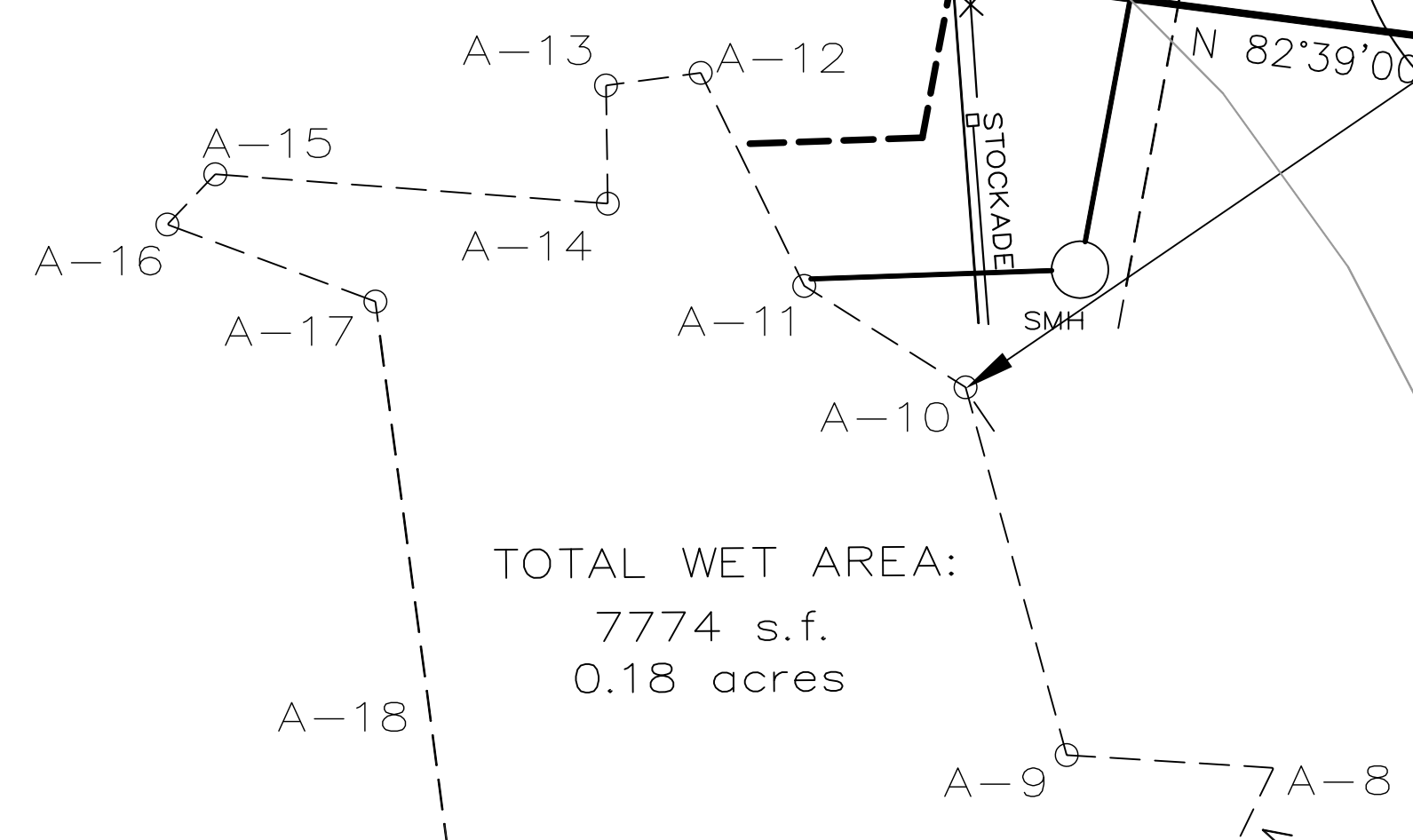
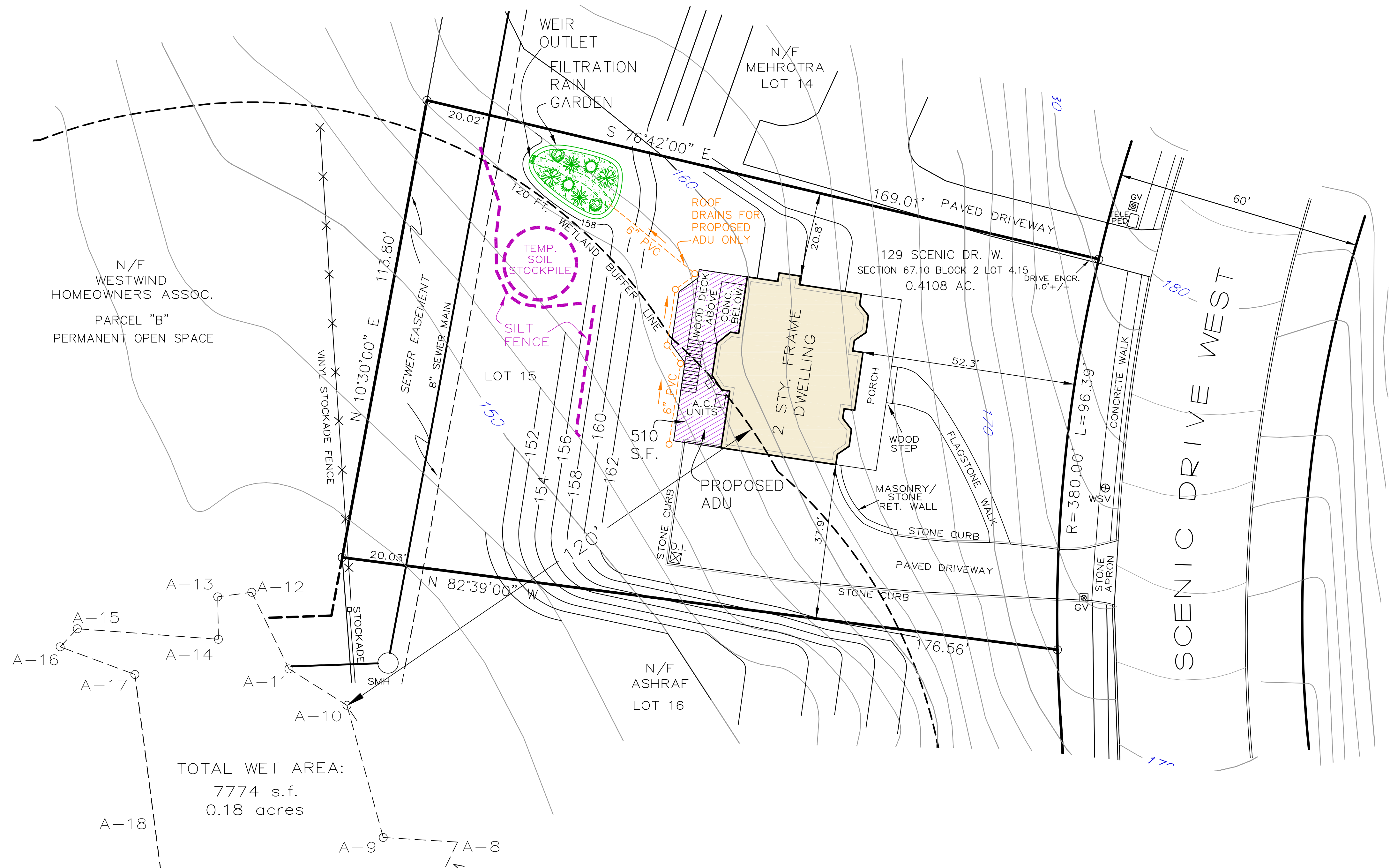


2 UPPER FLOOR - NO CHANGE
A-1 1/8" = 1' - 0"

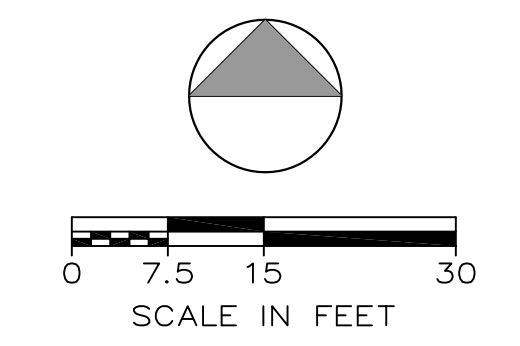


1 MAIN FLOOR PLAN WITH PROPOSED REAR DECK
A-1 1/4" = 1' - 0"

LEGEND:
CONTINUOUS LINES WITHOUT SHADING DENOTE EXISTING CONSTRUCTION
LONG DASHED LINES DENOTE CONSTRUCTION BELOW
PROPOSED DECK AREA (WATERPROOF)



LOCATION MAP
N.T.S.



RALPH G. MASTROMONACO, P.E., P.C.
Consulting Engineers
13 Dove Court, Croton-on-Hudson, New York 10520
(914) 271-4762 (914) 271-2820 Fax

ADU SITE PLAN
129 SCENIC DRIVE WEST
VILLAGE OF CROTON-ON-HUDSON
WESTCHESTER COUNTY, NY
APRIL 28, 2026
SHEET 1 OF 1 SHEETS

Unauthorized alterations or additions to this drawing is a violation of Section 7209 (2) of the New York State Education Law.

RAIN GARDEN DESIGN:
(WQv ABOVE FILTER MEDIA)

IMPERVIOUS AREA TO BE CAPTURED: 510 S.F.
CAPTURE 2.0" (0.16') OF RAINFALL
STORAGE VOL. REQUIRED: 82 C.F.
AREA PROVIDED: 229 S.F.
AVERAGE DEPTH PROVIDED: 0.5 FT.
VOLUME PROVIDED: 115 C.F.

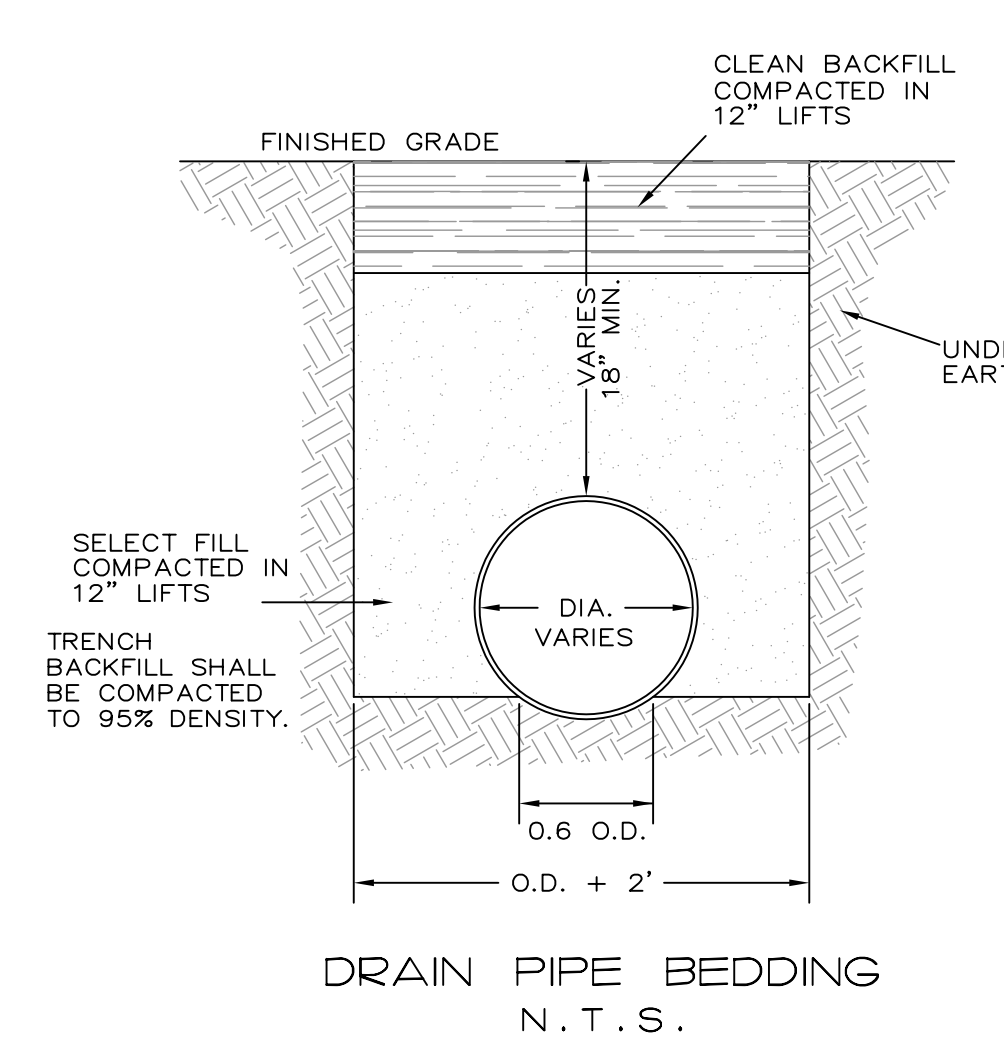
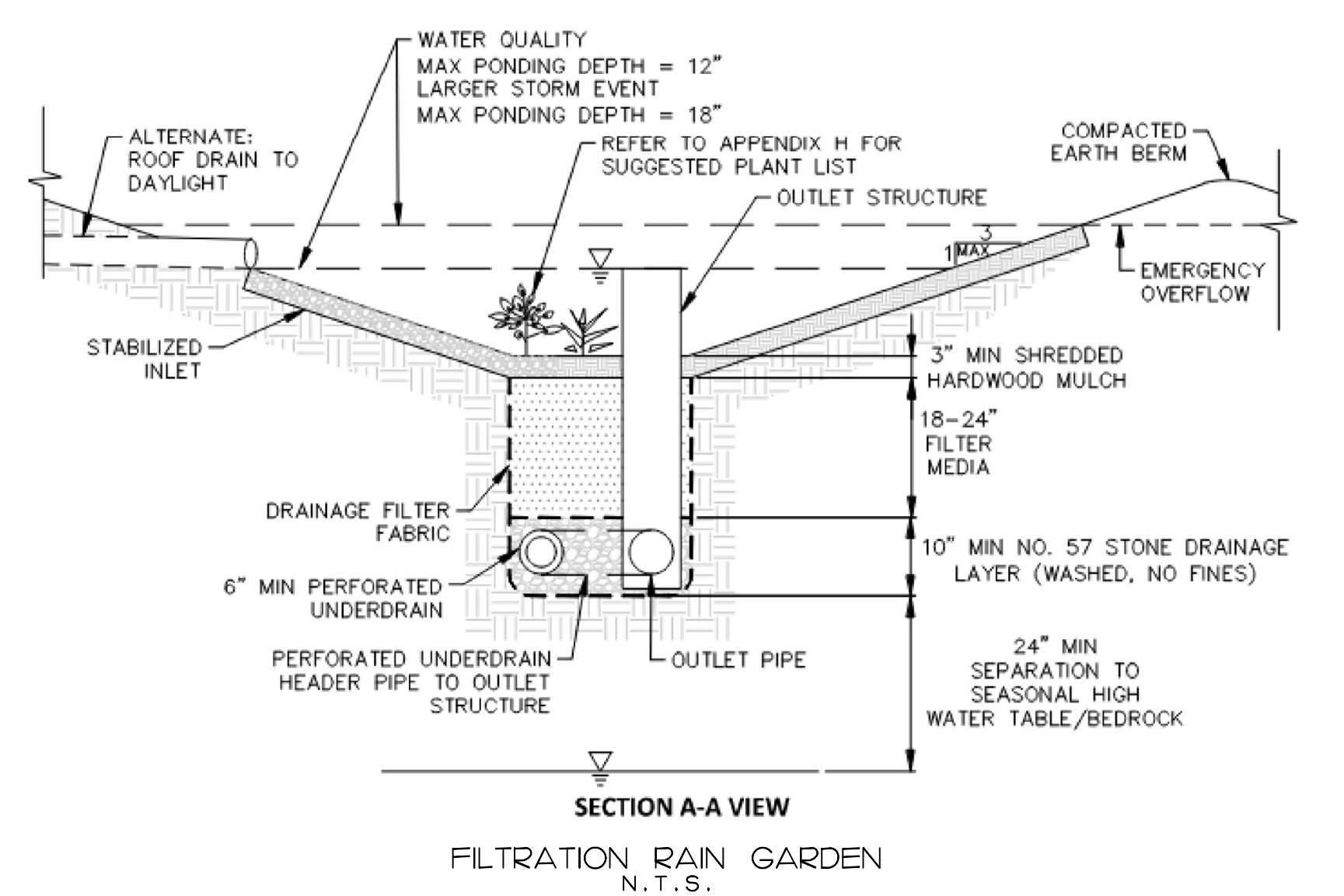
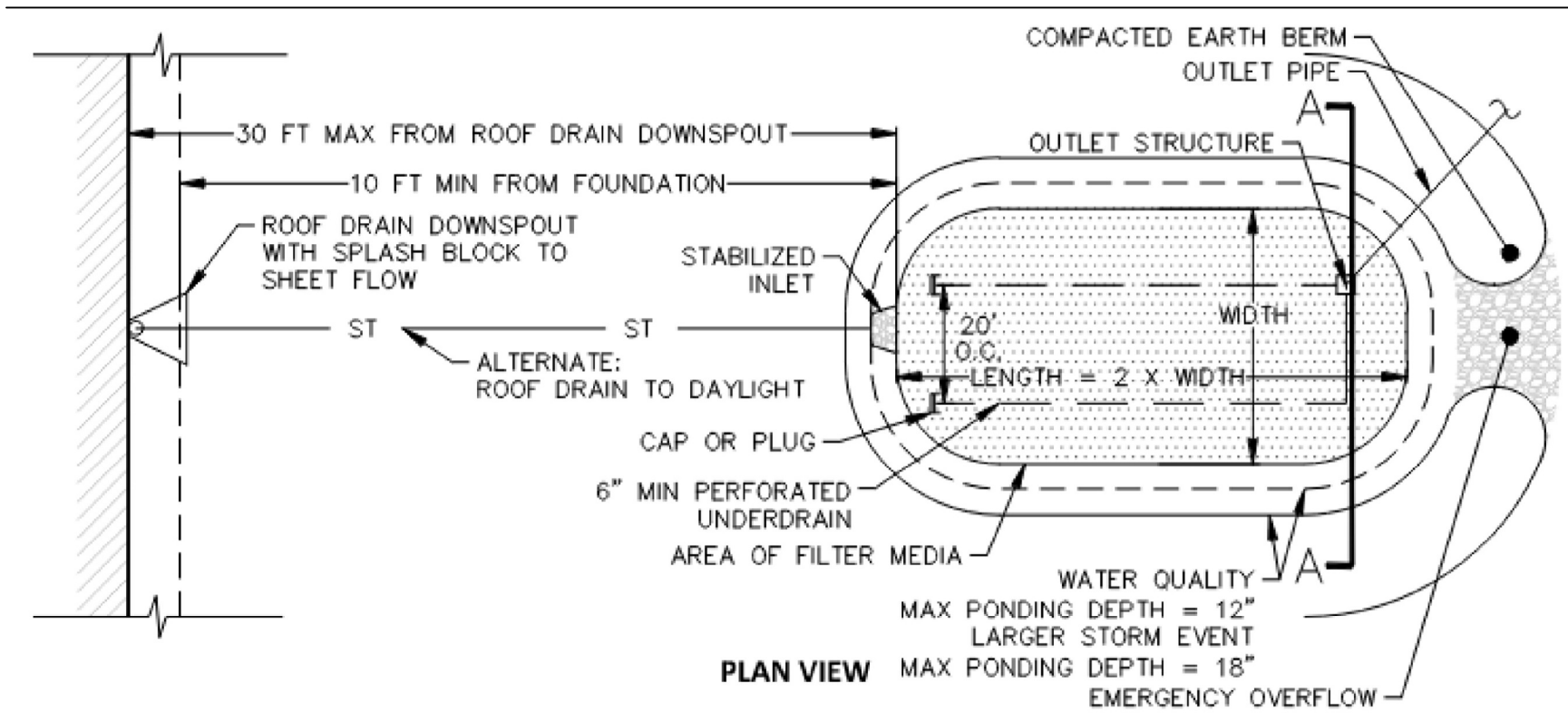


Table 6.14 Rain Garden Design Specifications		
	Infiltration Rain Garden	Filtration Rain Garden
Ponding ¹	Depth	12 inch max. (WQv) 18 inch max. (Extreme Flood)
	Depth	3 inch min.
Surface Layer ¹	Material	Shredded Hardwood Mulch or Non-Invasive Living Mulch
	Depth	12 inches min. 18 inches max.
Filter Media ¹	Material	ASTM C-33 Sand: 60%-75% Topsoil ² : 25%-40%
	Depth	6 inches min. 10 inches min.
Drainage Layer ¹	Material	AASHTO No. 57, stone washed, no fines
	Material ²	Non-woven, polypropylene geotextile with flow rate greater than 125 gpm/sf (ASTM D4491) and Apparent Opening Size US #70 sieve (ASTM D4751)
Impermeable Liner	Material	12 - 24 inch of clay soil (min. 50% passing #200 sieve and max. permeability 1 x 10 ⁻⁵ cm/sec) or 40 mil HDPE geomembrane
	Material	6" perforated PVC or HDPE laid at 0.5% slope min. at 30 ft max. O.C.

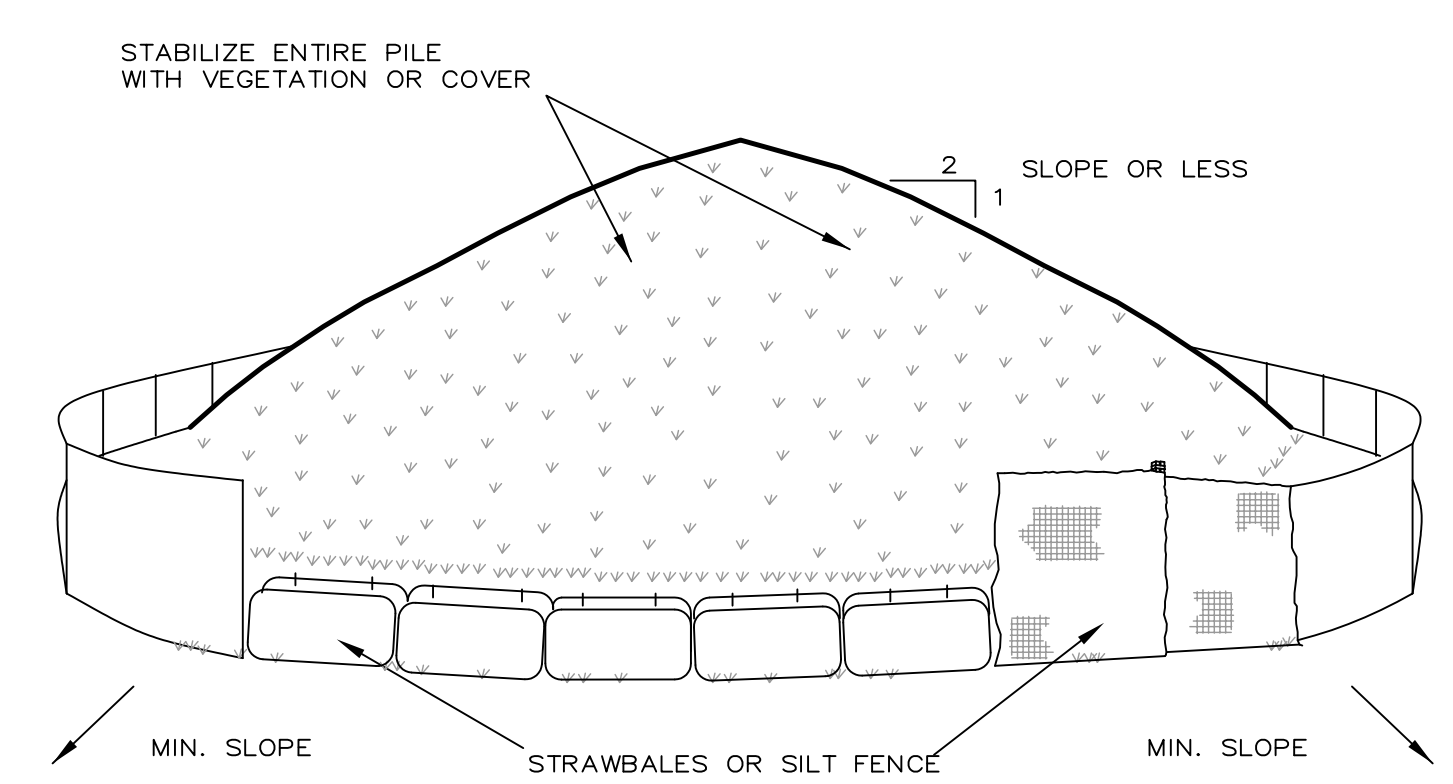
Footnotes:
¹Required for all Design Variants
²Or acceptable alternatives, such as a 3 inch minimum layer of pea gravel
³Topsoil shall conform to NYSDOT Standard Specification 713-01 for Roadside Mix or Specialty Planting Mix.

5.3.6.3.2 Sizing Criteria

- The required WQv is to be provided above the top of the filter media.
- Infiltration and filtration rain gardens shall be sized based on the principles of Darcy's Law. Calculate the minimum bottom area:

$$A_f = \frac{(WQ_v)(d_f)}{(k)(h_f + d_f)(t_f)} = \frac{(82)(1.0)}{(1)(0.5+1)(2)} = 27.3 \text{ S.F.}$$

Where:
A_f = Surface area of filter bed (sf)
WQ_v = Water Quality Volume (cf) = 82 C.F.
d_f = Filter bed depth (ft) = 1.0 FT.
k = Permeability flow rate of filter media (1 ft/day) = 1 FT/DAY
h_f = Average height of ponding (ft) (0.5 ft max.) = 0.5 FT.
t_f = Design filter bed drain time (2 days) = 2 DAYS



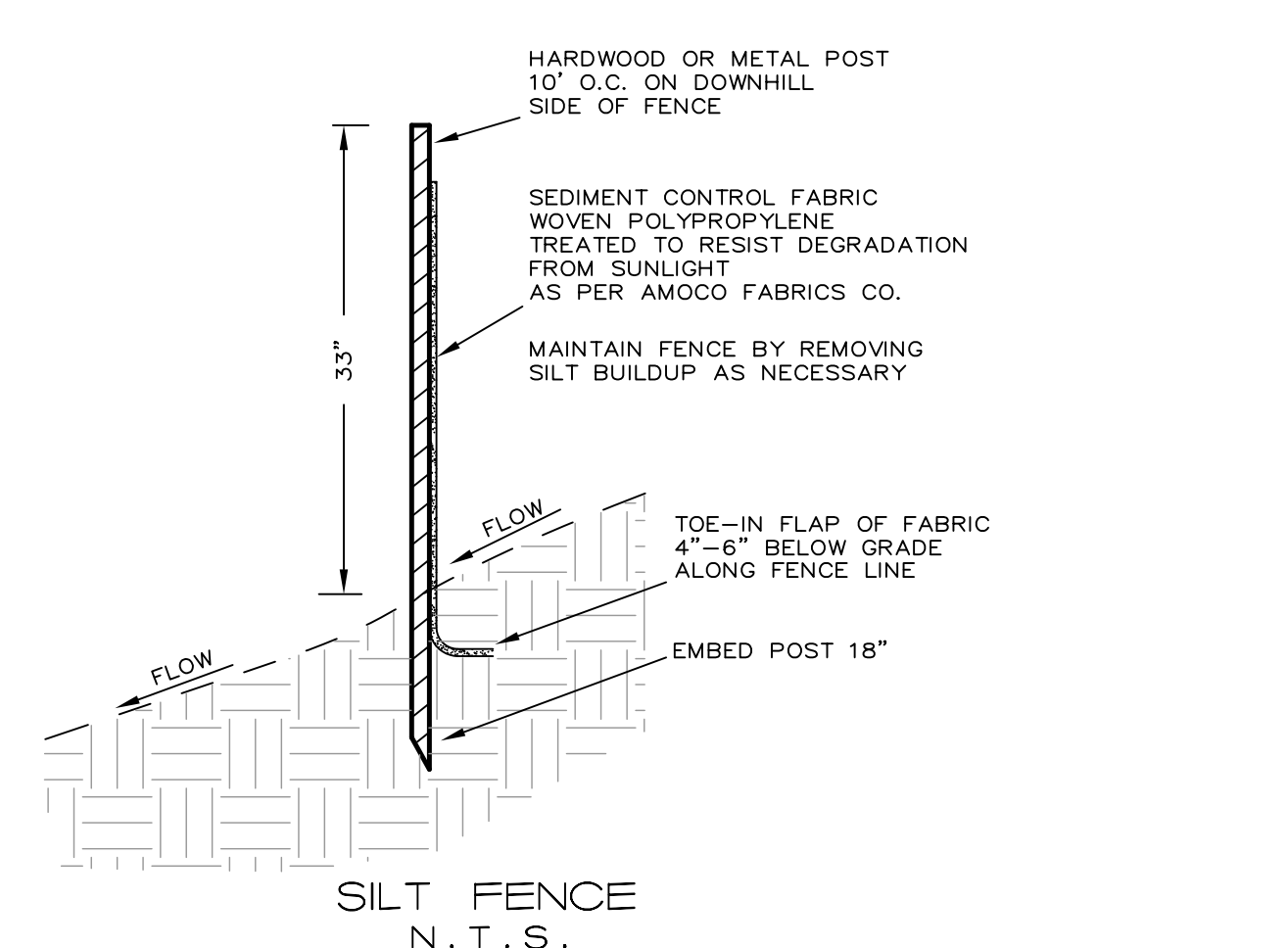
TO BE USED WHERE TOPSOIL PRESERVATION IS NECESSARY FOR REGRADING AND VEGETATING DISTURBED AREAS. TOPSOIL IS APPLIED TO SUBSOILS THAT ARE DROUGHTY (HAVING LOW AVAILABLE MOISTURE FOR PLANTS), STONY, SALTY, HAVE LOW PERMEABILITY, OR ARE EXTREMELY ACID. IT IS ALSO USED TO BACKFILL AROUND SHRUB AND TREE TRANSPLANTS. PRESERVATION OF EXISTING TOPSOIL IS BENEFICIAL FOR ALL TYPES OF LAWN OR ORNAMENTAL PLANTINGS.

TEMPORARY STOCKPILE STABILIZATION MEASURES INCLUDE VEGETATIVE COVER, MULCH, NON-VEGETATIVE COVER, AND PERIPHERAL SEDIMENT TRAPPING BARRIERS. THE STABILIZATION MEASURE(S) SELECTED SHOULD BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS, AND REQUIRED DURATION OF USE.

INSTALLATION NOTES

- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.

SOIL STOCKPILING
N.T.S.



CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL LOCATE AND VERIFY IN THE FIELD ALL UTILITIES - GAS, WATER, ELECTRICAL BEFORE THE START OF CONSTRUCTION. CONTRACTOR SHALL CALL CODE 753 (FORMERLY CODE 53)
- EROSION CONTROL MEASURES, INCLUDING SILT FENCE, SHALL BE REQUIRED AS DIRECTED BY THE VILLAGE/TOWN.
- ALL PROPERTY DISTURBED IN THE R.O.W. OR ON PRIVATE LANDS, SHALL BE RESTORED TO NEW CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICATIONS AND PERMITS REQUIRED FOR CONSTRUCTION.
- UNDERGROUND GAS AND ELECTRIC SHALL BE AS REQUIRED BY THE VILLAGE/TOWN AND LOCAL POWER COMPANY.

EROSION AND SEDIMENT CONTROL NOTES:

- EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND PROCEDURES SHALL COMPLY WITH THE STANDARDS AND SPECIFICATIONS OF THE TOWN OF NEW CASTLE.
- PRIOR TO ANY EXCAVATION, SILT FENCE SHALL BE INSTALLED AT THE APPROPRIATE LOCATIONS NOTED ON EROSION CONTROL PLAN. SILT FENCING SHALL BE INSTALLED AS DIRECTED BY THE OWNER'S REPRESENTATIVE IN THE FIELD AND INSTALLED AS PER THE INSTRUCTIONS OF THE MANUFACTURER. ADDITIONAL SILT FENCE MAY BE PLACED BY THE OWNER'S REPRESENTATIVE IN THE FIELD. SILT FENCING SHALL BE MAINTAINED IN OPERABLE CONDITION AND SHALL NOT BE REMOVED UNTIL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
- ALL FINISHED SLOPES AND ALL ROUGH CUT SLOPES TO REMAIN OPEN FOR EXTENDED PERIODS IMMEDIATELY TOPSOIL, SEED WITH A MIXTURE OF PERENNIAL RYE GRASS, ANNUAL RYE GRASS AND WINTER RYE AND MULCH WITH 6" OF HAY.
- ALL SLOPES CONSTRUCTED WITH FILL MATERIAL AND ALL SLOPES WITH GRADE 3:1 OR STEEPER SHALL BE TOPSOILED, SEEDED, MULCHED AND STABILIZED WITH STAKED JUTE NETTING, UNLESS OTHERWISE NOTED.
- ALL AREAS OF DISTURBED SOIL SHALL BE STABILIZED. IN ADDITION TO ALL SPECIFIED AND LOCATED EROSION CONTROL DEVICES, THE CONTRACTOR SHALL TAKE ALL STEPS PRUDENT AND NECESSARY TO STABILIZE THE SITE AT ALL TIMES.

- DO NOT STOCKPILE MATERIALS ON STEEP SLOPES, IN DRAINAGE SWALES OR IN WETLAND AREAS. SURROUND ALL STOCKPILE AREAS WITH SILT SCREEN AND SEED THEM WITH THE ANNUAL RYE GRASS.
- ALL CATCH BASINS ARE TO BE PROTECTED WITH HAYBALE FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
- HAYBALES SHALL BE USED AT THE TOPS AND TOES OF SLOPES, AS NECESSARY, TO COLLECT SILT AND DIVERT FLOWS. SILT SCREENS WILL BE USED IN AREAS OF UNCONCENTRATED FLOWS TO COLLECT SILT. HAYBALES AND SILT SCREEN ON PLANS MAY BE AUGMENTED IN THE FIELD AS NECESSARY.
- UTILITY LINE EXCAVATED MATERIAL SHALL BE TEMPORARILY STOCKPILED ON HIGH SIDE OF EXCAVATION SO RUNOFF IS DIRECTED AWAY FROM TRENCH. AFTER BACK-FILLING, AREA IS TO BE TOPSOILED, SEEDED, AND MULCHED.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- SEDIMENT DEPOSITS SHALL BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER. SEDIMENT SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT RESULT IN ADDITIONAL EROSION OR POLLUTION.

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ADU DETAIL/NOTES
129 SCENIC DRIVE WEST
VILLAGE OF CROTON-ON-HUDSON
WESTCHESTER COUNTY, NY
APRIL 28, 2026
SHEET 2 OF 2 SHEETS

Unauthorized alterations or additions to this drawing is a violation of Section 7209 (2) of the New York State Education Law.