

Village of



Croton-on-Hudson

Engineering Department
Stanley H. Kellerhouse Municipal Building
One Van Wyck Street
Croton-on-Hudson, NY 10520-2501
Tel: 914-271-4783
engineering@crotononhudson-ny.gov

Zoning Board of Appeals **Application (ZBA)**

(Form # Eng-§230-160)

2 of 2

(Revised 06 2017)

Application Date: 8/26/26

Application #: 20260588

Type of Application: ☒ Area ☐ Special Permit ☐ Appeal ☐ Interpretation ☐ Use ☐ Fence

NYS SEQR (§617) Actions:

- ☐ **Type I -** Submit long EAF and CAF
☒ **Type II -** Not subject to SEQR (area variances for 1, 2 and 3 family homes and lot line variances and individual setback variances) EAF & CAF not required
☐ **Unlisted -** Submit short EAF (long EAF may be required) and CAF

Other Involved Agencies: ☐ Village Board ☐ Planning Board ☐ Other: _____

Property Information: Section: 79.13 Block: 3 Lot: 5
Property Location (street address): 98 HASTINGS STREET

Zoning District ☒ RA5 ☐ RA9 ☐ RA25 ☐ RA40 ☐ RB (2 family) ☐ RC Multiple Residence
Limited Office ☐ O-1 ☐ O-2
Commercial ☐ C1 Central ☐ C2 General ☐ Gateway overlay
Other ☐ LI Light Industrial ☐ WC Waterfront ☐ WD Waterfront Development

Current Use: ☒ 1 Family ☐ 2 Family ☐ 3 Family ☐ Multi Family ☐ Vacant Lot
☐ Commercial/Other (description): _____

Applicant Information: (if other than owner, supply a letter from the property owner authorizing application)

☒ Owner ☐ Tenant ☐ Contractor/Vendor
☐ Attorney ☐ Engineer ☐ Architect ☐ Other: _____

Last Name: SNILSBERG First Name: THOR MI: _____

Company: _____

Address: 98 HASTINGS STREET

Address: CROTON ON HUDSON NY 10520

Phone #: _____ Cell #: _____ E-mail: _____

Property Owner: ☒ Same As Above

Last Name: _____ First Name: _____ MI: _____

Company: _____

Address: _____

Address: _____

Phone #: _____ Cell #: _____ E-mail: _____

General Application requirements:

1. **Forms & fees:** This completed application plus seven (7) copies (total of 8) plus eight (8) copies of the supporting documentation shall be submitted by the applicant, accompanied by the applicable fee. Electronic version (pdf, jpeg, other) of all documents must be submitted with the application. Appropriate photographs of the property and surrounding properties should be submitted.
2. **Content of submission:** Application shall fully set forth the circumstances of the case, accompanied by a proposed plan showing the size and location of the lot, a site plan showing location of all buildings and proposed facilities, including access drives, parking areas, landscaping and streets. Each application shall refer to the specific provision

Have any previous area variance applications been made?

☒ yes

☒ no

If so, give date: _____

Description of previous variance:

10/12/22 - Request granted

10/22/24 Request renewed

Resolutions attached

2. Special Permit

Village Code Section(s): _____

Special Permit Description: _____

Explanation: _____

(can use separate paper if necessary)

Have any previous special permit applications been made?

☐ yes

☐ no

If so, give date: _____

Description of previous special permit: _____

3. Appeal

Village Code Section(s): _____

Description of administrative decision or order (include copy): _____

(can use separate paper if necessary)

Date of decision or order: _____

Explanation of reason for appeal: _____

(can use separate paper if necessary)

4. Interpretation

Village Code Section(s): _____

Description of proposed project or improvement: _____

Explanation/describe request: _____

GENERAL NOTES

1. THESE GENERAL NOTES SHALL APPLY TO ALL DRAWINGS IN THIS SET AND SHALL EXTEND TO ANY CHANGES, EXTRAS, OR ADDITIONS AGREED TO DURING THE COURSE OF THE WORK.
2. DO NOT SCALE DRAWINGS: DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS, LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS.
3. THERE WILL BE NO SUBSTITUTION OF MATERIALS WHERE MANUFACTURER IS SPECIFIED. WHERE THE TERM 'OR EQUAL' ISSUED, THE ARCHITECT ALONE SHALL DETERMINE THE EQUALITY BASED UPON INFORMATION SUBMITTED BY THE CONTRACTOR.
4. WORK IS TO BE PERFORMED IN ACCORDANCE WITH RULES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION, SAFETY, AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES, WHETHER OR NOT SPECIFIED ON THE DRAWINGS.
5. THE GENERAL CONTRACTOR, AT HIS COST, SHALL FURNISH ALL TEMPORARY LIGHT AND POWER COMPLETE WITH ALL WIRING, LAMPS AND SIMILAR EQUIPMENT, AS REQUIRED FOR THE COMPLETION OF THE WORK. HE SHALL REMOVE ALL SUCH WORK WHEN DIRECTED.
6. THE GENERAL CONTRACTOR SHALL DO ALL CUTTING, PATCHING AND FITTING WORK THAT MAY BE REQUIRED TO MAKE ALL PARTS COME TOGETHER PROPERLY, AND FIT TO RECEIVE OR BE RECEIVED BY WORK OF OTHER CONTRACTORS.
7. THE GENERAL CONTRACTOR SHALL, BEFORE SUBMITTING HIS BID, REVIEW ALL PLANS AND SPECIFICATIONS AND VERIFY ALL GOVERNING DIMENSIONS AT THE BUILDING. HE SHALL EXAMINE ALL ADJOINING WORK OR AREAS UPON WHICH THE PERFORMANCE OF HIS WORK IS IN ANY WAY DEPENDENT. ANY VARIATIONS OR DISCREPANCIES SHALL BE REPORTED, WITH ALL DUE EXPEDIENCY, TO THE ARCHITECT.
8. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS JURISDICTION.
9. THE GENERAL CONTRACTOR SHALL FURNISH SAMPLES OF THE VARIOUS MATERIALS AND FINISHES REQUESTED IN THE CONTRACT DOCUMENTS TO THE ARCHITECT ALONG WITH THE INTENDED USE BEFORE THE COMMENCEMENT OF THE SPECIFIED WORK.
10. THE CONTRACTOR SHALL BE ANSWERABLE TO THE ARCHITECT AND SHALL NOT ACCEPT INSTRUCTION FROM LOCAL PERSONNEL WITHOUT VERIFICATION FROM THE ARCHITECT. THE CONTRACTOR SHALL BE LIABLE FOR ANY EXPENSE CAUSED BY THE EXECUTION OF SUCH WORK WITHOUT SUCH VERIFICATION AND FOR EXPENSES CAUSED BY ITS REMOVAL OR CORRECTION.
11. DRAWINGS IN THIS SET AND DESIGNS THEREON ARE THE PROPERTY OF THE ARCHITECT.
12. A REPRESENTATIVE OF THE GENERAL CONTRACTOR, AUTHORIZED TO DISCUSS THE WORK AND RECEIVE INSTRUCTIONS FROM THE ARCHITECT SHALL BE ON THE JOB AT ALL TIMES THAT WORK IS IN PROGRESS.
13. ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY. IN EVERY RESPECT UNLESS OTHERWISE NOTED, MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS, UNLESS OTHERWISE NOTED.
14. ALL WORK AND MATERIALS FURNISHED BY THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS SHALL BE GUARANTEED AGAINST DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF AT LEAST ONE (1) YEAR FROM THE ARCHITECT'S APPROVAL FOR FINAL PAYMENT.
15. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, SQUARE AND TRUE, AND IN PROPER ALIGNMENT. DIMENSIONS ARE FINISH TO FINISH U.O.N.
16. ALL WORK SHALL BE COMPLETED FOR THE AGREED UPON CONTRACT PRICE WITHOUT RECOURSE TO LABOR STOPPAGES OR REVISIONS OF GOVERNING REGULATIONS, LAWS AND CODES.
17. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONAL WORK OR CHANGES FOR WHICH HE EXPECTS ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT. FAILURE TO OBTAIN SUCH AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR EXTRA COMPENSATION.

18. ALL INSTALLED PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY AND FREE OF VIBRATION.
19. THE CONTRACTOR SHALL BE REQUESTED TO PROVIDE SAMPLES LISTED BELOW. NO MATERIALS SHALL BE USED WHICH DO NOT EQUAL THE APPROVED SAMPLE. UNTIL SUCH APPROVAL HAS BEEN GIVEN, ANY MATERIAL TO BE SO APPROVED MUST NOT BE FABRICATED OR INCORPORATED IN THE WORK. THE APPROVAL OF SAMPLES WILL NOT PRECLUDE THE REJECTION OF ANY MATERIAL UPON THE DISCOVERY OF DEFECTS IN SAME PRIOR TO THE FINAL ACCEPTANCE OF THE COMPLETED WORK.
20. SUBSTITUTIONS FOR APPROVED MATERIALS WILL BE ALLOWED UNDER THE CONDITIONS PREVIOUSLY STATED. SAMPLES, MATERIAL LISTS, MANUFACTURER'S LITERATURE AND OTHER REQUIRED INFORMATION SHALL BE SUBMITTED SUFFICIENT TIME TO PERMIT PROPER CONSIDERATION AND ACTION ON SAME BEFORE ANY MATERIALS OR ITEMS WHICH SUCH SUBMITTAL REPRESENT ARE DELIVERED TO THE JOB SITE.
21. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DELAY IN THE PROGRESS OF THE WORK WHICH MAY BE DUE TO HIS FAILURE TO OBSERVE THESE REQUIREMENTS. THE TIME FOR THE COMPLETION OF HIS CONTRACT WILL NOT BE EXTENDED ON ACCOUNT OF HIS FAILURE TO SUBMIT SAMPLES PROMPTLY IN STRICT ACCORDANCE HEREWITH.
22. SHOULD THE GENERAL CONTRACTOR, BY HIS OWN DEFAULT, FAIL TO ADHERE TO THE CONSTRUCTION SCHEDULE, HE SHALL, AT THE DISCRETION OF THE ARCHITECT, PERFORM WORK IN PREMIUM TIME TO CONFORM WITH THE SCHEDULE. ANY EXPENSES AS MAY BE CAUSED BY SUCH WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
23. THE GENERAL CONTRACTOR IS TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO EXECUTE ALL THE WORK AS SHOWN IN THE CONTRACT DOCUMENTS WITH THE EXCEPTION OF THOSE ITEMS NOTED AS SEPARATE CONTRACTS OR 'N.I.C.'.
24. SHOULD THE DRAWINGS DISAGREE IN THEMSELVES OR WITH THE SPECIFICATIONS, OR SHOULD THE SPECIFICATIONS DISAGREE IN THEMSELVES, THE BETTER QUALITY OR GREATER QUANTITY OF WORK OR MATERIALS SHALL BE ESTIMATED UPON, AND THE ARCHITECT NOTIFIED BEFORE PROCEEDING. THE GENERAL CHARACTER OF THE DETAIL WORK IS SHOWN ON THE DRAWINGS BUT MINOR MODIFICATIONS MAY BE MADE BY THE ARCHITECT.
25. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS. THE CONTRACTOR SHALL CONFINED HIS OPERATIONS FOR REMOVAL TO SUCH METHODS AS MAY BE AGREEABLE WITH THE OWNER. THE PROJECT SHALL BE LEFT CLEAN AND CLEAR TO THE SATISFACTION OF THE ARCHITECT AND THE DISPOSITION OF ALL SALVAGED MATERIALS IS TO BE CLEARED WITH THE ARCHITECT PRIOR TO REMOVAL.
26. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT WHO WILL COMPILE A 'PUNCH LIST' OF CORRECTIONS AND UNSATISFACTORY AND/OR INCOMPLETE WORK. FINAL PAYMENT WILL BE CONTINGENT ON THE COMPLETION OF THESE ITEMS.
27. THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, ELECTRICAL, TELEPHONE, LIGHTING, PLUMBING AND SPRINKLER EQUIPMENT (TO INCLUDE ALL PIPING, DUCTWORK AND CONDUIT), AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED.
28. THROUGHOUT THE DURATION OF THE PROJECT, THE CONTRACTOR CONTRACTOR SHALL REFRAIN FROM ACTIONS THAT COULD LEAD TO THE FILING OF A CLAIM OF LIEN AGAINST THE ARCHITECT BY SUBCONTRACTORS OR SUPPLIERS OF MATERIALS, LABOR, SERVICE OR EQUIPMENT OR ANY OTHER OTHER INDIVIDUAL OR COMPANY SO ENTITLED UNDER GOVERNING LAWS AND REGULATIONS UNLESS HE CAN SHOW REASONABLE AND JUSTIFIABLE CAUSE.
29. ALL NEW YORK STATE ENERGY CODE REQUIREMENTS SHALL BE MET OR EXCEEDED.
30. THE OWNER MUST OBTAIN AND MAINTAIN ALL INSURANCE REQUIRED BY LOCAL BUILDING DEPARTMENT AND LENDING INSTITUTIONS.
31. LICENCED ELECTRICIAN TO PROVIDE HARDWIRED SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS AS REQUIRED BY NYS CODE REGULATION R-II.

DRAWING LIST

GENERAL NOTES & DRAWING LIST	A-1
PLOT PLAN	A-2
ZONING ANALYSIS	
FRONT PORCH ALTERATION PLAN	A-3
FRONT PORCH PROPOSED ELEVATION	A-4
CLIMACTIC & GEOGRAPHIC DESIGN CRITERIA	
SNOW LOAD	30#/SF
WIND SPEED	90-100 MPH
SEISMIC DESIGN CATAGORY	C
WEATHERING	SEVERE
FROST LINE DEPTH	42"
TERMITE ZONE	MOD. TO HEAVY
CLIMATE ZONE	4
ICE SHIELD	REQUIRED
UNDERLAYMENT	
FLOOD HAZARDS	SEE ENGINEERING

SNILSBERG
BLATCHFORD
RESIDENCE

FRONT PORCH
AND ENTRY
ALTERATIONS

98
HASTINGS ST
CROTON ON HUDSON
NEW YORK



JOHN POWER
ARCHITECT

24 VAN WYCK STREET
CROTON ON HUDSON N.Y. 10520

914 . 271 . 3221
john@johnpowerarchitect.com

ZONING BOARD 9/12/22
DESIGN REVIEW 8/23/22

No.	Revisions	Date
PROJECT START		8/8/22
Drawing Title		

GENERAL NOTES &
DRAWING LIST

Drawn by	Checked by
JJP	JJP
Project No.	Scale
202204	N.A.
Drawing No.	

A - 1

98
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NEW YORK



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ARCHITECT

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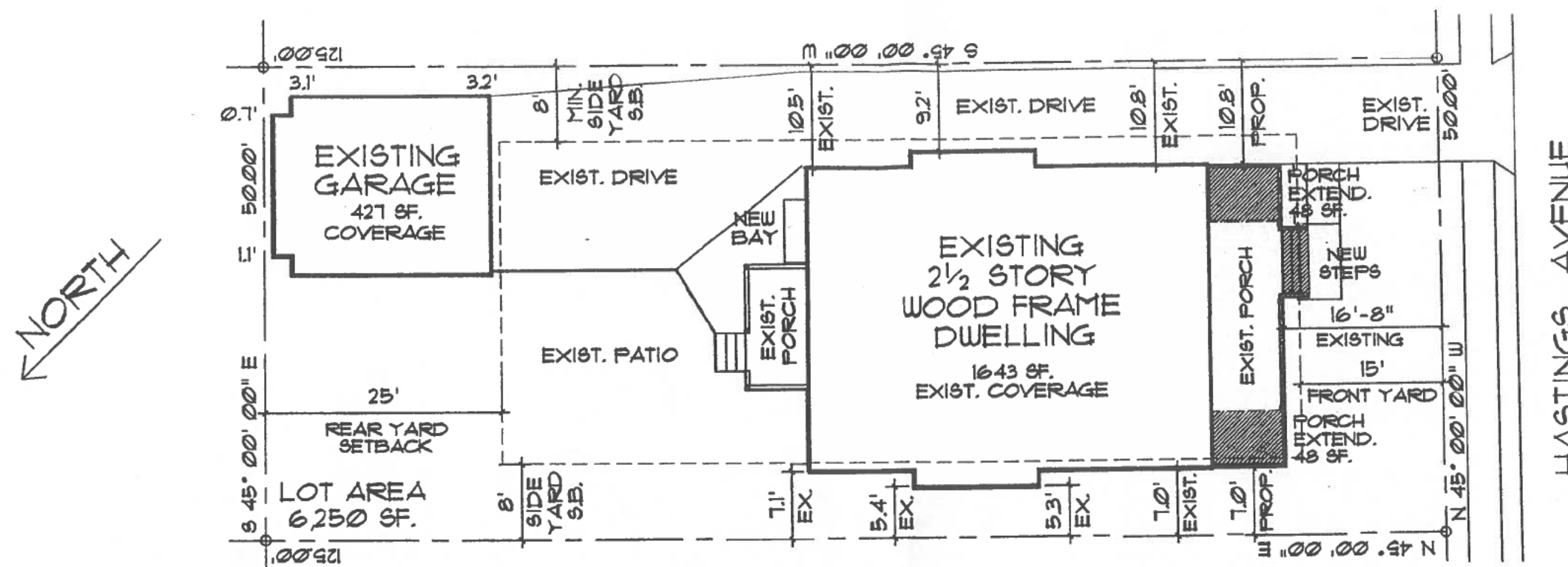
john@johnpowerarchitect.com

ZONING BOARD 9/12/22
DESIGN REVIEW 8/23/22

No.	Revisions	Date
PROJECT START		8/8/22
Drawing Title		

PLOT PLAN 4 ZONING ANALYSIS

Drawn by	Checked by
JJP	JJP
Project No.	Scale
2022.04	1" = 15'-0"
Drawing No.	



PLOT PLAN BASED ON SURVEY OF PROPERTY

PREPARED FOR
DENNIS & SANDRA SEGATTI
VILLAGE OF CROTON ON HUDSON
TOWN OF CORTLANDT
WESTCHESTER COUNTY, NEW YORK

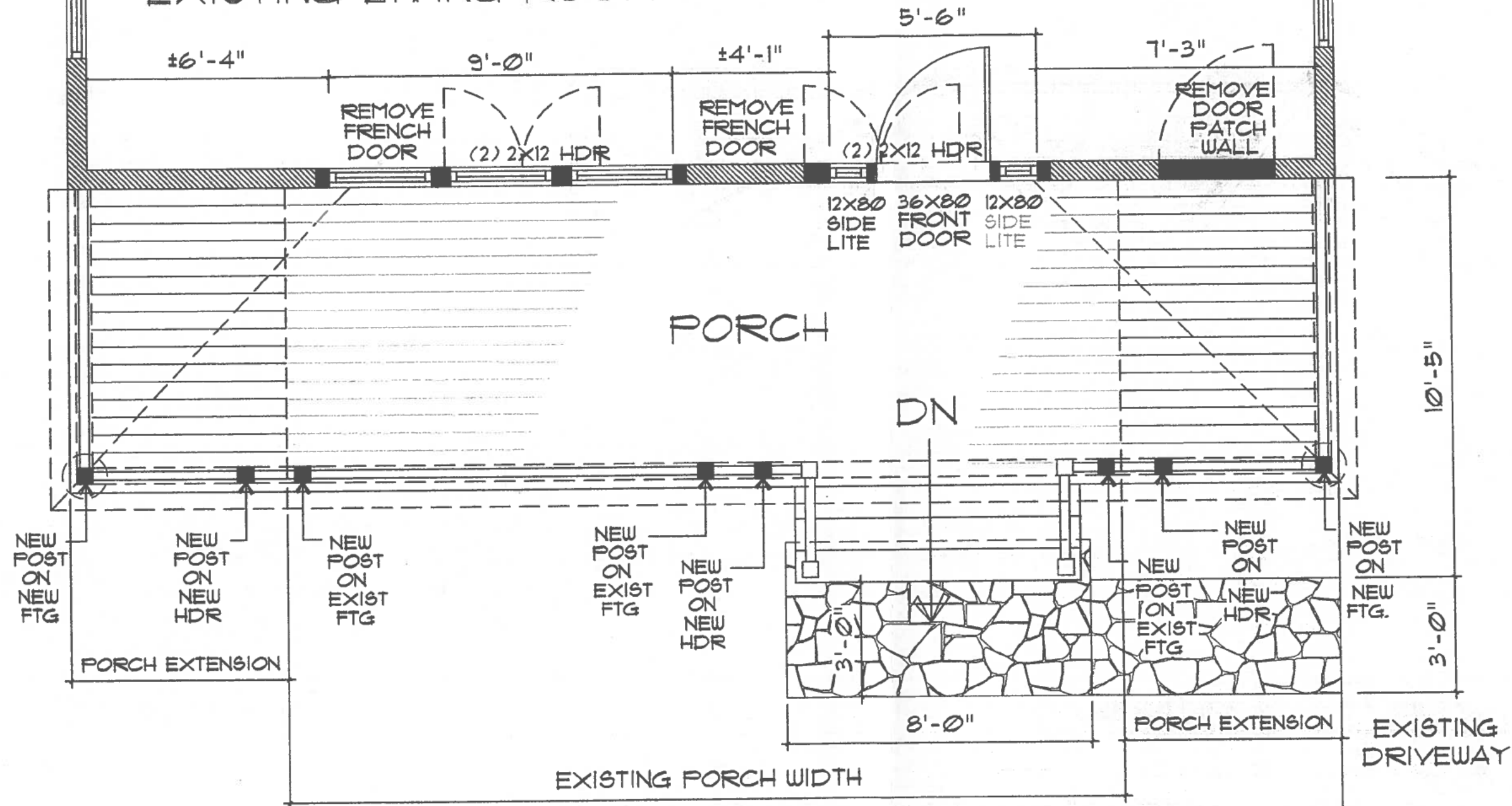
SURVEYED AUGUST 5, 1981
PREPARED AUGUST 6, 1981
BY

JOHN MARANO
LAND SURVEYOR
PLEASANTVILLE, NY

ZONING ANALYSIS FOR DISTRICT RA-5

PARAMETER	REQUIRED ALLOWED	EXISTING	PROPOSED
LOT AREA MIN.	5,000 SF.	6,250 SF.	EXIST. NO CHANGE
LOT WIDTH MIN.	50 FEET	50 FEET	EXIST. NO CHANGE
LOT DEPTH MIN.	100 FEET	125 FEET	EXIST. NO CHANGE
FRONT YARD MIN.	15 FEET	16'-8"	16'-8" PORCH EXTEND.
SIDE YARD MIN.	8 FEET	53 FT.	7.0' PORCH EXTEND. 10' VARIANCE REQ'D
BOTH SIDES COMBINED	20 FEET	14.5 FEET	17.8' PORCH EXTEND. 22' VARIANCE REQ'D
REAR YARD	25 FEET	57.8 FEET	EXIST. NO CHANGE
FLOOR AREA RATIO	0.55 3,437 SF.	0.47 2,904 SF.	EXIST. NO CHANGE
MAXIMUM HEIGHT	2½ STORY 35 FT.	2½ STORY 27 FEET	EXIST. NO CHANGE
BLDG. COVERAGE	40% 2,500 SF.	33% 2,070 SF.	34.6% 2,166 SF. SF.

EXISTING LIVING ROOM



EXISTING WALL
TO REMAIN



NEW WALL
CONSTRUCTION



EXISTING TO
BE REMOVED



SNILSBERG
BLATCHFORD
RESIDENCE

FRONT PORCH
AND ENTRY
ALTERATIONS

98
HASTINGS ST
CROTON ON HUDSON
NEW YORK



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ARCHITECT

24 VAN WYCK STREET
CROTON ON HUDSON N.Y. 10520

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ZONING BOARD 9/12/22
DESIGN REVIEW 8/23/22

No.	Revisions	Date
PROJECT START		8/8/22
Drawing Title		

FIRST FLOOR
CONSTRUCTION PLAN

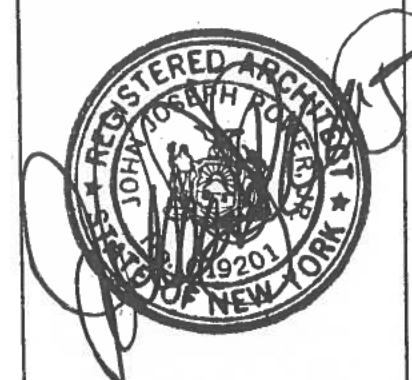
Drawn by	Checked by
JJP	JJP
Project No.	Scale
202204	5/16"=1'-0"
Drawing No.	

A-3

SNILSBERG BLATCHFORD RESIDENCE

FRONT PORCH AND ENTRY ALTERATIONS

98
HASTINGS ST
CROTON ON HUDSON
NEW YORK



JOHN POWER
ARCHITECT

24 VAN WYCK STREET
CROTON ON HUDSON N.Y. 10520

914 . 271 . 3221

john@johnpowerarchitect.com

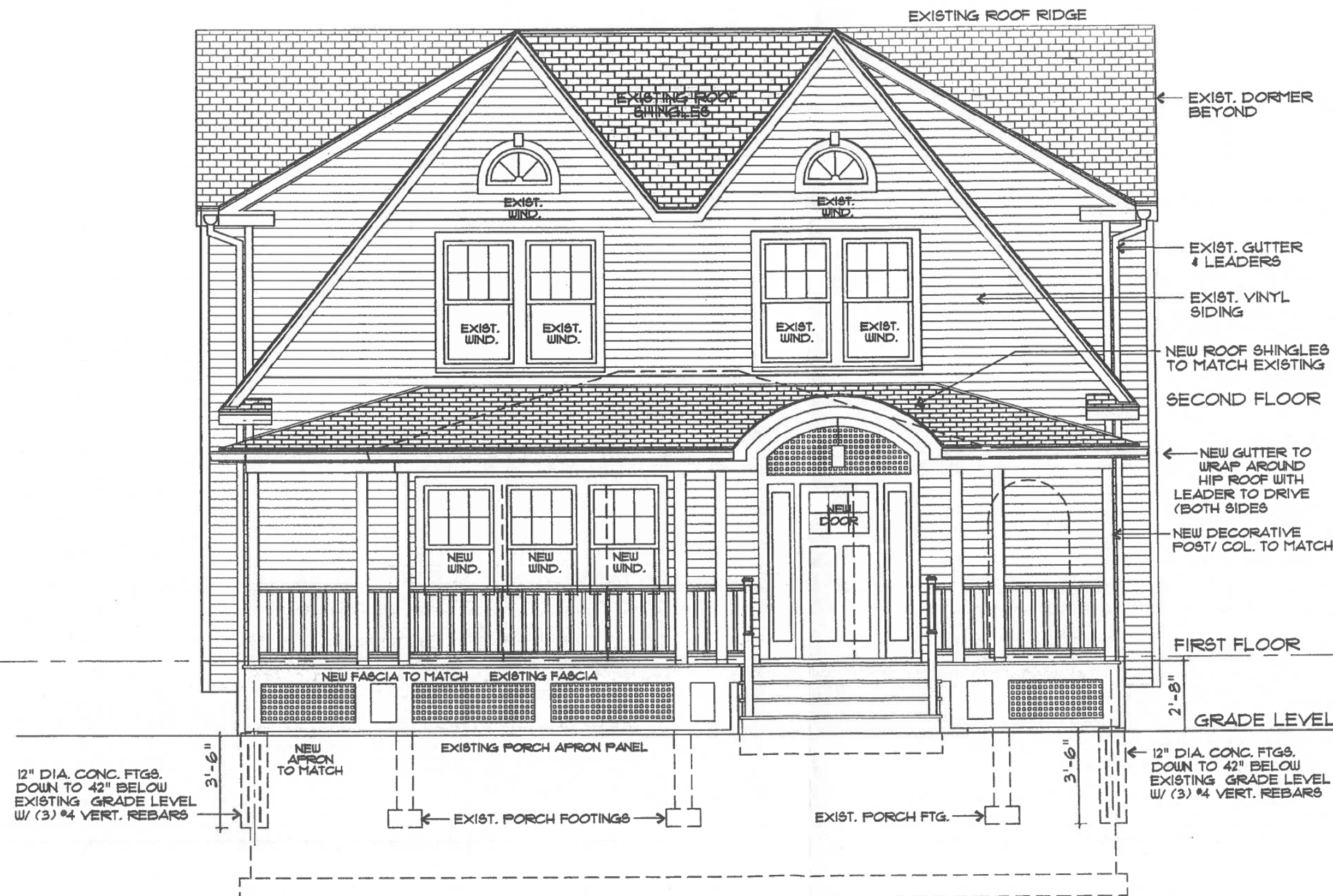
ZONING BOARD 9/12/22
DESIGN REVIEW 8/23/22

No.	Revisions	Date
PROJECT START		8/8/22
Drawing Title		

FIRST FLOOR
CONSTRUCTION PLAN

Drawn by	Checked by
JJP	JJP
Project No.	Scale
2022.04	1/4" = 1'-0"
Drawing No.	

A - 4



NEIGHBORING DWELLINGS



DWELLING
TO THE
LEFT



DWELLING
TO THE
RIGHT



DWELLING
ACROSS THE
STREET

STREET IMAGES



HASTINGS STREET ELEVATION



HASTINGS ST.
LOOKING
NORTH

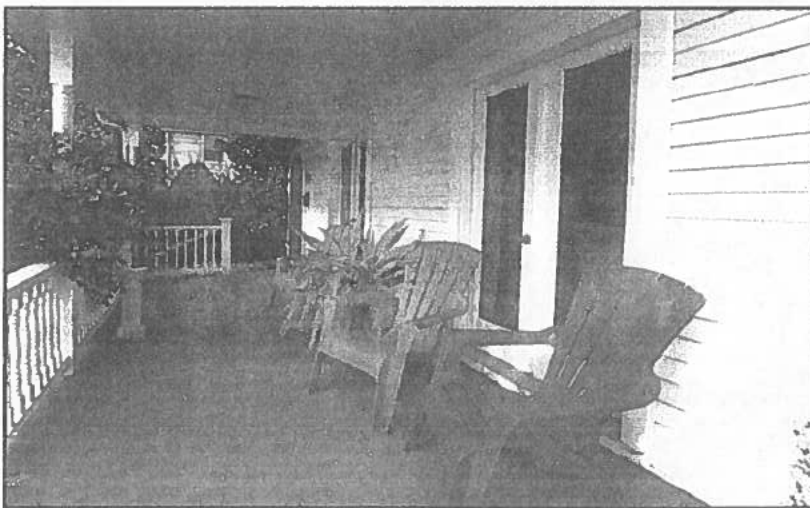


HASTINGS ST.
LOOKING
SOUTH

EXISTING DWELLING PHOTOS



EXISTING
ENTRY
STEPS



EXISTING
PORCH
LOOKING
NORTH



EXISTING
PORCH
LOOKING
SOUTH

EXISTING DWELLING PHOTOS



FRONT
OF EXISTING
DWELLING



SOUTH OF
DWELLING &
EXISTING
DRIVEWAY



NORTH
OF DWELLING

RESOLUTION

NOTICE IS HEREBY GIVEN THAT **Thor Snilsberg** has applied to the Zoning Board of Appeals of the Village of Croton-on-Hudson for a side yard variance and total side yard variance from Village Code Section 230-33A for a proposed extension of a front porch.

The property, at **98 Hastings Ave**, is located in a RA-5 Residential District and designated on the Tax Maps of the Village of Croton-on-Hudson as Section 79.13 Block 3 Lot 5.

This proposed action is considered a Type II Action under the State Environmental Quality Review Act (SEQRA) therefore, no Negative Declaration is required.

A public hearing having been held after due notice, this Board, after reviewing the application and viewing the premises and neighborhood concerned, finds:

1. No undesirable change in the character of the neighborhood nor detriment to nearby properties will be produced by the granting of the variance.
2. The benefit sought by the applicant can be achieved by a method other than the requested variance; but would not achieve the desired outcome.
3. The requested variance is not substantial.
4. The proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district;
5. The difficulty alleged by the applicant was self-created.

NOW, THEREFORE, BE IT RESOLVED, that a side yard variance of 1'ft and total side yard variance of 2.2'ft for a proposed extension of a front porch be **GRANTED** subject to the following conditions, and further finds the variance granted herein is the minimum variance necessary and adequate.

Motion: Mr. Tuman

Second: Mr. Mastronardi

Vote: AYES 3 NAYS 0 (Chairperson Wagner, absent; Mr. Weber, absent)

Condition(s):

1. That, according to Section 230-164(E), "Unless work is commenced and diligently prosecuted within one (1) year of the date of the granting of a variance or special permit, such variance or special permit shall become null and void".
2. That, the variance is granted based on the plans and other documents submitted in support of the application.

10/22/2024

FINAL

Village of **Croton-on-Hudson** New York

ENGINEERS OFFICE
Stanley H. Kellerhouse Municipal Building
One Van Wyck Street, 2nd floor
Croton-on-Hudson, NY 10520-2501
engineering@crotononhudson-ny.gov

October 25, 2024

Mr. Thor Snilsberg
98 Hastings Ave.
Croton on Hudson, NY 10520

RE: 98 Hastings Ave-- Zoning Board of Appeals Variances

Dear Mr. Snilesberg:

At its regular meeting on October 24, 2024 the Zoning Board of Appeals voted to grant the re-approval of the requested variance, with conditions, for the above-referenced property. Attached is a copy of the resolution issued by the Zoning Board of Appeals.

Please be advised that you will need to apply for a building permit for the construction work. Work must commence within 1 year of the granting of the variance. A Building Permit application can be found online at www.crotononhudson-ny.gov/engineering.

If you have any further questions, please don't hesitate to contact this office at (914) 271- 4783.

Sincerely,

Stefanie DeMattia
Secretary to the Zoning Board of Appeals

CHAIRMAN
Christine Wagner

MEMBERS
Rocco Mastronardi
Doug Olcott
James Tuman
Daron Weber

ATTORNEY
Linda Whitehead

VILLAGE ENGINEER
Daniel O'Connor, P.E.

ASSISTANT VILLAGE ENGINEER
Ronald Wegner, P.E.

SECRETARY
Stefanie DeMattia

RESOLUTION

FINAL

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This proposed action is considered a Type II Action under the State Environmental Quality Review Act (SEQRA) therefore, no Negative Declaration is required.

A public hearing having been held after due notice, this Board, after reviewing the application and viewing the premises and neighborhood concerned, finds:

1. No undesirable change in the character of the neighborhood nor detriment to nearby properties will be produced by the granting of the variance.
2. The benefit sought by the applicant can be achieved by a method other than the requested variance; but would not achieve the desired outcome.
3. The requested variance is not substantial.
4. The proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district;
5. The difficulty alleged by the applicant was self-created.

NOW, THEREFORE, BE IT RESOLVED, that a side yard variance of 1'ft and total side yard variance of 2.2'ft for a proposed extension of a front porch be **GRANTED** subject to the following conditions, and further finds the variance granted herein is the minimum variance necessary and adequate.

Motion: Mr. Mastronardi

Second: Mr. Tuman

Vote: AYES 5 NAYS 0

Condition(s):

1. That, according to Section 230-164(E), "Unless work is commenced and diligently prosecuted within one (1) year of the date of the granting of a variance or special permit, such variance or special permit shall become null and void".
2. That, the variance is granted based on the plans and other documents submitted in support of the application.

10/12/2022

Village of **Croton-on-Hudson** New York

ENGINEERS OFFICE
Stanley H. Kellerhouse Municipal Building
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engineering@crotononhudson-ny.gov

CHAIRMAN
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Rocco Mastronardi
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ATTORNEY
Linda Whitehead

VILLAGE ENGINEER
Daniel O'Connor, P.E.

ASSISTANT VILLAGE ENGINEER
Ronald Wegner, P.E.

SECRETARY
Stefanie DeMattia

Mr. Thor Snilesberg
98 Hastings Ave.
Croton on Hudson, NY 10520

RE: 98 Hastings Ave-- Zoning Board of Appeals Variances

Dear Mr. Snilesberg:

At its regular meeting on October 12, 2022 the Zoning Board of Appeals voted to grant the requested variance, with conditions, for the above-referenced property. Attached is a copy of the resolution issued by the Zoning Board of Appeals.

Please be advised that you will need to apply for a building permit for the construction work. A Building Permit application can be found online at www.crotononhudson-ny.gov/engineering.

If you have any further questions, please don't hesitate to contact this office at (914) 271- 4783.

Sincerely,

Stefanie DeMattia
Secretary to the Zoning Board of Appeals

POSTED
BY *SD* 10/18/22