

GENERAL NOTES

1. THESE GENERAL NOTES SHALL APPLY TO ALL DRAWINGS IN THIS SET AND SHALL EXTEND TO ANY CHANGES, EXTRAS, OR ADDITIONS AGREED TO DURING THE COURSE OF THE WORK.

2. DO NOT SCALE DRAWINGS; DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS, LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS.

3. THERE WILL BE NO SUBSTITUTION OF MATERIALS WHERE MANUFACTURER IS SPECIFIED. WHERE THE TERM 'OR EQUAL' ISSUED, THE ARCHITECT ALONE SHALL DETERMINE THE EQUALITY BASED UPON INFORMATION SUBMITTED BY THE CONTRACTOR.

4. WORK IS TO BE PERFORMED IN ACCORDANCE WITH RULES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION, SAFETY, AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES, WHETHER OR NOT SPECIFIED ON THE DRAWINGS.

5. THE GENERAL CONTRACTOR, AT HIS COST, SHALL FURNISH ALL TEMPORARY LIGHT AND POWER COMPLETE WITH ALL WIRING, LAMPS AND SIMILAR EQUIPMENT, AS REQUIRED FOR THE COMPLETION OF THE WORK. HE SHALL REMOVE ALL SUCH WORK WHEN DIRECTED.

6. THE GENERAL CONTRACTOR SHALL DO ALL CUTTING, PATCHING AND FITTING WORK THAT MAY BE REQUIRED TO MAKE ALL PARTS COME TOGETHER PROPERLY, AND FIT TO RECEIVE OR BE RECEIVED BY WORK OF OTHER CONTRACTORS.

7. THE GENERAL CONTRACTOR SHALL, BEFORE SUBMITTING HIS BID, REVIEW ALL PLANS AND SPECIFICATIONS AND VERIFY ALL GOVERNING DIMENSIONS AT THE BUILDING. HE SHALL EXAMINE ALL ADJOINING WORK OR AREAS UPON WHICH THE PERFORMANCE OF HIS WORK IS IN ANY WAY DEPENDENT. ANY VARIATIONS OR DISCREPANCIES SHALL BE REPORTED, WITH ALL DUE EXPEDIENCY, TO THE ARCHITECT.

8. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS JURISDICTION.

9. THE GENERAL CONTRACTOR SHALL FURNISH SAMPLES OF THE VARIOUS MATERIALS AND FINISHES REQUESTED IN THE CONTRACT DOCUMENTS TO THE ARCHITECT ALONG WITH THE INTENDED USE BEFORE THE COMMENCEMENT OF THE SPECIFIED WORK.

10. THE CONTRACTOR SHALL BE ANSWERABLE TO THE ARCHITECT AND SHALL NOT ACCEPT INSTRUCTION FROM LOCAL PERSONNEL WITHOUT VERIFICATION FROM THE ARCHITECT. THE CONTRACTOR SHALL BE LIABLE FOR ANY EXPENSE CAUSED BY THE EXECUTION OF SUCH WORK WITHOUT SUCH VERIFICATION AND FOR EXPENSES CAUSED BY ITS REMOVAL OR CORRECTION.

11. DRAWINGS IN THIS SET AND DESIGNS THEREON ARE THE PROPERTY OF THE ARCHITECT.

12. A REPRESENTATIVE OF THE GENERAL CONTRACTOR, AUTHORIZED TO DISCUSS THE WORK AND RECEIVE INSTRUCTIONS FROM THE ARCHITECT SHALL BE ON THE JOB AT ALL TIMES THAT WORK IS IN PROGRESS.

13. ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS, UNLESS OTHERWISE NOTED.

14. ALL WORK AND MATERIALS FURNISHED BY THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS SHALL BE GUARANTEED AGAINST DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF AT LEAST ONE (1) YEAR FROM THE ARCHITECT'S APPROVAL FOR FINAL PAYMENT.

15. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, SQUARE AND TRUE, AND IN PROPER ALIGNMENT.

16. ALL WORK SHALL BE COMPLETED FOR THE AGREED UPON CONTRACT PRICE WITHOUT RECOURSE TO LABOR STOPPAGES OR REVISIONS OF GOVERNING REGULATIONS, LAWS AND CODES.

17. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONAL WORK OR CHANGES FOR WHICH HE EXPECTS ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT. FAILURE TO OBTAIN SUCH AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR EXTRA COMPENSATION.

18. ALL INSTALLED PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY AND FREE OF VIBRATION.

19. ALL NEW YORK STATE ENERGY CODE REQUIREMENTS SHALL BE MET OR EXCEEDED.

20. THE CONTRACTOR SHALL BE REQUESTED TO PROVIDE SAMPLES LISTED BELOW. NO MATERIALS SHALL BE USED WHICH DO NOT EQUAL THE APPROVED SAMPLE. UNTIL SUCH APPROVAL HAS BEEN GIVEN, ANY MATERIAL TO BE SO APPROVED MUST NOT BE FABRICATED OR INCORPORATED IN THE WORK. THE APPROVAL OF SAMPLES WILL NOT PRECLUDE THE REJECTION OF ANY MATERIAL UPON THE DISCOVERY OF DEFECTS IN SAME PRIOR TO THE FINAL ACCEPTANCE OF THE COMPLETED WORK.

21. SUBSTITUTIONS FOR APPROVED MATERIALS WILL BE ALLOWED UNDER THE CONDITIONS PREVIOUSLY STATED. SAMPLES, MATERIAL LISTS, MANUFACTURER'S LITERATURE AND OTHER REQUIRED INFORMATION SHALL BE SUBMITTED IN SUFFICIENT TIME TO PERMIT PROPER CONSIDERATION AND ACTION ON SAME BEFORE ANY MATERIALS OR ITEMS WHICH SUCH SUBMITTAL REPRESENT ARE DELIVERED TO THE JOB SITE.

22. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DELAY IN THE PROGRESS OF THE WORK WHICH MAY BE DUE TO HIS FAILURE TO OBSERVE THESE REQUIREMENTS. THE TIME FOR THE COMPLETION OF HIS CONTRACT WILL NOT BE EXTENDED ON ACCOUNT OF HIS FAILURE TO SUBMIT SAMPLES PROMPTLY IN STRICT ACCORDANCE HEREWITH.

23. SHOULD THE GENERAL CONTRACTOR, BY HIS OWN DEFAULT, FAIL TO ADHERE TO THE CONSTRUCTION SCHEDULE, HE SHALL, AT THE DISCRETION OF THE ARCHITECT, PERFORM WORK IN PREMIUM TIME TO CONFORM WITH THE SCHEDULE. ANY EXPENSES AS MAY BE CAUSED BY SUCH WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

24. THE GENERAL CONTRACTOR IS TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO EXECUTE ALL THE WORK AS SHOWN IN THE CONTRACT DOCUMENTS WITH THE EXCEPTION OF THOSE ITEMS NOTED AS SEPARATE CONTRACTS OR 'N.I.C.'.

25. SHOULD THE DRAWINGS DISAGREE IN THEMSELVES OR WITH THE SPECIFICATIONS, OR SHOULD THE SPECIFICATIONS DISAGREE IN THEMSELVES, THE BETTER QUALITY OR GREATER QUANTITY OF WORK OR MATERIALS SHALL BE ESTIMATED UPON, AND THE ARCHITECT NOTIFIED BEFORE PROCEEDING. THE GENERAL CHARACTER OF THE DETAIL WORK IS SHOWN ON THE DRAWINGS BUT MINOR MODIFICATIONS MAY BE MADE BY THE ARCHITECT.

26. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMESIS FREE OF ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS. THE CONTRACTOR SHALL CONFINE HIS OPERATIONS FOR REMOVAL TO SUCH METHODS AS MAY BE AGREEABLE WITH THE OWNER. THE PROJECT SHALL BE LEFT CLEAN AND CLEAR, TO THE SATISFACTION OF THE ARCHITECT AND THE DISPOSITION OF ALL SALVAGED MATERIALS IS TO BE CLEARED WITH THE ARCHITECT PRIOR TO REMOVAL.

27. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT WHO WILL COMPILE A 'PUNCH LIST' OF CORRECTIONS AND UNSATISFACTORY AND/OR INCOMPLETE WORK. FINAL PAYMENT WILL BE CONTINGENT ON THE COMPLETION OF THESE ITEMS.

28. THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, ELECTRICAL, TELEPHONE, LIGHTING, PLUMBING AND SPRINKLER EQUIPMENT (TO INCLUDE ALL PIPING, DUCTWORK AND CONDUIT), AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED.

29. THROUGHOUT THE DURATION OF THE PROJECT, THE CONTRACTOR SHALL REFRAIN FROM ACTIONS THAT COULD LEAD TO THE FILING OF A CLAIM OF LIEN AGAINST THE ARCHITECT BY SUBCONTRACTORS OR SUPPLIERS OF MATERIALS, LABOR, SERVICE OR EQUIPMENT OR ANY OTHER INDIVIDUAL OR COMPANY SO ENTITLED UNDER GOVERNING LAWS AND REGULATIONS UNLESS HE CAN SHOW REASONABLE AND JUSTIFIABLE CAUSE.

30. THE OWNER MUST OBTAIN AND MAINTAIN ALL INSURANCE REQUIRED BY LOCAL BUILDING DEPARTMENT AND LENDING INSTITUTIONS.

31. PROJECT SHALL COMPLY WITH THE 2025 NEW YORK STATE RESIDENTIAL CODE.

32. LICENSED ELECTRICIAN TO PROVIDE HARDWIRED SMOKE AND CARBON MONOXIDE DETECTORS AS REQUIRED BY THE 2025 NEW YORK STATE RESIDENTIAL CODE.

DRAWING LIST

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CLIMACTIC & GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	30#/SF
FIRST FLOOR LIVE LOAD	40#/SF
SECOND FLOOR LIVE LOAD	30#/SF
WIND SPEED (MPH)	SPEC. WIND REG.
TOPO EFFECTS	NO
SPECIAL WIND REGION	YES
WIND-BOURNE DEBRIS ZONE	NO
SEISMIC DESIGN CATEGORY	C
WEATHERING	SEVERE
FROST LINE DEPTH	42"
TERMITE ZONE	MOD. TO HEAVY
DECAY ZONE	SLIGHT
WINTER DESIGN TEMP.	7°
ICE BARRIER UNDERLAYMENT	REQUIRED
FLOOD HAZARDS	NOT REQ'D
AIR FREEZING INDEX	1500 OR LESS

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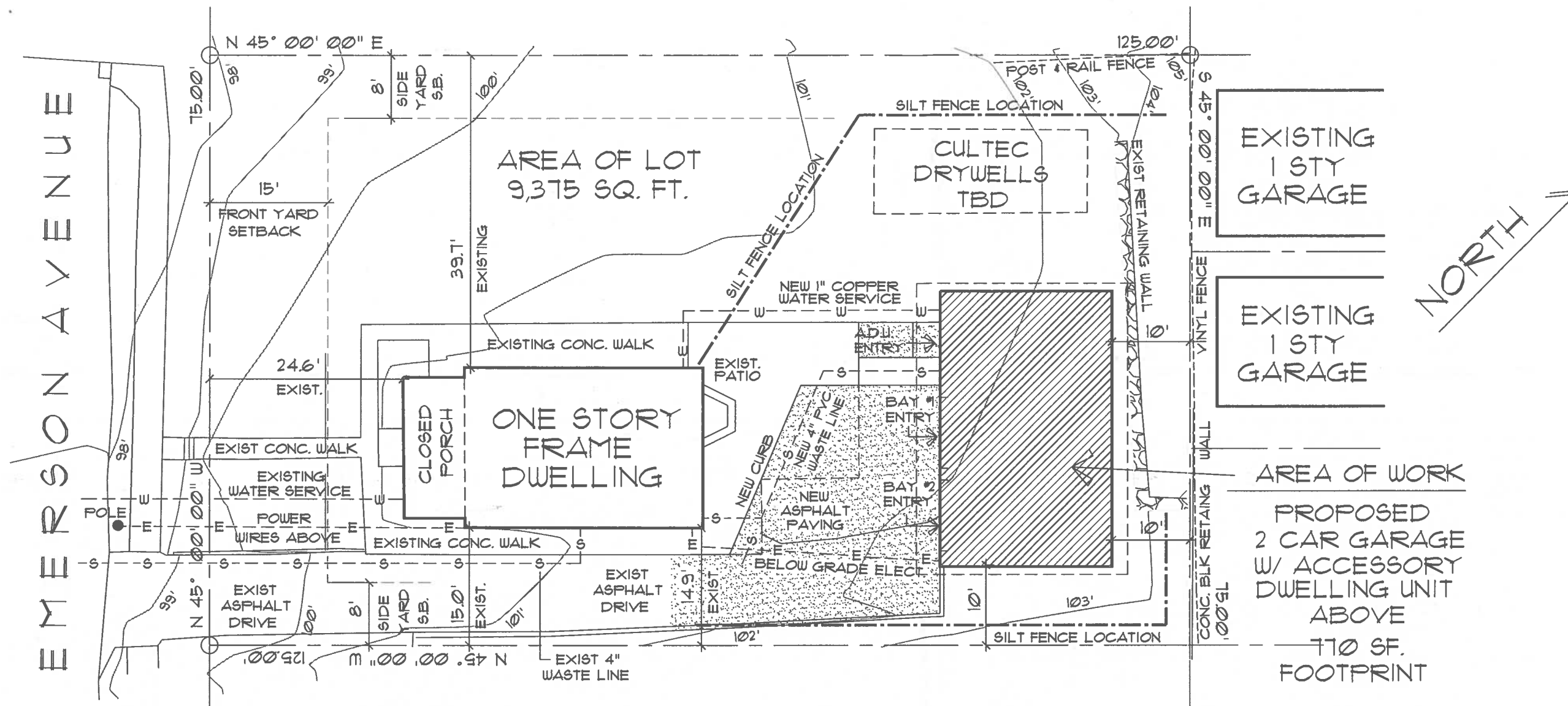
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PLANNING BD. 8/16/26
SCHEM DES 2 7/27/26
SCHEM DES 1 5/22/26

No.	Revisions	Date
PROJECT START		5/19/26
Drawing Title		

GENERAL NOTES & DRAWING LIST

Drawn by	Checked by
JJP	JJP
Project No.	Scale
2026.08	N.A.
Drawing No.	
	A = 1



ZONING ANALYSIS FOR DISTRICT RA-5

PARAMETER	REQUIRED ALLOWED	EXISTING	PROPOSED
LOT AREA MIN.	5,000 SF.	9,375 SF.	EXIST. NO CHANGE
LOT WIDTH MIN.	50 FEET	75 FEET	EXIST. NO CHANGE
LOT DEPTH MIN.	100 FEET	125 FEET	EXIST. NO CHANGE
FRONT YARD MIN.	15 FEET	24.6 FEET	EXIST. NO CHANGE
SIDE YARD MIN.	8 FEET	14.9 FEET	EXIST. NO CHANGE
BOTH SIDES COMBINED	20 FEET	54.6 FEET	EXIST. NO CHANGE
REAR YARD	25 FEET	62.2 FEET	EXIST. NO CHANGE
PRIMARY FLOOR AREA RATIO	0.55 (5,156 SF)	0.10 965 SF.	EXIST. NO CHANGE
MAXIMUM HEIGHT	2.5 STORY 35 FEET	1 STORY ±14 FEET	EXIST. NO CHANGE
MAX. BUILDING COVERAGE	3,750 SF. 40% MAX	850.9 SF. 9.06%	1526 SF. 16.3%
OFF-STREET PARKING	2 CARS	2 CARS	3 CARS
A.D.U. MIN. SETBACKS	10 FEET (SIDE & REAR)	N.A.	10 FEET
A.D.U. HAITABLE FLOOR AREA	300 SF. MIN / 800 SF. MAX	N.A.	738 SF.
A.D.U. BLDG. COVERAGE	30% OF SIDE AND REAR YARDS (3,234 SF)	N.A.	23.8% / 710 SF.
A.D.U. BUILDING HEIGHT	15 FEET	N.A.	15 FEET

NOTE, NO SUBSTANTIAL VEGETATION TO BE REMOVED AS PART OF PLANNED CONSTRUCTION ACTIVITIES

NOTE, TOPOGRAPHIC INFORMATION OBTAINED FROM SURVEY OF BADEY & WATSON

PLOT PLAN
BASED ON
SURVEY OF PROPERTY
SITUATED IN
VILLAGE OF
CROTON ON HUDSON
TOWN OF CORTLANDT
WESTCHESTER COUNTY
NEW YORK

PREPARED FOR
ALEX D. & DOROTHY K. MORALES

SURVEYED JUNE 25, 2026
BY
BADEY & WATSON
SURVEYING & ENGINEERING D.P.C

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PLANNING BD. 8/16/26
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SCHEM DES 1 5/22/26

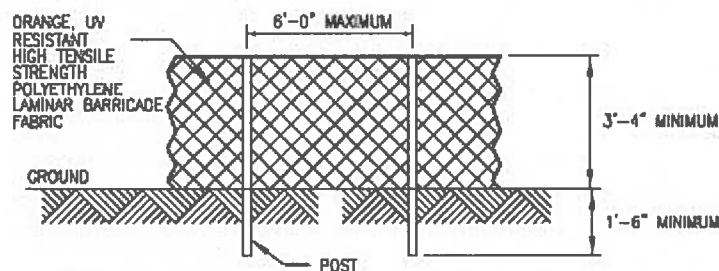
No. Revisions Date
PROJECT START 5/19/26
Drawing Title

PLOT PLAN &
ZONING STUDY

Drawn by Checked by
JJP JJP
Project No. Scale
2026.08 1" = 20'-0"
Drawing No.

A-2

1. Concrete washout areas shall be installed prior to concrete placement of on-site. The concrete washout area shall be entirely self-contained.
2. The contractor shall submit the design, location and sizing of the concrete washout areas) with the project's erosion and sedimentation control plan and shall be approved by the engineer.
3. Location Washout areas) are to be located at least 30 feet from any stream, wetland, storm drains, or other sensitive resource. The flood contingency plan must address the concrete washout if the washout is to be located within the floodplain.
4. Size the washout must have sufficient volume to contain all liquid and concrete waste generated by washout operations including, but not limited to, operations associated with grout and mortar.
5. Surface discharge is unacceptable. Therefore, hay bales or other control measures, as approved by the engineer, should be used around the perimeter of the concrete washout area for containment.
6. Signs should be placed at the construction entrance, at the concrete areas) and elsewhere as necessary to clearly indicate the location of the concrete washout to operators of concrete trucks and pump rigs. Washout areas) should be flagged with safety fencing or other approved method.
7. Washout areas) are to be inspected at least once a week for structural integrity, adequate holding capacity and check for leaks, tears or overflow. (As required by the construction site environmental inspection report, washout areas should be checked after heavy rains.)
8. Hardened concrete waste should be removed and disposed of when the waste has accumulated to half the concrete washout's height. The waste can be stored at an upland location, as approved by the engineer. All concrete waste shall be disposed of in a manner consistent with all applicable laws, regulations and guidelines.
9. Payment for this item is to be included under the general cost of the work for the project, including site restoration.

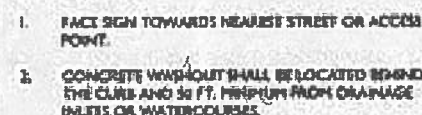


The drawing consists of two views of a silt fence. The left view is a side elevation showing a fence section 18' O.C. (On Center) between two posts. A drawstring runs along the top of the fence. The filter fabric is 16" MIN. wide and is buried 6" MIN. at the base. The fence is 20" MIN. high. The right view is an end elevation showing the fence post (1" x 2" x 35" OAK OR OTHER HARDWOOD POSTS (TYP.)) with a spacing of 10' ON CENTER. The filter fabric is secured to the post with metal fasteners and reinforcement between fasteners and fabric (3'-6" WIDE). The fabric is 10' (SEE NOTE 5) wide. The fence is 16" MIN. high and 20" MIN. wide. A flow arrow indicates the direction of water flow. A detail shows a 4" x 4" x 6" MIN. dig for the fabric to be buried 6" MIN. at the base.

NOTES:

1. GEOTEXTILE TO BE FASTENED SECURELY TO FENCE POST BY USING WIRE TIES OR HOOP RINGS. USE 3 FASTENERS PER POST.
2. SPlicing OF INDIVIDUAL ROLLS SHALL NOT OCCUR AT LOW POINTS.
3. ALL SILT FENCE TO BE INSPECTED AND REMEDIAL MAINTENANCE PERFORMED BY THE CONTRACTOR AS REQUIRED. MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
4. WHEN TWO SECTIONS OF FILTER FABRIC ARE JOINED, THEY SHALL BE OVER-WRAPPED BY SIX INCHES AND FOLDED.
5. FILTER FABRIC TO BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
6. PREFABRICATED UNITS SHALL MEET THE MINIMUM REQUIREMENTS SHOWN.
7. IF SPACE PERMITTED, LOCATE SILT FENCE 10' AWAY FROM TOE OF SLOPE IF THE SLOPE IS STEEPER THAN 1:1.

Scale: N.T.S.



1. CONCRETE WASHOUTS ARE REQUIRED ON ALL CONSTRUCTION SITES INVOLVING CONCRETE AND STRUCTURE USE.
2. THE CONTRACTOR SHALL REQUIRE ALL CONCRETE DRIVERS TO UTILIZE THE CONCRETE WASHOUTS ON-SITE.
3. WASHOUT FACILITIES SHALL BE LOCATED AT LEAST 50 FEET AWAY FROM STORM SEWER DRAIN INLETS, GUTTERS, OPEN DITCHES, AND WATER COURSES.
4. APPROPRIATE STONE SHOULD COVER PATHS TO CONCRETE WASHOUT.
5. THE NUMBER OF CONCRETE WASHOUTS DEPENDS ON THE EXPECTED DEMAND FOR STORAGE CAPACITY. LARGE SITES WITH EXTENSIVE CONCRETE WORK SHALL BE PLACED AT MULTIPLE LOCATIONS FOR USE BY CONCRETE TRUCK DRIVERS.
6. CONCRETE WASHOUT AREAS SHALL BE IDENTIFIED BY POSTING SIGNS ON-SITE.
7. CONCRETE WASHOUTS ARE TO BE INSPECTED DAILY BY THE CONTRACTOR FOR LEAKS OR TEARS IN PLASTIC LINER.
8. REMOVE AND DISPOSE OF ALL MATERIAL WHEN THE WASHOUT HAS BEEN FILLED TO 75% CAPACITY.
9. PRIOR TO ANY RAINFALL, ALL CONCRETE WASHOUTS ARE TO BE CLEANED OUT OR COMBED.
10. ONCE THE MATERIAL HAS BEEN CLEANED OUT OF THE CONCRETE WASHOUT FACILITY, THE FACILITY MUST BE INSPECTED FOR REPAIR, RECONSTRUCTION OR REPLACEMENT. ALL PLASTIC LINING SHALL BE REMOVED AND REPLACED.
11. PRE-FABRICATED OR ON-SITE FABRICATED CONCRETE WASHOUTS MAY BE USED.
12. OPTIONS FOR ON-SITE CONCRETE WASHOUTS:
 - A. DIG A PIT AND LINE WITH 10 MIL PLASTIC SHEETING.
 - B. CONCRETE AN ABOVE-GROUND STRUCTURE FROM STRAW BALES OR SANDBAGS WITH 10 MIL PLASTIC LINING.

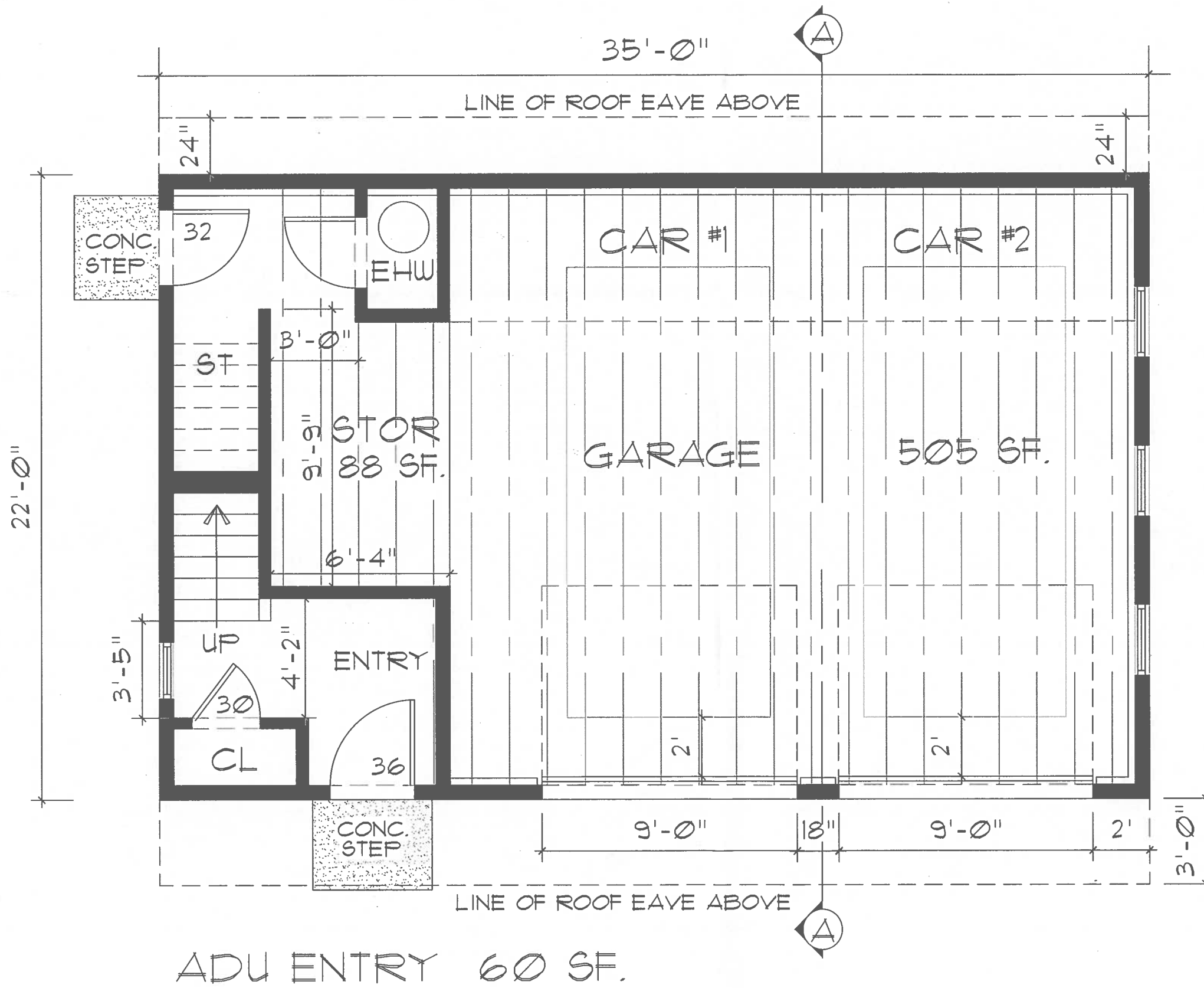
Scale: M.T.B.



Scale: N.T.S.

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JJP	JJP
Project No.	Scale
2026.08	NTS
Drawing No.	

$$A = 20$$



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PLANNING BD. 8/16/26
SCHEM DES 2 7/27/26
SCHEM DES 1 5/22/26

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PROJECT START		5/19/26
Drawing Title		

GARAGE LEVEL &
A.D.U. ENTRY PLANS

Drawn by	Checked by
JJP	JJP
Project No.	Scale
2026.08	1/4"=1'-0"
Drawing No.	

A = 3

ACCESSORY
DWELLING
UNIT

SBL # 79.5 - 4 - 60



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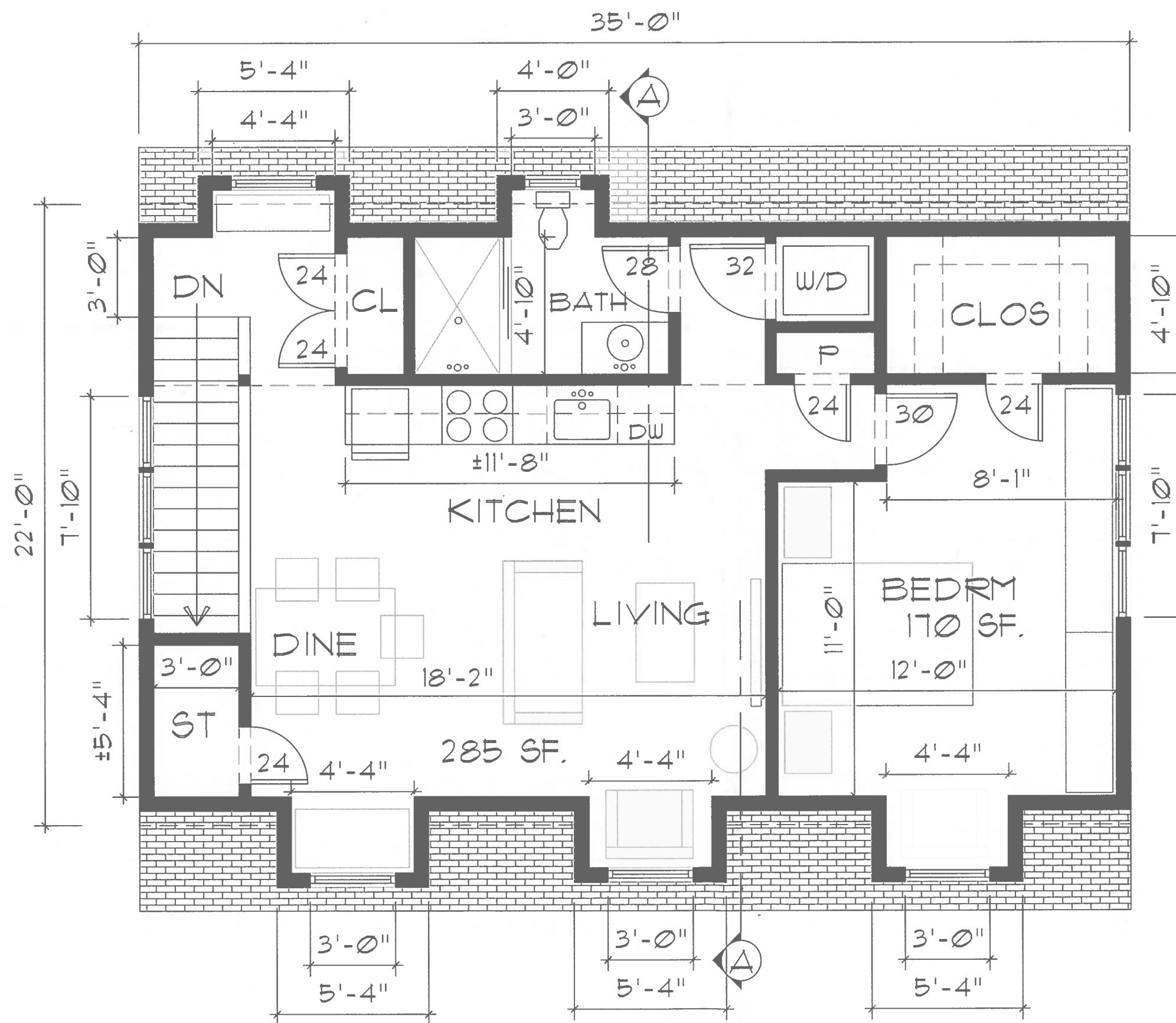
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ACCESSORY DWELLING
UNIT LEVEL PLAN

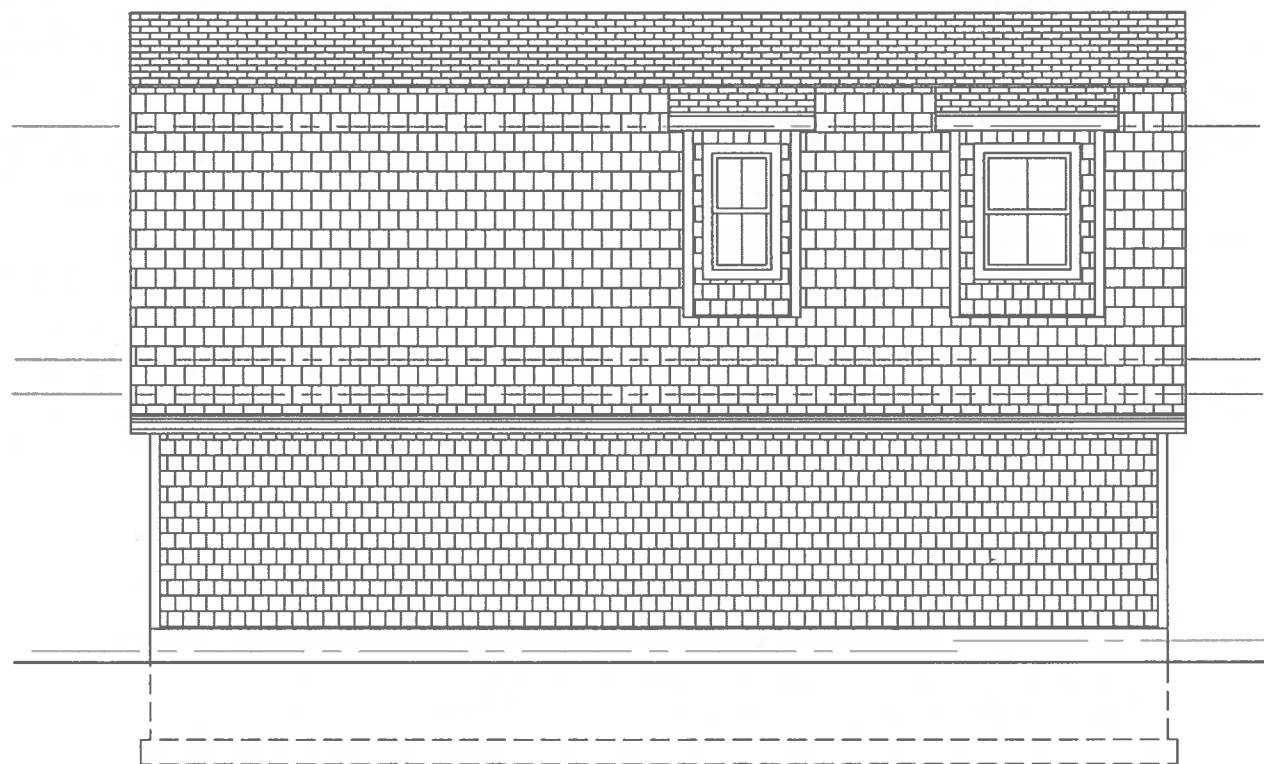
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Drawing No.	



A.D.U. LEVEL PLAN 644 SF. + STAIR 32 SF. = 678 SF.



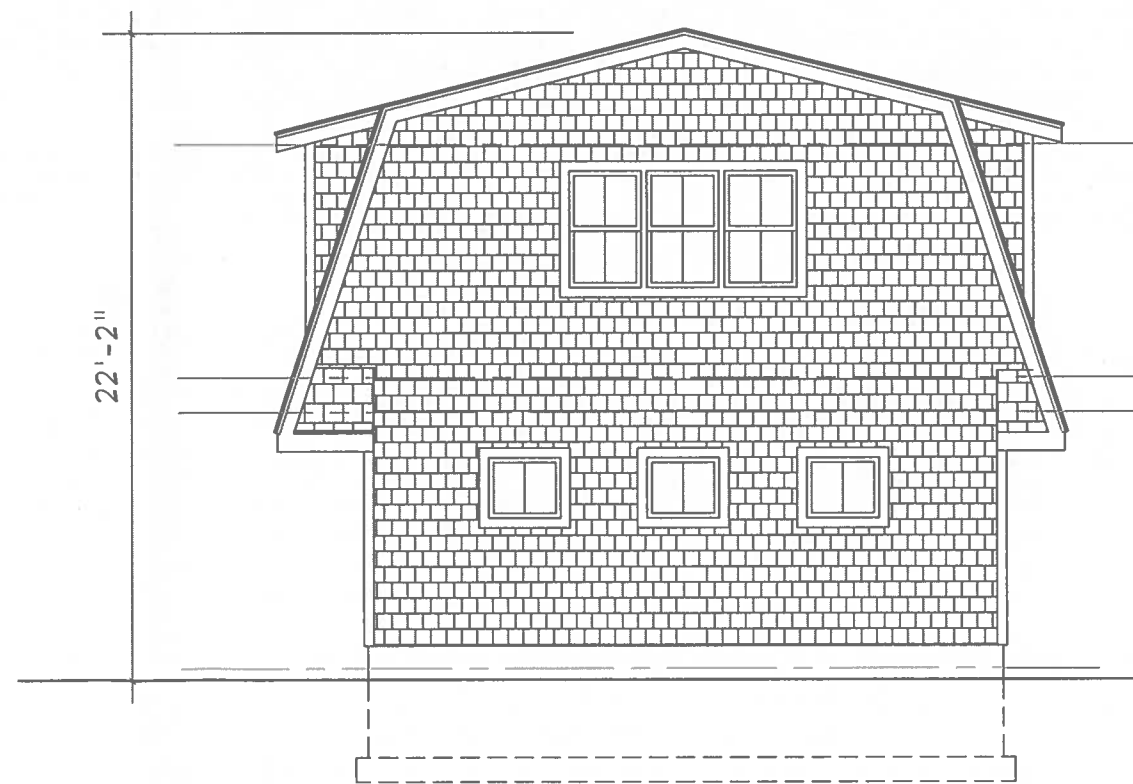
PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION



PROPOSED YARD SIDE ELEVATION



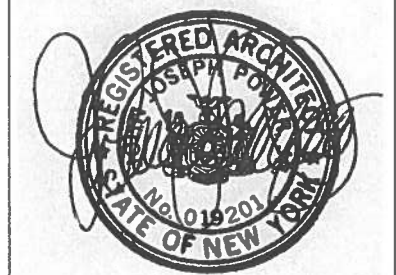
PROPOSED NEIGHBOR SIDE ELEVATION

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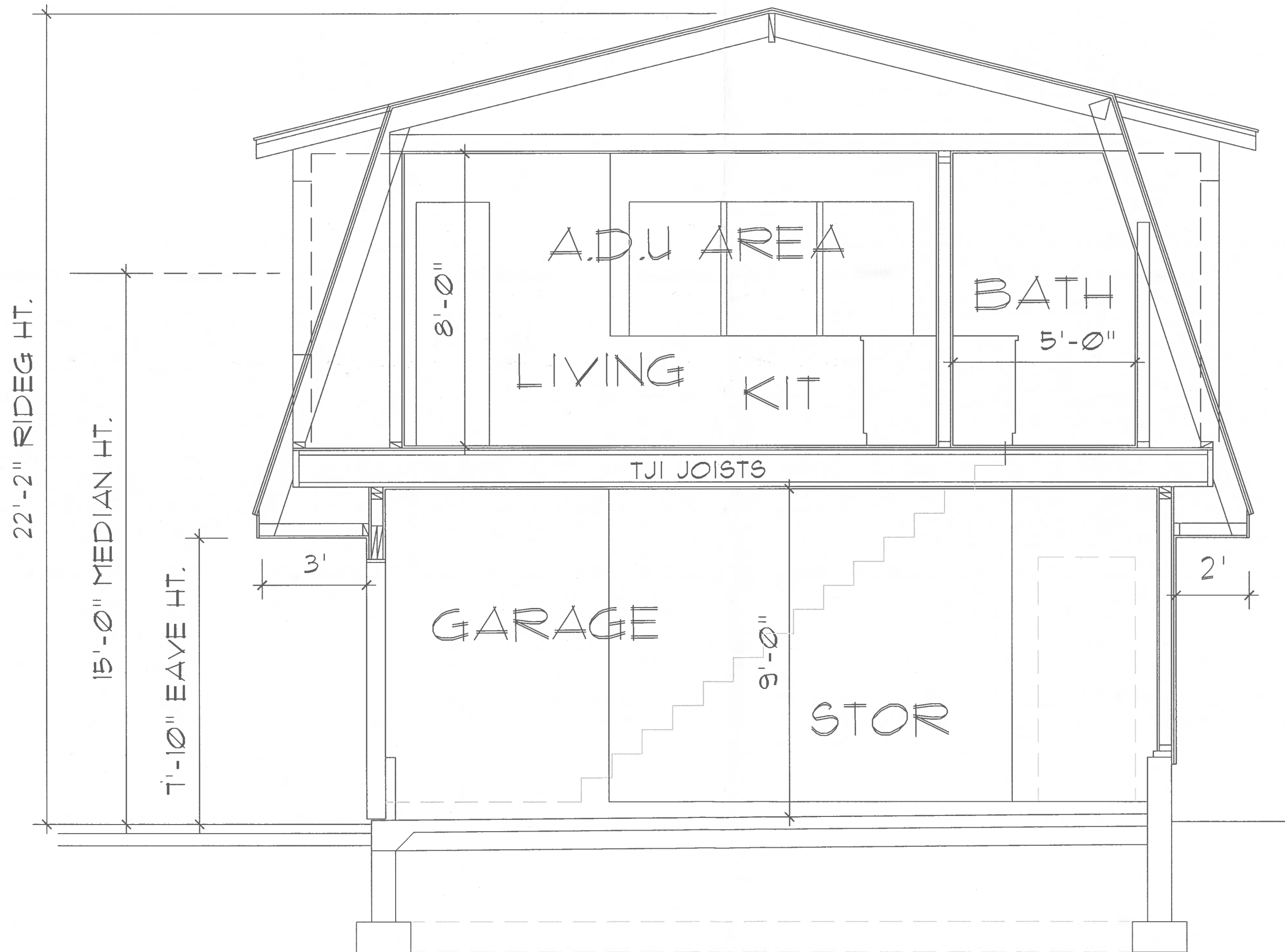
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PROPOSED
ELEVATIONS

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A-5



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CROSS SECTION A-A

Drawn by	Checked by
JJP	JJP

Project No.	Scale
2026.08	3/8" = 1'-0"
Drawing No.	

A-6