


**COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT**

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5380
desplaines.org

MEMORANDUM

Date: September 21, 2023

To: Michael G. Bartholomew, City Manager

From: John T. Carlisle, AICP, Director of Community & Economic Development (CED) *JTC*
Jonathan Stytz, AICP, Senior Planner (CED) *JSS*

Cc: Ryan Johnson, Assistant Director of CED

Subject: **Orchards at O'Hare Development – Case #23-051-FPUD-CU LASR:** Approval of a Major Change to a Final Planned Unit Development (PUD) with Exceptions, and an Amendment to a Conditional Use for a Localized Alternative Sign Regulation (LASR) at 2995-3025 Mannheim Road, 3401 Orchard Place, and 1620-1630 W. Higgins Road (6th Ward)

Issue: The petitioner is requesting the following: (i) a Major Change to a Final PUD for an existing commercial development to develop a Class B restaurant and electric vehicle (EV) charging area on Lot 5 of Orchards at O'Hare; and (ii) an amendment to the conditional use for a Localized Alternative Sign Regulation (LASR) under Section 12-11-8 of the Zoning Ordinance.

Petitioner: Rehan Zaid, 1375 Remington Rd, Ste E, Schaumburg, IL 60173

Owners: Orchards Lot 5, LLC; Orchards Lot 6, LLC; Orchards Lot 7, LLC; Prominence O'Hare, LLC; and DP Higgins, LLC (Manager: Rehan Zaid, 1375 Remington Rd, Ste E, Schaumburg, IL 60173)

Case Number: 23-051-FPUD-CU LASR

PINs: 09-33-305-018-0000, -019, -020, -023, -024, -025

Ward: #6, Alderman Mark Walsten

Existing Zoning: C-3, General Commercial District

Existing Land Uses: Hotel (commercial) with attached restaurant under construction (commercial), Convenience Mart Fueling Station with accessory food and beverage (commercial), Multi-Tenant Commercial Building (Commercial)

Surrounding Zoning: North: C-3, General Commercial District (City of Des Plaines)
South: Commercial (D) (Village of Rosemont)
East: C-2, Limited Office Commercial District / C-3 General Commercial District (City of Des Plaines)

West: C-3 General Commercial District (City of Des Plaines) / Commercial (D) (Village of Rosemont)

Surrounding Land Use: North: Commercial restaurant and retail development under construction
South: Class B Restaurant in City of Des Plaines (Commercial); Two Hotels and Class A Restaurant in Village of Rosemont (Commercial)
East: Railroad; then Multi-tenant Office Building (Commercial)
West: Hotel (Commercial) in Village of Rosemont

Street Classification: Mannheim and Higgins Roads are arterial roads under Illinois Department of Transportation (IDOT) jurisdiction.

Comprehensive Plan : Commercial is the recommended use of the property.

Zoning/Property History: Based on City records, the eight lots comprising the subject property were annexed into the City in 1956 as vacant lots. A portion of the subject property was originally utilized as an office and warehouse building until 2010, when the building was demolished and the site was utilized as a parking lot.

On August 1, 2016 via Ordinance Z-18-16, City Council approved a Final PUD with a height exception and a Final Plat of Subdivision consisting of a hotel (Lot 3), a freestanding Class A restaurant (Lot 5), an automotive service station with two food services (Lots 6 and 8), and a car wash (Lot 7). Out of the eight-lot subdivision, Lots 1, 2, and 4 were not included in the original PUD. Ordinance Z-18-16 required certain conditions, among others, related to signs and any future adjustments to the approved PUD. All signs on the PUD would require a LASR through Section 12-11-8 of the Zoning Ordinance, and any proposed changes to uses within the PUD would be a major change requiring City Council approval pursuant to Section 12-3-5.G of the Zoning Ordinance. As such, in 2017 the petitioner applied for a conditional use for a LASR, which was approved by City Council on June 18, 2018 through Ordinance Z-18-18. The LASR request included a variety of different wall, monument, pole, directional, and canopy signs. Lots 3, 6, and 8 were developed and improved with the approved signs. However, Lots 5 and 7 have not yet been developed.

The most recent application associated with this property was in 2019, where the petitioner requested to amend both the original PUD and LASR sign plan approvals to develop Lot 1 of the subdivision with a one-story commercial building with two tenant spaces, a drive-through, and separate surface parking area. These proposed amendments were approved by City Council on April 1, 2019 through Ordinance Z-5-19, and all associated improvements have been completed on Lot 1.

Development Summary: Petitioner Rehan Zaid, who is an owner and authorized agent for the ownership entities within the Orchards at O'Hare campus, is proposing a major change to the existing PUD. Lot 5 is 41,514 square feet in size, located along the east side of Mannheim Road on the west of the PUD. Called "the restaurant pad" historically because it was originally envisioned as a freestanding, sit-down restaurant, the lot is currently improved with a partial surface parking area, as the restaurant has not been built. Instead, in the Mannheim-Pratt development by GW Properties, north of the Tollway, a sit-down restaurant (Outback Steakhouse) is expected.

There are no proposed changes to the dimensions or size of Lot 5. Instead, the petitioner looks to develop the existing site with the Class B restaurant and a surface parking area with a mixture of standard and EV charging parking spaces as illustrated on the attached Site Plan for Lot 5. Information for each proposed business is summarized below and detailed in the attached Business Narratives.

- Popeyes is a fast-casual restaurant proposed for the one-story stand-alone 2,523-square-foot building positioned on the north of Lot 5. Their anticipated hours of operation are from 10:00 a.m. to 12:00 a.m. Sunday through Thursday and 10 a.m. to 1 a.m. on Friday and Saturday. A maximum of 12 employees will be on site at a given time. The building is designed with predominately brick material of varying colors.
- Tesla is a manufacturer of EVs and EV charging equipment and is proposing 52 Tesla EV charging spaces, or a “Supercharger¹,” for the southern portion of Lot 5. The charging stations are open 24/7 and are staffed remotely via a 24/7 customer service support line.

MAJOR CHANGE TO PUD

Request Summary:

Overview

The petitioner is requesting a Major Change to PUD to allow for the construction of a Class B restaurant and EV charging parking spaces on Lot 5 of Orchards at O’Hare. The current PUD (originally approved in 2016 and last amended 2019) permits a Class A—or primarily sit-down service—restaurant, as well as a hotel, fueling station with two food services, and the two-unit commercial building approved in 2019 (currently contains Panera Bread). The hotel, fueling station, and Panera building are not proposed to change, other than the sign details for the restaurant planned for the hotel (Cilantro Taco/Ostras). The Final PUD plan is proposed to be revised to illustrate and allow the proposed Class B—or primarily quick-service restaurant—with drive-through on the northern portion of Lot 5 and the designated EV charging area on the southern portion of Lot 5. The scope of work for Lot 5 includes the necessary construction of water, electric, gas, communication, and sanitary utilities.

Site Access

There are currently two indirect means of access to Lot 5: to the north from Mannheim Road through Lot 6, and to the south from Higgins Road (via local street Orchard Place) through Lot 3. Neither Lot 5 nor Lot 6 are proposed to change as part of this request. The proposed lot configuration will utilize the existing access points while also providing multiple 24-foot-wide, two-way travel drive aisles around Lot 5. The drive aisles for Lot 5 provide access to all sides of the proposed restaurant building and EV charging posts as shown on the attached Fire Truck Turning Radius diagram. The drive aisles meet the width standards for fire truck access and have been approved by the Fire Prevention Bureau.

¹ More information on Tesla superchargers: <https://www.tesla.com/supercharger>.

Off-Street Parking Areas and Requirements

The off-street parking requirements of Sections 12-9-7 and 12-9-8 of the Zoning Ordinance are based on the proposed Class B restaurant use since the EV charging spaces are accessory to the restaurant use. Pursuant to Section 12-9-7, Class B restaurants require one off-street parking space for every 50 square feet of net floor area, or one space for every four seats, whichever is greater, plus one space for every three employees. Pursuant to Section 12-9-8, the required number of accessible parking spaces is determined by the total number of parking spaces available on the site.

The proposed restaurant building is 2,523 square feet of gross floor area with approximately 683 square feet of net floor area for the dining area and 24 seats. Given the parking requirements above, the number of parking spaces required based on the dining area are greater than the number of parking spaces required based on the number of seats, yielding a total of 14 required spaces. The proposal includes the installation of 52 EV charging spaces, including three EV spaces, is allowable under parking rules since these spaces are above and beyond the parking minimum. The attached Site Plan for Lot 5 indicates that a total of 100 off-street parking spaces are proposed for Lot 5—48 traditional², serving the restaurant, and 52 for EV charging. Together these require a minimum of four accessible parking spaces. A total of five accessible parking spaces are proposed for Lot 5—two serving the restaurant and three serving the EV charging posts—which meets this standard.

Drive-Through Facility

The proposed Class B restaurant includes a drive-through facility, which is a permitted use on the subject property given its C-3 zoning designation and that it is not adjacent to residential. Pursuant to Section 12-9-4 of the Zoning Ordinance, each drive-through facility must provide a minimum of six stacking spaces plus one stacking space per waiting area provided. Based on the attached Site Plan for Lot 5, the total number of stacking spaces provided for both drive-through facilities is ten, which meets this requirement. However, the width of the drive aisle is 11 feet, which does not meet the minimum 12-foot-width requirement and requires a PUD exception.

Off-Street Loading Requirements

Section 12-9-9 of the Zoning Ordinance requires that for any new commercial building, loading shall be provided, with 50,000 square feet of gross floor area or a “fraction thereof” as the basis for the number of loading spaces. The petitioner’s submittal does not designate or label a loading space. Further, the Section establishes that the standard size of a loading space is 35 feet long by 15 feet wide. Section 12-9-9.A. does state, however, that the dimensions for a loading space may be “...otherwise specified...” Because the use is contained within a small building and it is not foreseeable it will have frequent, large-vehicle deliveries, staff recommends a condition that would specify the loading space as having the same dimensions as a parking stall (approximately 8.5 feet wide by 18 feet long), provided the Site Plan is updated at the time of building permit to label the space and it is reserved and sited in a logical and allowable location under Section 12-9-9.C.

² One space may be reserved for loading.

Landscaping Improvements

The original approving ordinance for the Orchards at O’Hare PUD—Ordinance Z-18-18—includes a landscape plan for Lot 5 of the PUD. However, the proposal includes amending the proposed landscaping for the lot to accommodate the restaurant and EV charging spaces. The attached Landscape Plan for Lot 5 illustrates foundation landscaping (to address Section 12-10-10) for the restaurant as well as designated perimeter and interior parking lot landscaping areas (Section 12-10-8). However, the plan does not fully meet the width and planting requirements for the perimeter parking areas or the planting requirements for the interior landscape bed in the middle of the EV charging area, each requiring a PUD exception.

Anticipated Revenue from Tesla Charging Location

Staff requested that the petitioner provide information related to the anticipated kilowatt usage of the EV charging area to determine its potential impact on utilities. Based on kilowatt usage on an existing EV charging location, which has been scaled up to 52 EV charging posts to match the proposal on Lot 5—Tesla has provided the anticipated energy forecast below:

Month	kWh	Max Demand kW
April	472,402.45	3,302.39
May	489,608.02	3,514.88
June	631,355.83	3,510.38
July	652,568.85	3,931.26
August	666,821.36	3,804.55
September	618,319.54	3,850.60
October	613,765.56	3,937.51
November	622,555.61	3,680.01
December	672,116.05	3,646.25
January	572,866.59	3,747.96
February	652,704.08	3,475.37
March	713,870.20	3,622.73

Based on the information provided by Tesla, staff calculated a range of estimates for the anticipated utility revenue under the Municipal Utility Tax (15-3-3 of the City Code), summarized in the table below.

EV Charging Company	Lowest Projected kWh usage	Mid-level Projected kWh usage	Highest Projected kWh usage
Tesla Superchargers	472,402 kWh per month or \$161,443	622,555 kWh per month or \$207,342	713,870 kWh per month or \$237,293

*Scenario involves 52 Tesla Superchargers per the plans in the slide deck provided and email correspondence.

*These numbers are approximate and may be subject to change.

CONDITIONAL USE LASR

Request Summary:

Proposed Sign Plans

The proposal includes a request to amend the existing LASR for the Orchards at O'Hare PUD based on the proposed uses on Lots 3 and 5. The proposal intends to retain most of the signs approved for Lots 3, 5, 6, and 7 through Ordinance Z-18-18 and all signs approved for Lot 1 through Ordinance Z-5-19 as summarized below and illustrated in the attached Combined Sign Plans for Lots 1, 3, 5, 6, and 7.

- **Multi-Tenant Monument Signs:** The existing PUD currently contains two 17-foot-tall, 138-square-foot multi-tenant monument signs—one of which located on Lot 1 and the other on Lot 5. The proposal includes the installation of three tenant panel signs—Popeyes, Cilantro Taco, and Ostras—into existing slots in the sign without any changes to the sign size, location, or structure.
- **Lot 1 (Commercial building with two tenant spaces) Sign Plan:** Aside from the minor tenant panel changes on the multi-tenant monument sign, the proposal intends to retain all existing ground signs (directional, menu board, clearance bar) and building wall signs.
- **Lot 3 (Hotel and the Cilantro and Ostras Restaurants) Sign Plan:** The existing hotel signs are not subject to change. However, the proposal does include new signs for the proposed Cilantro and Ostras restaurants located in the hotel including two wall signs for both restaurants on the south and west hotel building elevations and a single wall sign for both restaurants on the north hotel building elevation. An electronic message board (EMB) pole sign is also included for Lot 3 in the attached Combined Sign Plans for Lots 1, 3, 5, 6, and 7 document. This sign is intended to be visible from the I-90 Tollway. *Note this sign was approved through Ordinance Z-18-18, but it has not yet been constructed on site.*
- **Lot 6 (BP Station, Dunkin, and Which Wich) Sign Plan:** The existing BP fuel monument sign, which was rebranded through a building permit approved in 2018, and the convenience mart fueling station—including Dunkin Donuts signs—are not subject to change as part of this request. However, the proposal does request additional signs for both the gas station canopy and Dunkin Donuts:
 - Ordinance Z-18-18 approved two canopy signs for the gas station canopy measuring 27 inches in height. Although the existing fuel station canopy includes three canopy signs at 48 inches in height, which are requested for the amended LASR.
 - Ordinance Z-18-18 approved a 32-square-foot menu board sign for Dunkin Donuts located behind the convenience mart building. However, the existing menu board structure is approximately 27 square feet and includes a canopy structure over the ordering area, which are requested for the amended LASR.

- **Lot 5 (Popeyes and Tesla) Sign Plan:** Aside from the minor tenant panel changes on the multi-tenant monument sign, the proposal includes the addition of many new ground and building signs for the development of the new restaurant use and EV charging spaces on site, which are summarized in the table below. Note there are no specific ground or building signs for the EV charging spaces. However, pavement markings will be provided to indicate all EV charging spaces.

Sign ID*	Sign Type	Sign Location	Sign Area**
N1	Wall	West (front) elevation	53 SF
N2	Wall	South (side) elevation	33 SF
N3	Wall	North (side) elevation	26 SF
N4	Wall	East (rear) elevation	26 SF
N5	Wall	West (front) elevation	18 SF
N6	Wall	South (side) elevation	95 SF
N14	Wall	North (side) elevation	32 SF
N15	Wall	North (side) elevation	32 SF
N16	Wall	North (side) elevation	32 SF
N17	Wall	South (side) elevation	32 SF
N18	Wall	South (side) elevation	32 SF
N22	Directional	North Entrance to Lot 5	10 SF
N23	Directional	North of Drive-Through Lanes	10 SF
N24	Directional	Entrance of Drive-Through Lanes	10 SF
N25	Directional	East of Drive-Through lanes	6 SF
Total Sign Area (Lot 5):			447 SF

*Items N7-N13 and N19-N21 are not classified as signs and are not included in this table.

**Sign areas rounded to the nearest whole number.

PZB Recommendation and Conditions: The PZB opened a public hearing on August 22, 2023, and pursuant to a request by the petitioner, continued the case to the September 12, 2023 meeting to consider the requests. The Board’s rationale for recommendation is captured in the excerpt to the approved minutes of the September 12, 2023 meeting. The PZB voted 7-0 to *recommend* that the City Council *approve* the Major Change to the PUD and voted 7-0 to *recommend* that the City Council *approve* the conditional use for a LASR.

Pursuant to Sections 12-3-4.D.4 and Section 12-3-5.D.5 of the Zoning Ordinance, the Council has final authority to approve, approve with modifications, or deny the requests, which will be included in Ordinance Z-28-23. Should the Council vote to approve the conditional use LASR request, staff and the PZB recommend the following conditions:

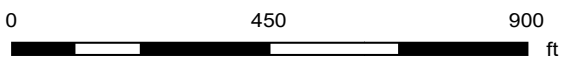
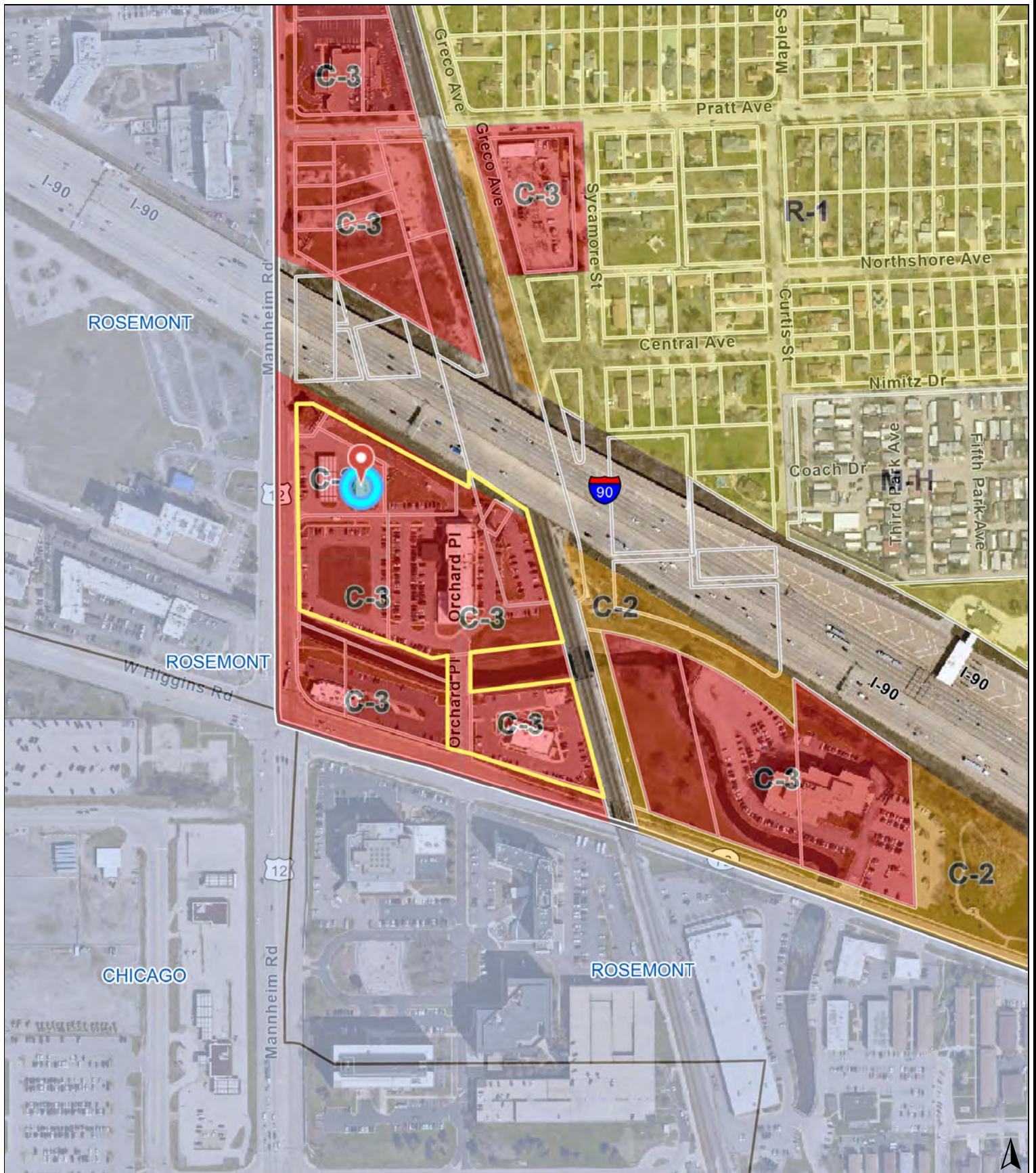
1. A three-foot landscape bed in all directions must be provided at the base of all freestanding signs. All landscape beds must be comprised of low-lying evergreen shrubs, perennials, and annuals.
2. Structural design plans shall be provided for all signage at time of building permit.
3. The required loading space for the Class B restaurant may be specified as standard depth and width as a normal parking stall; provided, however, the space is marked as reserved for a loading purpose and is placed in a location permissible under Section 12-9-9.C of the Zoning Ordinance. The Site Plan shall be updated at the time of building permit to label the required space.

Attachments:

- Attachment 1: Location and Zoning Map
- Attachment 2: Site and Context Photos
- Attachment 3: Boundary and Topographic Survey of Lot 5
- Attachment 4: Aerial Exhibit and Site Condition Photos of Lot 5
- Attachment 5: Petitioner's Standards for a Conditional Use
- Attachment 6: Lot 5 Site Plan
- Attachment 7: Public Works and Engineering Memo
- Attachment 8: Fire Truck Turning Exhibit for Lot 5
- Attachment 9: PZB Chairman Szabo Memo to Mayor and City Council
- Attachment 10: Excerpt of Approved Minutes from the September 12, 2023 PZB Meeting

Ordinance Z-28-23

- Exhibit A: Amended Final PUD Plat (includes PUD Site Plans)
- Exhibit B: Amended LASR Sign Plan
- Exhibit C: Qualifying Statement and Narrative for Popeyes
- Exhibit D: Business Narrative for Tesla Charging
- Exhibit E: Lot 5 Preliminary Engineering Plans
- Exhibit F: Architectural Plans for Popeyes
- Exhibit G: Architectural Plans for Tesla
- Exhibit H: Landscape Plan for Lot 5
- Exhibit I: Photometric Plan for Lot 5
- Exhibit J: Unconditional Agreement and Consent



Print Date: 9/7/2023

Notes

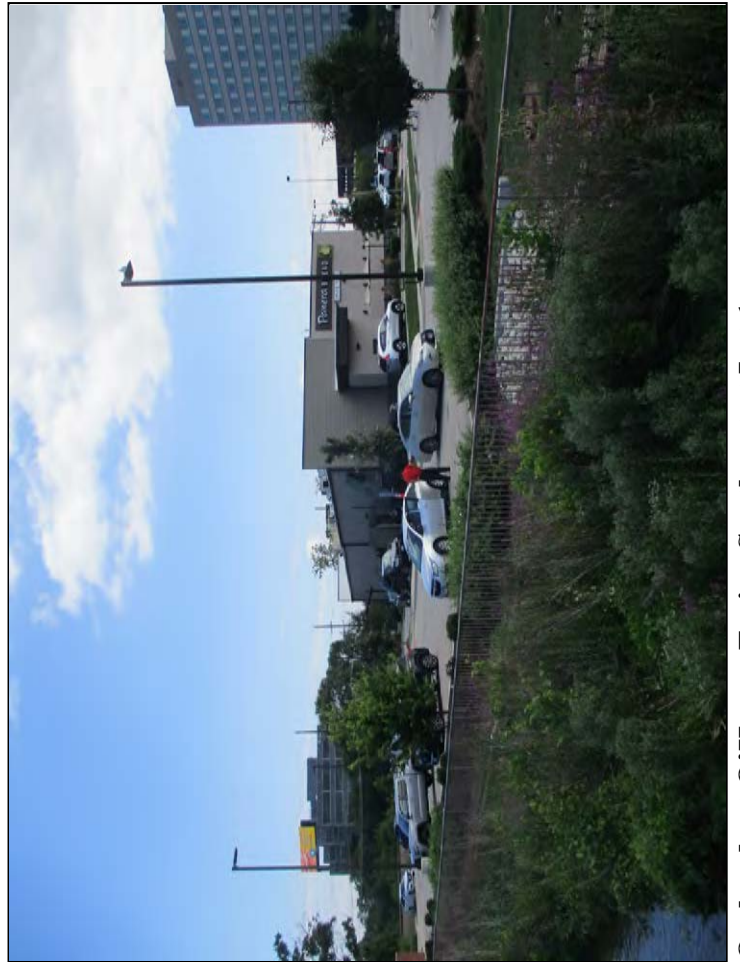
Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



Orchards at O'Hare – Public Notice & Front of Lots 5 and 6



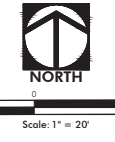
Orchards at O'Hare – Public Notice & Front of Lot 1



Orchards at O'Hare – Facing Southeast at Lot 1



Orchards at O'Hare – Facing Southeast at Lot 6



LEGAL DESCRIPTION

LOT 5 IN THE FINAL PLAT OF THE ORCHARDS AT O'HARE SUBDIVISION, BEING A RESUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 27, 2016 AS DOCUMENT NO. 1636218072, IN COOK COUNTY, ILLINOIS.

Surveyor's Notes:

- 1. Field work was completed on January 28, 2020.
2. The Horizontal coordinates and basis of bearing shown hereon are based on NAD 83(2012) Illinois East Zone 1201 State Plane Coordinates as referenced from Kara Company's RTK Network.
3. The basis of bearing shown hereon is based on the Final Plat of The Orchards at O'Hare Subdivision recorded on December 27, 2016 as Doc. No. 1636218072.
4. The Vertical Datum referenced hereon is based on NAVD 88 (Geoid 12A) as referenced from Kara Company's RTK Network.
5. A title commitment policy was not provided for this survey. This property may be subject to easements and/or restrictions not provided to the surveyor prior to the completion of this survey.
6. Utility information shown hereon is based upon field measurements, available records, information from field data is limited to that which is visible and can be measured. This survey does not exclude the possibility of the existence of other underground utilities and or structures. Record information is based upon data collected from both public and private sources. The completeness and/or accuracy of these records cannot be guaranteed, except for those items that can be verified by field measurement. Prior to any excavation contact J.U.L.I.E. (1-800-892-0123).

LEGEND

- Manhole
Catch Basin
Inlet
Storm Sewer
Sanitary Sewer
Water Main
Fire Hydrant
Valve Vault
Valve Box
B-Box
Light Pole
Hand Hole
Sign
Gas Line
Electric Line
Overhead Utility Line
Handicapped Parking Stall
Curb & Gutter
Depressed Curb
Curb Elevation and Gutter/Pavement Elevation
Pavement Elevation
Ground Elevation
Contour Line
Deciduous Tree
Coniferous Tree

Benchmark

- Site Benchmark
CP # 633 (see survey)
Description: Cross Notch
Elevation: 640.54 NAVD 88 (Geoid 12A)
CP # 741 (see survey)
Description: Cross Notch
Elevation: 640.81 NAVD 88 (Geoid 12A)
CP # 750 (see survey)
Description: Cross Notch
Elevation: 638.69 NAVD 88 (Geoid 12A)
CP # 801 (see survey)
Description: Arrow Bolt
Elevation: 642.69 NAVD 88 (Geoid 12A)
CP # 20731 (see survey)
Description: Cross Notch
Elevation: 639.76 NAVD 88 (Geoid 12A)

State of Illinois)
County of Cook)
This professional service conforms to the current Illinois minimum standards for a boundary and topographic survey.
Schaumburg, Illinois July 14, 2023
By: [Signature] Illinois Professional Land Surveyor No. 3695

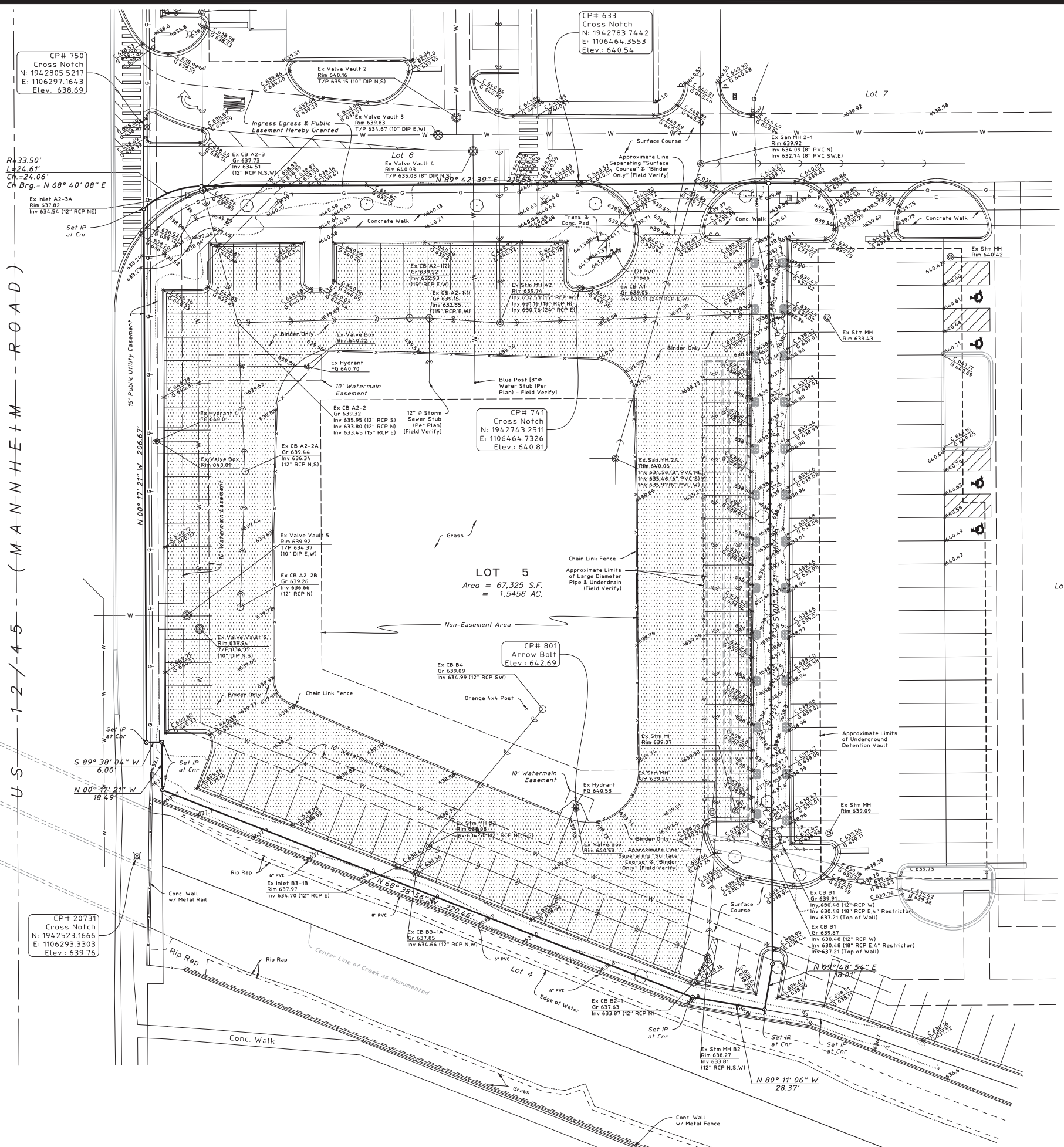


EXPIRES 11-30-24

HAEGER ENGINEERING
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BOUNDARY & TOPOGRAPHIC SURVEY
LOT 5
ORCHARDS AT O'HARE
DES PLAINES, ILLINOIS

Project Manager: JWG
Draftsman: JDH
Date: 07.11.2023
Project No: 15-180
Sheet: 1



US-12/45 - (MANNHEIM ROAD) - 15' Public Utility Easement

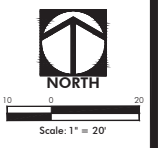
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E: 1106464.3553
Elev. 640.54

CP# 741
Cross Notch
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E: 1106464.7326
Elev. 640.81

CP# 801
Arrow Bolt
Elev. 642.69



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**EXISTING CONDITIONS
 AERIAL EXHIBIT
 ORCHARDS AT O'HARE
 PUD AMENDMENT
 CITY OF DES PLAINES, COOK COUNTY, ILLINOIS**

Project Manager: T A S
 Engineer: P A C
 Date: 07/17/2023
 Project No. 15-180
 Sheet 1 / 1

No. _____
 Date _____
 Revision _____

NORTH VIEW



NORTHWEST VIEW
(FROM SOUTHWEST)



TESLA

LOT 5 - PHOTOS OF EXISTING SITE CONDITIONS
JULY 10TH, 2023

WEST VIEW



SOUTHWEST VIEW
(FROM SOUTHWEST)



TESLA

LOT 5 - PHOTOS OF EXISTING SITE CONDITIONS
JULY 10TH, 2023

SOUTH VIEW



SOUTHEAST VIEW
(FROM SOUTH)



TESLA

LOT 5 - PHOTOS OF EXISTING SITE CONDITIONS
JULY 10TH, 2023

SOUTHEAST VIEW
(FROM NORTHWEST)



SOUTHWEST VIEW
(FROM NORTHEAST)



TESLA

LOT 5 - PHOTOS OF EXISTING SITE CONDITIONS
JULY 10TH, 2023

EAST VIEW



NORTHEAST VIEW



TESLA

LOT 5 - PHOTOS OF EXISTING SITE CONDITIONS
JULY 10TH, 2023

NORTHWEST VIEW
(FROM SOUTHEAST)



TESLA

LOT 5 – PHOTOS OF EXISTING SITE CONDITIONS
JULY 10TH, 2023

**ORCHARDS AT O'HARE
PUD Amendment
Standards for Planned Unit Developments
July 17, 2023 Submittal**

The Planning and Zoning Board and City Council review the particular facts and circumstances of each proposed Planned Unit Development in terms of the following standards. Keep in mind that in responding to the items below, you are demonstrating that the proposed use is appropriate for the site and will not have a negative impact on surrounding properties and the community. Please answer each item completely and thoroughly.

1. The extent to which the proposed plan is or is not consistent with the stated purpose of the planned unit development regulations set forth in subsection A of this section;

The proposed plan is consistent with the stated purpose of the PUD regulations. The PUD for the Orchards at O'Hare was established in 2018 (Ordinance Z-18-16) and amended in 2019 to incorporate the redevelopment of Lot 1 (Ordinance Z-5-19). The original LASR was approved in 2018 (Ordinance Z-18-18) and amended in 2019 for Lot 1 with the above referenced Ordinance Z-5-19.

The proposed amendment to the existing PUD for Lot 5 is consists of the following that maintains the same access and internal vehicular circulation previously approved.

1. *Eliminate the previously approved 6,550 SF Class A restaurant (i.e., a sit-down restaurant) and replace it with a +/-2,523 SF (Gross Area) Class B Restaurant with drive-through facility and menu boards.*
2. *Modify parking configuration, including the addition of an east-west internal drive aisle for improved circulation.*
3. *Reduce the number of parking spaces, from 123 spaces on Lot 5 to 100 spaces, including fifty-two (52) EV Charging Parking Spaces. [Total loss of 23 stalls]*
4. *Modify the location of the proposed trash enclosure.*
5. *Shift, but maintain the proposed pedestrian access from the main entry of the restaurant to Mannheim Road via internal walk circulation.*
6. *Modify the proposed engineering, site lighting, landscaping, and signage to account for the modified site plan.*

Note:

The landscaping for the southern portion of Lot 5 (Telsa Leased Area) had to be reduced to allow for the required underground EV conduit and cable.

7. *Modify the LASR for Lot 5 and update the LASR for other portions of the Orchards at O'Hare.*

The modified site plan and restaurant with drive-through is consistent with similar uses within the existing PUD.

Note:

Refer to "Orchards at O'Hare – LASR Amendment Standards for Conditional Use" & "Orchards at O'Hare – Lot 5 PUD Amendment" for additional information."

2. The extent to which the proposed plan meets the requirements and standards of the planned unit development regulations;

The proposed changes are consistent with the PUD regulations approved for the site.

Orchards at O'Hare - PUD Amendment
Standards for Planned Unit Developments [07/17/2023] (CONTINUED)

3. The extent to which the proposed plan departs from the zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to, the density, dimension, area, bulk and use and the reasons why such departures are or are not deemed to be in the public interest;

The proposed changes are consistent with the PUD regulations approved for the site. There is a departure from the landscaping requirements for the southern portion of Lot 5 (Telsa Leased Area) in which the required landscaping had to be reduced to allow for the required underground EV conduit and cable. Providing the proposed fifty-two (52) EV Charging Parking Spaces are in the public interest as there is a demand for these, especially considering the proximity to O'Hare, car rental areas and adjacent roadways with high traffic volumes.

4. The extent to which the physical design of the proposed plan does or does not make adequate provision for public services, provide adequate control over vehicular traffic, provide for and protect designated common open space, and further the amenities of light and air, recreation and visual enjoyment;

The proposed plan does make adequate provision for the above in that the site plan modifications provide for adequate internal circulation and drive thru stacking. The amendment will not increase the burden on public services when compared to the previously approved PUD. The modifications to the site lighting is consistent with the previously approved PUD.

5. The extent to which the relationship and compatibility of the proposed plan is beneficial or adverse to adjacent properties and neighborhood;

The proposed site modifications are compatible with the existing use on the property and consistent with the previously approved PUD.

6. The extent to which the proposed plan is not desirable to the proposed plan to physical development, tax base and economic well-being of the entire community; and

The amendment to the PUD for Lot 5 will allow for the completion of this area for the PUD. The proposed Popeyes restaurant and EV Charging Parking Spaces will bring additional customers to the site that will use other amenities that include gas station, hotel and other restaurants.

7. The extent to which the proposed plan is not in conformity with the recommendations of the comprehensive plan

The proposed changes are consistent with the comprehensive plan and compatible with the existing PUD for the site.

ORCHARDS AT O'HARE – LASR AMENDMENT
Standards for Conditional Uses
July 17, 2023 Submittal

The Planning and Zoning Board and City Council review the particular facts and circumstances of each proposed Conditional Use in terms of the following standards. Keep in mind that in responding to the items below, you are demonstrating that the proposed use is appropriate for the site and will not have a negative impact on surrounding properties and the community. Please answer each item completely and thoroughly (two to three sentences each).

1. The proposed conditional use is in fact a conditional use established within the specific zoning district involved;

A Localized Alternative Sign Regulation (LASR) is a Conditional Use, as specified in Section 12-11-8 of the City of Des Plaines Zoning Ordinance. An amendment to previously approved LASR's for the property is being requested.

Note:

Refer to "Orchards at O'Hare – PUD Amendment Standards for Conditional Use for additional information."

2. The proposed conditional use is in accordance with the objectives of the city's comprehensive plan and this title;

The use of the site is commercial and located in the C-3, General Commercial Planned Unit Development (PUD). The proposed amendment to the previously approved Localized Alternative Sign Regulations (LASR) will continue to help keep the site commercial and assist potential patrons to find and navigate through this development.

Note:

Refer to "Orchards at O'Hare – PUD Amendment Standards for Conditional Use for additional information."

3. The proposed conditional use is designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity;

The existing Conditional Use for a Localized Alternative Sign Regulation (LASR) allows for multiple signs on the property for the site and buildings. The proposed amendment to the previously approved LASR request includes:

1. Eliminate previously approved signs that were not constructed and will not be constructed.
2. Modification of previously approved multi-tenant monument signs along Lot 1 (Higgins Road) and Lot 5 (Mannheim Road) to incorporate graphics of proposed tenants.
3. Modify the Lot 3 hotel building signage to reflect the proposed restaurant tenants.
4. Incorporate building, site signage and menu boards for the proposed Popeyes Louisiana Kitchen (Popeyes) on Lot 5.
5. Update the Lot 6 Monument Sign to reflect what was permitted in 2018.
6. Update the Lot 6 Fuel Canopy signage to reflect the current conditions with BP logos.
7. Update the Lot 6 building signage to incorporate the drive-thru window awning graphics.

ORCHARDS AT O'HARE – LASR AMENDMENT
Standards for Conditional Uses
July 17, 2023 Submittal

Note:

Refer to "Orchards at O'Hare – PUD Amendment Standards for Conditional Use for additional information."

4. The proposed conditional use is not hazardous or disturbing to existing neighboring uses;

Based on the relatively isolated location of the signage in relation to residential areas, the proposed amendment to the previously approved Localized Alternative Sign Regulations (LASR) is not anticipated to be hazardous or disturbing to the existing neighboring uses.

Note:

Refer to "Orchards at O'Hare – PUD Amendment Standards for Conditional Use for additional information."

5. The proposed conditional use is to be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools; or the persons or agencies responsible for the establishment of the proposed conditional use shall provide adequately any such services;

The proposed amendment to the previously approved Localized Alternative Sign Regulations (LASR) will have no effect on essential public facilities and services.

Note:

Refer to "Orchards at O'Hare – PUD Amendment Standards for Conditional Use for additional information."

6. The proposed conditional use does not create excessive additional requirements at public expense for public facilities and services and not be detrimental to the economic welfare of the community;

The proposed amendment to the previously approved Localized Alternative Sign Regulations (LASR) will not create a burden on public facilities, nor would they be a detriment to the economic well-being of the community.

Note:

Refer to "Orchards at O'Hare – PUD Amendment Standards for Conditional Use for additional information."

7. The proposed conditional use does not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors;

The proposed amendment to the previously approved Localized Alternative Sign Regulations (LASR) will not create additional traffic or noise that could be detrimental to surrounding land uses.

ORCHARDS AT O'HARE – LASR AMENDMENT
Standards for Conditional Uses
July 17, 2023 Submittal

Note:

Refer to "Orchards at O'Hare – PUD Amendment Standards for Conditional Use for additional information."

8. The proposed conditional use provides vehicular access to the property designed that does not create an interference with traffic on surrounding public thoroughfares;

The proposed amendment to the previously approved Localized Alternative Sign Regulations (LASR) will not create an interference with traffic on surrounding public thoroughfares.

Note:

Refer to "Orchards at O'Hare – PUD Amendment Standards for Conditional Use for additional information."

9. The proposed conditional use does not result in the destruction, loss, or damage of a natural, scenic, or historic feature of major importance; and

The proposed The proposed amendment to the previously approved Localized Alternative Sign Regulations (LASR) would not cause the destruction, loss, or damage of any natural, scenic, or historic features of major importance. The signs will be used to enhance an existing development and provide needed signage for the completion of Lot 5.

Note:

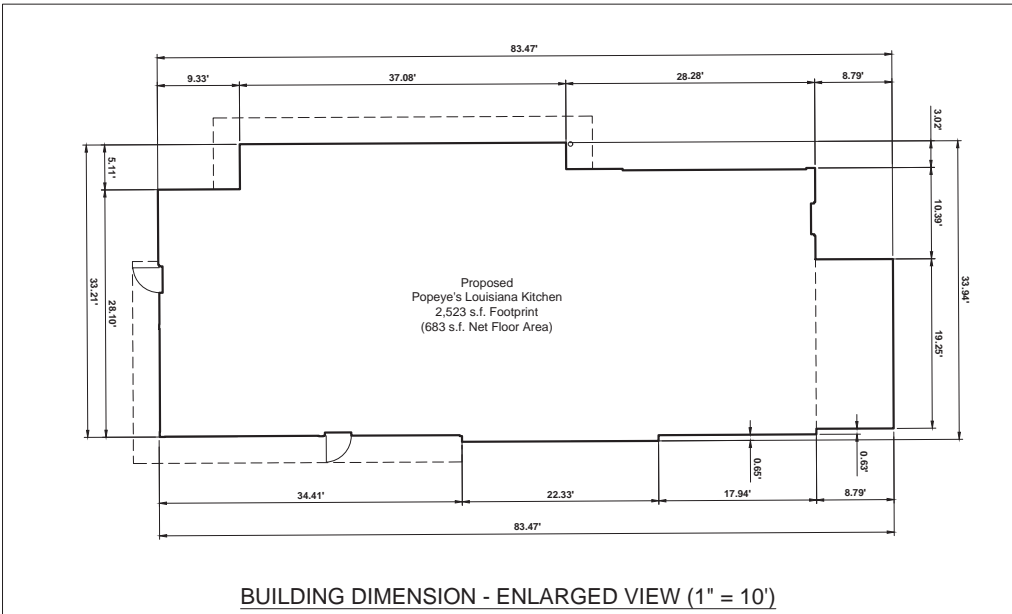
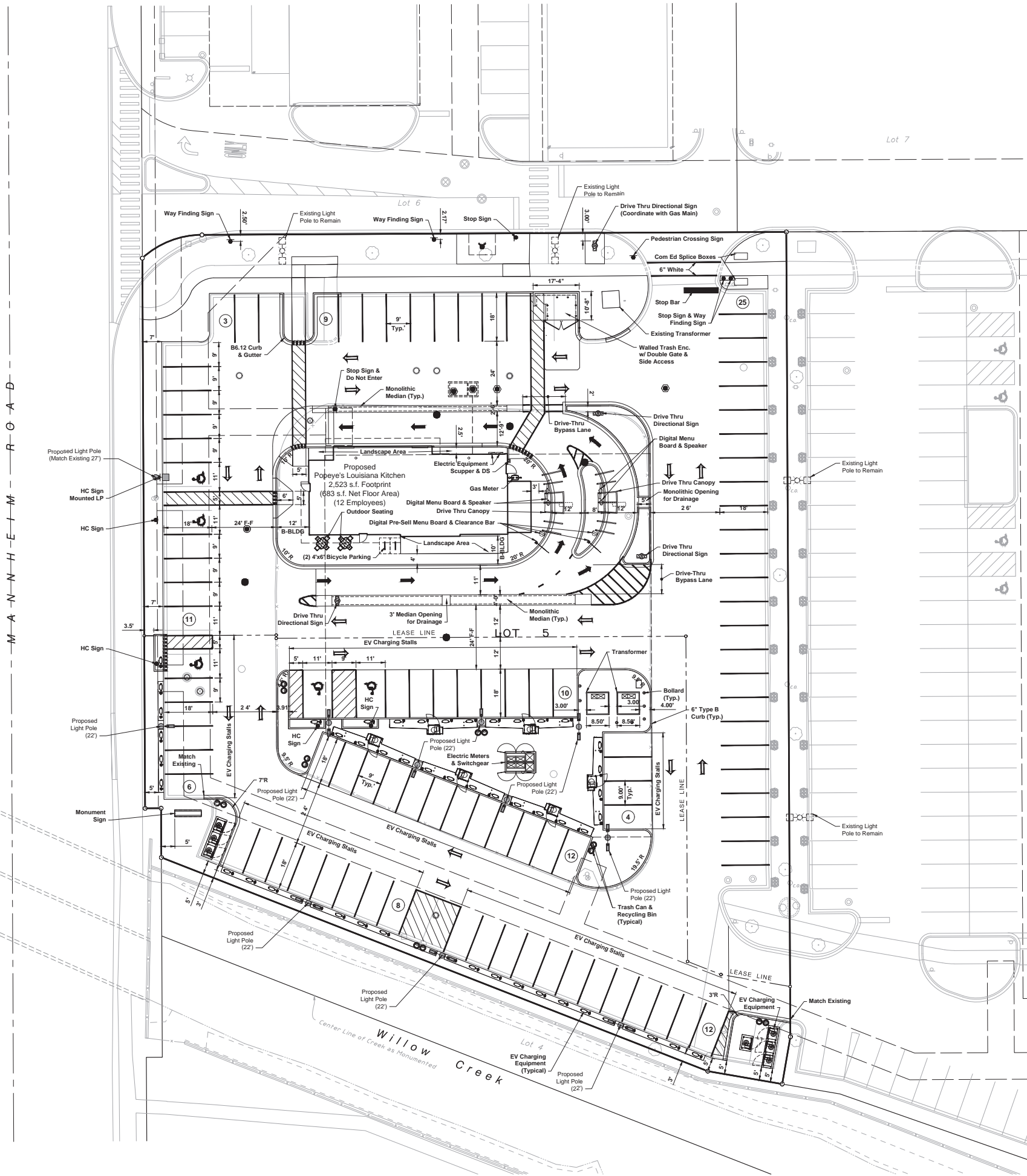
Refer to "Orchards at O'Hare – PUD Amendment Standards for Conditional Use for additional information."

10. The proposed conditional use complies with all additional regulations in this title specific to the conditional use requested

The proposed amendment to the previously approved Localized Alternative Sign Regulations (LASR) will comply with all regulations.

Note:

Refer to "Orchards at O'Hare – PUD Amendment Standards for Conditional Use for additional information."



BUILDING DIMENSION - ENLARGED VIEW (1" = 10')

LOT 5 - ORCHADS AT O'HARE - SITE DATA SUMMARY TABLE

Site Data	Popeye's	Tessa	Total
Site Area	0.96305 ac	0.59264 ac	1.546 ac
Building Footprint Area (Gross)	41,514 s.f.	25,611 s.f.	67,325 s.f.
Building Footprint Area (Net)	2,523 s.f.	n/a	2,523 s.f.
Building Footprint Area (Net)	683 s.f.	n/a	683 s.f.

Existing zoning is C-5 (General Commercial District)

Area Breakdown	Area	Percentage
Paved Area	12,430 s.f.	28.53635 ac
Impervious Area	29,084 s.f.	66.76767 ac
Total Area	41,514 s.f.	95.30402 ac

No. of Buildings: Total No. of Buildings: 1

Building Use: Class B Restaurant with Drive Thru

Building Height: Allowable Building Height: 45.0' max; Proposed Building Height: 19.0' at highest point

Employee Summary: No. of Employees: 12

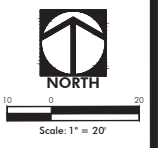
Hours of Operation: Sunday thru Thursday: 10:00 am - 1:00 am; Friday & Saturday: 10:00 am - 1:00 am

Drive Thru Stacking Requirements: Per Ordinance: 6 Stacking - 1 per Waiting Area; Stacking Provided: 12 Spaces from Drive Thru Entrance to Pick-Up/Drive

Parking Summary	Required	Provided	Total
Required Number of Stalls	18	n/a	18
Parking Provided:			
Standard	16	49	95
Accessible	2	3	5
Total	18	52	100

Note: Required parking for Popeye's was calculated using the net floor area method.

	Net Floor Area	Per Parking
Net Floor Area	683 s.f.	17.7
No. of Seats	24	15.5
Diners on Standing	16	
No. of Employees	12	



No.	Date	Revision
1	08/25/2023	Per City Comment

HAEGER ENGINEERING
 consulting engineers • land surveyors
 100 East State Parkway, Schaumburg, IL 60173 • 616-847-394-6608 Fax: 847-394-6606
 Illinois Professional Design Firm License No. 184-0003152
 www.haegerengineering.com

LOT 5 - SITE PLAN
 ORCHARDS AT O'HARE
 PUD AMENDMENT
 CITY OF DES PLAINES, COOK COUNTY, ILLINOIS

Project Manager: T A S
 Engineer: P A C
 Date: 07/17/2023
 Project No. 15-180
 Sheet 1/1



**PUBLIC WORKS AND
ENGINEERING DEPARTMENT**

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5390
desplaines.org

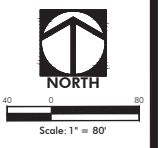
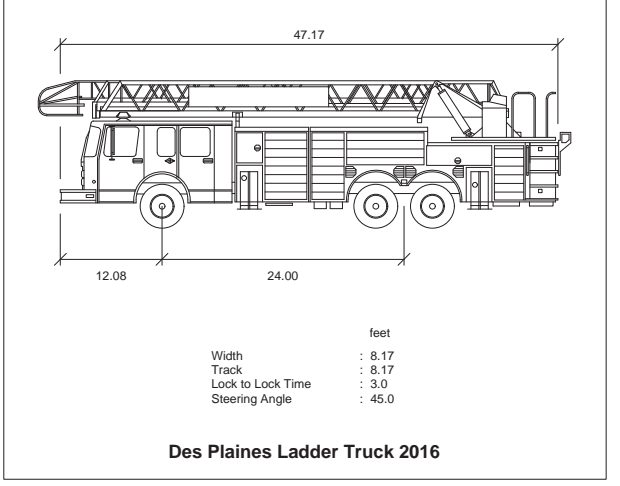
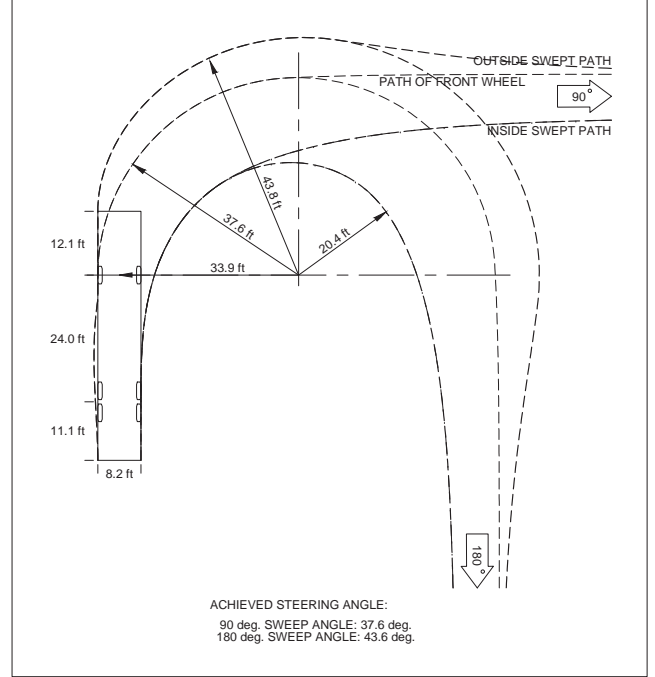
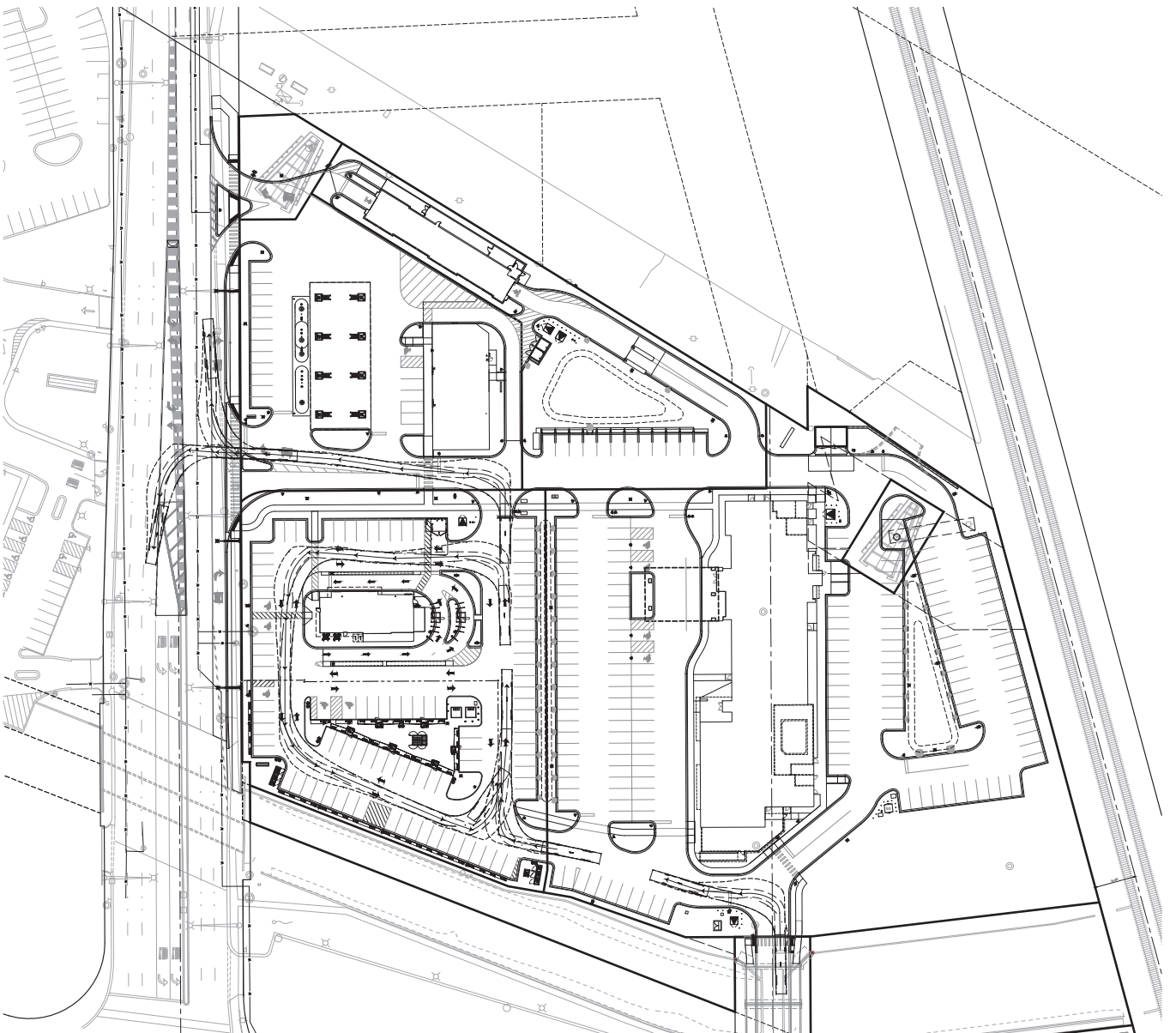
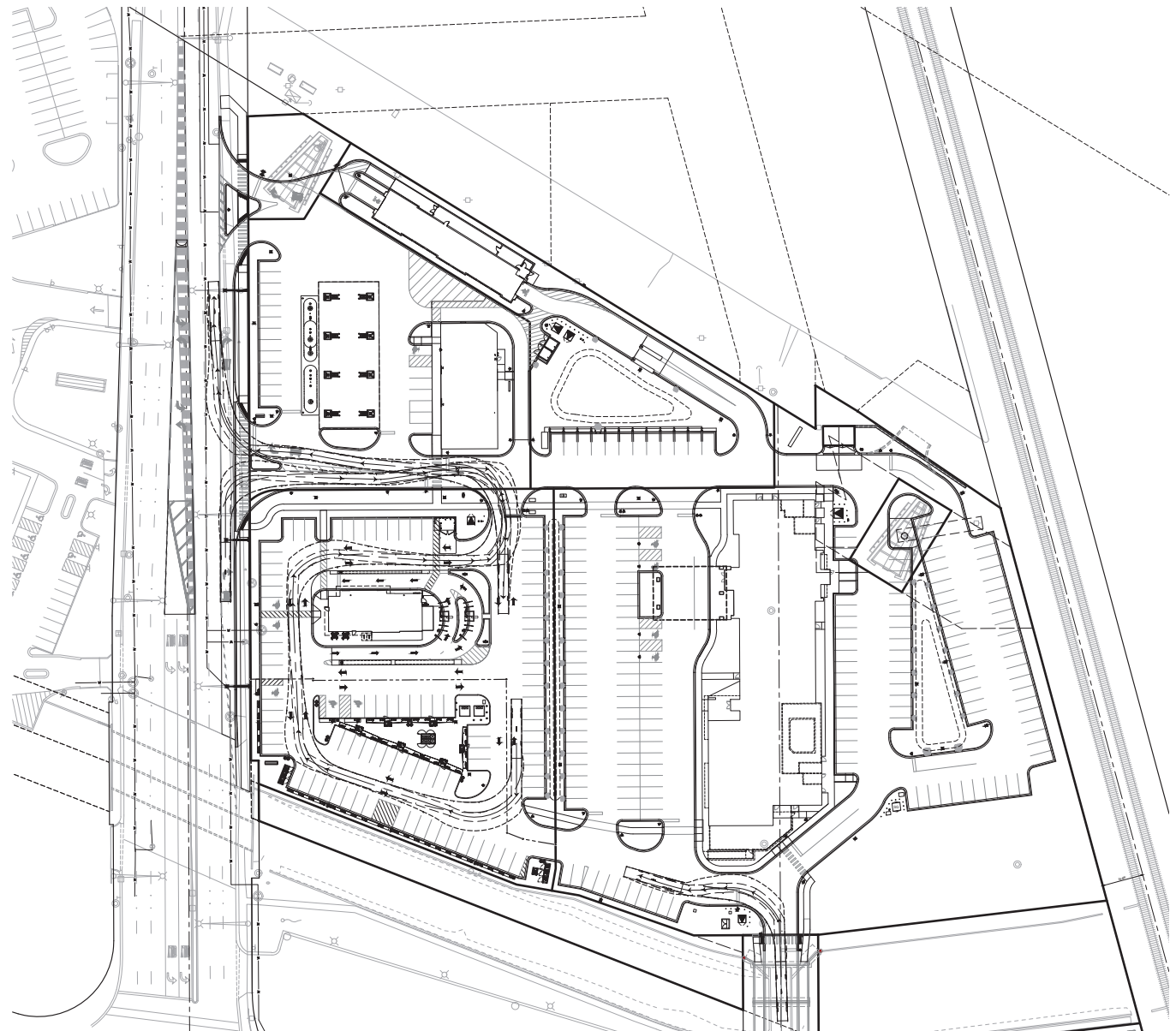
MEMORANDUM

Date: August 10, 2023
To: John Carlisle, Director of Community and Economic Development
From: Timothy P. Oakley, P.E., CFM, Director of Public Works and Engineering
Cc: John La Berg, P.E., CFM, Civil Engineer
Subject: 2995-3001 Mannheim Road – Orchards at O’Hare

Public Works and Engineering has reviewed the subject final engineering plans and is approving them subject to the conditions below:

- All City permits will need to be obtained.
- All proposed improvements on the engineering plans must be installed in accordance to all City of Des Plaines codes.
- MWRD, IEPA, and IDOT permits will need to be obtained.

TPO/jl



No.	Date	Revision
1	08/25/2023	Per City Comment

HAEGER ENGINEERING
 consulting engineers • land surveyors
 100 East State Parkway, Schaumburg, IL 60173 • 414-847-3946/6608 Fax: 847-394-6686
 Illinois Professional Design Firm License No. 184-0003152
 www.haegerengineering.com

LOT 5 FIRE TRUCK TURNING EXHIBIT
LOT 5 - ORCHARDS AT O'HARE
 PRELIMINARY ENGINEERING PLANS
 2995-3001 MANNHEIM ROAD

Project Manager: T A S
 Engineer: C J B
 Date: 07/17/2023
 Project No. 15-180
 Sheet 1 / 1



September 14, 2023

Mayor Goczkowski and Des Plaines City Council
CITY OF DES PLAINES

Subject: Planning and Zoning Board, 2995-3025 Mannheim Road / 3401 Orchard Place / 1620-1630 Higgins Road, 23-053-FPUD-CU LASR, 6th Ward

RE: Consideration of a Major Change to a Planned Unit Development (PUD) and Conditional Use for a Localized Alternative Sign Regulation (LASR) Amendment at the existing Orchards at O'Hare PUD

Honorable Mayor and Members of the Des Plaines City Council:

The Planning and Zoning Board (PZB) held a public hearing on September 12, 2023 to consider the following items: (i) a major change to the existing Orchards at O'Hare PUD to allow the construction of a freestanding Class B restaurant with surface parking and electric vehicle (EV) charging spaces on Lot 5 of the PUD; and (ii) a conditional use for an amended LASR sign plan to add new building and ground signs for various lots of the PUD located in the C-3 General Commercial district at 2995-3025 Mannheim Road, 3401 Orchard Place, and 1620-1630 Higgins Road.

1. Todd Shafer, the petitioner's engineer, introduced the requests by providing background on the existing Orchards at O'Hare PUD. He mentioned that the original PUD included the hotel (Lot 3), the convenience mart fueling station with the two food services (Lot 6), and surface parking (throughout entire PUD), which have all been installed on the property. He described that a freestanding Class A restaurant (Lot 5) and car wash (Lot 7) were proposed in 2015 but never constructed. He explained that in 2019 a PUD Amendment was approved to add Lot 1 (1620-1630 Higgins Road) to the PUD to construct a single-story commercial building with two tenant spaces, a drive-through, and separate surface parking area. He added that this lot has been developed and is currently occupied by Panera Bread with the other commercial tenant space vacant.

Mr. Shafer noted that the main focus of this request is on Lot 5 of the PUD and described both requests, starting with the major change to the PUD in order to construct (i) a new freestanding Class B restaurant (Popeyes) with two drive-throughs and a separate surface parking area; and (ii) EV charging area (Tesla) on Lot 5, which is currently improved with some constructed perimeter surface parking lot spaces and vacant space for a future structure. He noted that the property will not be subdivided, but rather bisected by a lease line between the two proposed users. Mr. Shafer stated that utility connections are already available on Lot 5, but that a Metropolitan Water Reclamation District (MWRD) permit will be required for the restaurant user. He noted that there are 48 parking spaces—including two accessible spaces—for the restaurant and 52 EV charging spaces—including three accessible spaces—for Tesla, which is compliant with the Zoning Ordinance. He noted the three request PUD exceptions for drive aisle width and interior and perimeter parking lot landscaping, which are requested with the major change to the PUD. Mr. Shafer then summarized the LASR amendment request, noting that the original LASR was approved in 2018 and included building and ground signs for all lots, some of which have not been constructed. He noted that the intention of the amendment is to retain the previous sign approvals from 2018 as well as add additional building and ground signs for new uses including the proposed Lot 5 development and the two restaurants currently under construction in the hotel building.

2. PZB members asked if the current construction on the hotel is related to the two new restaurants intended for the first floor of the hotel building; if a Dunkin Donuts sign rebrand is impending for the existing convenience mart fueling station; why Lot 4 is not included in this request; if the Army Core of Engineers and MWRD are in control of Lots 2 and 4; how Tesla charging equipment would be affected by flooding; if the City will receive tax money from the EV charging user; and when will the originally proposed car wash on Lot 7 be built. Mr. Shafter responded that the current construction on the hotel is related to the build-out of the two restaurants for the first floor of the hotel building; that there are no sign rebranding plans for the Dunkin Donuts at this location as they are only rebranding certain stores at this time; that Lots 2 and 4 consist of Weller Creek, which were sold to the developer to be utilized for stormwater maintenance; that the Army Core of Engineers and MWRD have control over Lots 2 and 4; that Lot 5 is fully protected by Weller Creek so the water would likely not reach the charging posts; and that there are no immediate plans to construct the car wash on Lot 7 at this time. Michael Lovett from Tesla added that the charging posts are designed for outdoor use and can be shut down remotely if necessary. Staff confirmed that the City would receive tax money from the EV charging user.
3. CED staff summarized the staff report with slides providing an overview of the requests and the process surrounding each. Staff described the overview of the proposed development on Lot 5 with the requested PUD exceptions, and the proposed signs for the entire PUD. Staff noted that there are two recommended conditions of approval for the amended LASR request.
4. No one from the public spoke on this request.
5. The PZB split their determination into separate motions:
 - Voted 7-0 to *recommend* to the City Council approve the major change to the PUD without any conditions; and
 - Voted 7-0 to *recommend* to the City Council approve the amended LASR sign plan with the two recommended staff conditions.

Respectfully submitted,



James Szabo,
Des Plaines Planning and Zoning Board, Chairman
Cc: City Officials/Aldermen

Case 23-054-MAP-V	1625 Linden Street	Map Amendment Variation
Case 23-051-FPUD_CU-LASR	2991-3025 Mannheim, 3041 Orchard & 1620-1630 Higgins	Final Planned Unit Development & Conditional Use -LASR
Case -053-CU-FPLAT-V	1345 Golf, 1269 Golf & 16 Mary	Conditional Use, Final Plat of Subdivision, Variation
Case 23-043-TA	Citywide	Text Amendment

- 2. Address:** 2991-3025 Mannheim Road, 3041 Orchard Place, and 1620-1630 W. Higgins
Case Number: 23-051-FPUD-CU-LASR (*continued from August 22, 2023*)

The petitioner is requesting the following under the Zoning Ordinance: (i) a major change to a Final Planned Unit Development (PUD) for the Orchards at O’Hare PUD, including exceptions; (ii) a conditional use for an amended Localized Alternative Sign Regulation (LASR); and (iii) any other variations, waivers, and zoning relief as may be necessary.

PIN: 09-33-305-018-0000, 09-33-305-019-0000, 09-33-305-020-0000,
09-33-305-023-0000, 09-33-305-024-0000, 09-33-305-025-0000

Petitioner: Rehan Zaid, 1375 Remington Rd, Ste E, Schaumburg, IL 60173
(Owner/Authorized Agent)

Owners: Orchards Lot 5, LLC; Orchards Lot 6, LLC; Orchards Lot 7, LLC;
Prominence O’Hare, LLC; and DP Higgins, LLC (Manager: Rehan Zaid, 1375
Remington Rd, Ste E, Schaumburg, IL 60173)

Ward: #6, Alderman Mark Walsten

Existing Zoning: C-3, General Commercial District

Existing Land Uses: Hotel (commercial) with attached restaurant under construction (commercial),
Convenience Mart Fueling Station with accessory food and beverage (commercial),
Multi-Tenant Commercial Building (Commercial)

Surrounding Zoning: North: C-3, General Commercial District (City of Des Plaines)
South: Commercial (D) (Village of Rosemont)
East: C-2, Limited Office Commercial District / C-3 General Commercial
District (City of Des Plaines)
West: C-3 General Commercial District (City of Des Plaines) /
Commercial (D) (Village of Rosemont)

Surrounding Land Use: North: Commercial restaurant and retail development under construction
South: Class B Restaurant in City of Des Plaines (Commercial); Two
Hotels and Class A Restaurant in Village of Rosemont (Commercial)
East: Railroad; then Multi-tenant Office Building (Commercial)
West: Hotel (Commercial) in Village of Rosemont

Street Classification: Mannheim and Higgins Roads are arterial roads under Illinois Department
of Transportation (IDOT) jurisdiction.

Comprehensive Plan : Commercial is the recommended use of the property.

Case 23-054-MAP-V	1625 Linden Street	Map Amendment Variation
Case 23-051-FPUD_CU-LASR	2991-3025 Mannheim, 3041 Orchard & 1620-1630 Higgins	Final Planned Unit Development & Conditional Use -LASR
Case -053-CU-FPLAT-V	1345 Golf, 1269 Golf & 16 Mary	Conditional Use, Final Plat of Subdivision, Variation
Case 23-043-TA	Citywide	Text Amendment

Zoning/Property History:

Based on City records, the eight lots comprising the subject property were annexed into the City in 1956 as vacant lots. A portion of the subject property was originally utilized as an office and warehouse building until 2010, when the building was demolished and the site was utilized as parking lot.

On August 1, 2016 via Ordinance Z-18-16, City Council approved a Final PUD with a height exception and a Final Plat of Subdivision consisting of a hotel (Lot 3), a freestanding Class A restaurant (Lot 5), an automotive service station with two food services (Lots 6 and 8), and a car wash (Lot 7). Out of the eight-lot subdivision, Lots 1, 2, and 4 were not included in the original PUD. Ordinance Z-18-16 required certain conditions, among others, related to signs and any future adjustments to the approved PUD. All signs on the PUD would require a LASR through Section 12-11-8 of the Zoning Ordinance, and any proposed changes to uses within the PUD would be a major change requiring City Council approval pursuant to Section 12-3-5.G of the Zoning Ordinance. As such, in 2017 the petitioner applied for a conditional use for a LASR, which was approved by City Council on June 18, 2018 through Ordinance Z-18-18. The LASR request included a variety of different wall, monument, pole, directional, and canopy signs. Lots 3, 6, and 8 were developed and improved with the approved signs. However, Lots 5 and 7 have not yet been developed.

The most recent application associated with this property was in 2019, where the petitioner requested to amend both the original PUD and LASR sign plan approvals was submitted to develop Lot 1 of the subdivision with a one-story commercial building with two tenant spaces, a drive-through, and separate surface parking area. These proposed amendments were approved by City Council on April 1, 2019 through Ordinance Z-5-19, and all associated improvements have been completed on Lot 1.

Development Summary:

The Orchard’s at O’Hare Petitioner, Rehan Zaid, which is an owner and authorized agent for all of the ownership entities within the Orchards at O’Hare campus, is proposing a major change to the existing PUD to develop Lot 5 of the PUD with a Class B restaurant and EV Charging spaces. Lot 5 is 41,514 square feet in size, located along Mannheim Road on the west of the PUD, and is currently improved with a partial surface parking area.

Case 23-054-MAP-V	1625 Linden Street	Map Amendment Variation
Case 23-051-FPUD_CU-LASR	2991-3025 Mannheim, 3041 Orchard & 1620-1630 Higgins	Final Planned Unit Development & Conditional Use -LASR
Case -053-CU-FPLAT-V	1345 Golf, 1269 Golf & 16 Mary	Conditional Use, Final Plat of Subdivision, Variation
Case 23-043-TA	Citywide	Text Amendment

There are no proposed changes to the dimensions or size of Lot 5. Instead, the petitioner looks to develop the existing site with the Class B restaurant and a surface parking area with a mixture of standard and EV charging parking spaces as illustrated on the attached Site Plan for Lot 5. Information for each proposed business is summarized below and detailed in the attached Business Narratives.

- Popeyes is a fast-casual restaurant proposed for the one-story stand-alone 2,523-square-foot building positioned on the north of Lot 5. Their anticipated hours of operation are from 10:00 a.m. to 12:00 a.m. Sunday through Thursday and 10 a.m. to 1 a.m. on Friday and Saturday. A maximum of 12 employees will be on site at a given time. The building is designed with predominately brick material of varying colors.
- Tesla is a manufacturer of EVs and EV charging equipment and is proposing 52 Tesla EV charging spaces for the southern portion of Lot 5. The charging stations are open 24/7 and are staffed remotely via a 24/7 customer service support line.

MAJOR CHANGE TO PUD

Request Summary:

Overview

The petitioner is requesting a Major Change to PUD to allow for the construction of a Class B restaurant and EV charging parking spaces on Lot 5 of Orchards at O’Hare. The current PUD (originally approved in 2016 and last amended 2019) permits a Class A—or primarily sit-down service—restaurant, the hotel, fueling station with two food services, and the two-unit commercial building approved in 2019 are not proposed to change, other than the sign details for the restaurant planned for the hotel (Cilantro Taco/Ostras). The Final PUD plan is proposed to be revised to illustrate and allow the proposed Class B—or primarily quick-service restaurant—with drive-throughs on the northern portion of Lot 5 and the designated EV charging area on the southern portion of Lot 5. The petitioner now proposes:

- Construction of an approximately 2,523-square-foot Class B restaurant with an outdoor seating area, two drive-throughs, and a total of 48 traditional off-street parking spaces, including two accessible spaces;
- Construction of 52 EV charging off-street parking spaces, including three accessible EV charging spaces, which may serve the newly proposed restaurant or other uses on the campus; and
- Construction of water, electric, gas, communication, and sanitary utilities for Lot 5 and necessary connections.

Site Access

There are currently two indirect means of access to Lot 5: to the north from Mannheim Road through Lot 6, and to the south from Higgins Road (via local street Orchard Place) through Lot 3. Neither Lot 5 or Lot 6 are subject to change as part of this request. The proposed lot configuration will utilize the existing access points while also providing multiple 24-foot-wide, two-way travel drive aisles around Lot 5. The drive aisles for Lot 5 provide access to all sides of the proposed

Case 23-054-MAP-V	1625 Linden Street	Map Amendment Variation
Case 23-051-FPUD_CU-LASR	2991-3025 Mannheim, 3041 Orchard & 1620-1630 Higgins	Final Planned Unit Development & Conditional Use -LASR
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Case 23-043-TA	Citywide	Text Amendment

restaurant building and EV charging posts as shown on the attached Fire Truck Turning Radius diagram. The drive aisles meet the width standards for fire truck access and have been approved by the Fire Prevention Bureau.

Off-Street Parking Areas and Requirements

The off-street parking requirements of Sections 12-9-7 and 12-9-8 of the Zoning Ordinance are based on the proposed Class B restaurant use since the EV charging spaces are accessory to the restaurant use:

- Pursuant to Section 12-9-7, Class B restaurants require one off-street parking space for every 50 square feet of net floor area, or one space for every four seats, whichever is greater, plus one space for every three employees.
- Pursuant to Section 12-9-8, the required number of accessible parking spaces is determined by the total number of parking spaces available on the site.

The proposed restaurant building is 2,523 square feet of gross floor area with approximately 683 square feet of net floor area for the dining area and 24 seats. Given the parking requirements above, the number of parking spaces required based on the dining area are greater than the number of parking spaces required based on the number of seats, yielding a total of 14 required spaces. The proposal includes the installation of 52 EV charging spaces, including three EV spaces, is allowable under parking rules since these spaces are above and beyond the parking minimum. The attached Site Plan for Lot 5 indicates that a total of 100 off-street parking spaces are proposed for Lot 5—48 traditional, serving the restaurant, and 52 for EV charging. Together these require a minimum of four accessible parking spaces. A total of five accessible parking spaces are proposed for Lot 5—two serving the restaurant and three serving the EV charging posts—which meets this standard.

Drive-Through Facility

The proposed Class B restaurant includes a drive-through facility, which is a permitted use on the subject property given its C-3 zoning designation and that it is not adjacent to residential. Pursuant to Section 12-9-4 of the Zoning Ordinance, each drive-through facility must provide a minimum of six stacking spaces plus one stacking space per waiting area provided. Based on the Lot 5 Orchards at O’Hare Site Data Summary Table on the attached Site Plan for Lot 5, the total number of stacking spaces provided for both drive-through facilities is ten, which meets this requirement. However, the width of the drive aisle is 11 feet, which does not meet the minimum 12-foot-width requirement and requires a PUD exception.

Off-Street Loading Requirements

Section 12-9-9 of the Zoning Ordinance requires that for any new commercial building, loading shall be provided, with 50,000 square feet of gross floor area as the basis for the number of loading spaces. The petitioner’s submittal does not designate or label a loading space. Further, the Section establishes that the standard size of a loading space is 35 feet long by 15 feet wide. Section 12-9-9.A. does state, however, that the dimensions for a loading space may be “...otherwise

Case 23-054-MAP-V	1625 Linden Street	Map Amendment Variation
Case 23-051-FPUD_CU-LASR	2991-3025 Mannheim, 3041 Orchard & 1620-1630 Higgins	Final Planned Unit Development & Conditional Use -LASR
Case -053-CU-FPLAT-V	1345 Golf, 1269 Golf & 16 Mary	Conditional Use, Final Plat of Subdivision, Variation
Case 23-043-TA	Citywide	Text Amendment

specified....” The PZB should invite the petitioner in the public hearing to explain the restaurant’s anticipated loading operations, in particular size of expected vehicles and frequency of deliveries. The Board may specify that standard-width (9 feet) and length (18 feet) parking space(s) would suffice as required loading space(s), provided they are signed and marked as such.

Landscaping Improvements

The original approving ordinance for the Orchards at O’Hare PUD—Ordinance Z-18-18—includes a landscape plan for Lot 5 of the PUD. However, the proposal includes amending the proposed landscaping for the lot to accommodate the restaurant and EV charging spaces. The attached Landscape Plan for Lot 5 illustrates foundation landscaping (to address Section 12-10-10) for the restaurant as well as designated perimeter and interior parking lot landscaping areas (Section 12-10-8). However, the plan does not fully meet the width and planting requirements for the perimeter parking areas or the planting requirements for the interior landscape bed in the middle of the EV charging area, each requiring a PUD exception.

Anticipated Impact of Tesla Charging Location

Staff requested that the petitioner provide information related to the anticipated kilowatt usage of the EV charging area to determine its potential impact on utilities. Based on kilowatt usage on an existing EV charging location, which has been scaled up to 52 EV charging posts to match the proposal on Lot 5—Tesla has provided the anticipated energy forecast below:

	kWh	Max Demand kW
Apr	472402.45	3302.39
May	489608.02	3514.88
Jun	631355.83	3510.38
Jul	652568.85	3931.26
Aug	666821.36	3804.55
Sept	618319.54	3850.60
Oct	613765.56	3937.51
Nov	622555.61	3680.01
Dec	672116.05	3646.25
Jan	572866.59	3747.96
Feb	652704.08	3475.37
Mar	713870.20	3622.73

Based on the information provided by Tesla, staff calculated a range of estimates for the anticipated utility revenue under the Municipal Utility Tax (15-3-3 of the City Code), summarized in the table below.

EV Company	Charging	Lowest Projected kWh usage	Mid-level Projected kWh usage	Highest Projected kWh usage

Case 23-054-MAP-V	1625 Linden Street	Map Amendment Variation
Case 23-051-FPUD_CU-LASR	2991-3025 Mannheim, 3041 Orchard & 1620-1630 Higgins	Final Planned Unit Development & Conditional Use -LASR
Case -053-CU-FPLAT-V	1345 Golf, 1269 Golf & 16 Mary	Conditional Use, Final Plat of Subdivision, Variation
Case 23-043-TA	Citywide	Text Amendment

Tesla Superchargers	472,402 kWh per month or \$161,443	622,555 kWh per month or \$207,342	713,870 kWh per month or \$237,293
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*Scenario involves 52 Tesla Superchargers per the plans in the slide deck provided and email correspondence.

*These numbers are approximate and may be subject to change.

CONDITIONAL USE LASR

Request Summary:

Proposed Sign Plans

The proposal includes a request to amend the existing LASR for the Orchards at O’Hare PUD based on the proposed uses on Lots 3 and 5. The proposal intends to retain most of the signs approved for Lots 3, 5, 6, and 7 through Ordinance Z-18-18 and all signs approved for Lot 1 through Ordinance Z-5-19 as summarized below and illustrated in the attached Combined Sign Plans for Lots 1, 3, 5, 6, and 7.

- **Multi-Tenant Monument Signs:** The existing PUD currently contains two 17-foot-tall, 138-square-foot multi-tenant monument signs—one of which located on Lot 1 and the other on Lot 5. The proposal includes the installation of three tenant panel signs—Popeyes, Cilantro Taco, and Ostras—into existing slots in the sign without any changes to the sign size, location, or structure.
- **Lot 1 (Commercial building with two tenant spaces) Sign Plan:** Aside from the minor tenant panel changes on the multi-tenant monument sign, the proposal intends to retain all existing ground signs (directional, menu board, clearance bar) and building wall signs.
- **Lot 3 (Hotel and the Cilantro and Ostras Restaurants) Sign Plan:** The existing hotel signs are not subject to change. However, the proposal does include new signs for the proposed Cilantro and Ostras restaurants located in the hotel including two wall signs for both restaurants on the south and west hotel building elevations and a single wall sign for both restaurants on the north hotel building elevation. An electronic message board (EMB) pole sign is also included for Lot 3 in the attached Combined Sign Plans for Lots 1, 3, 5, 6, and 7 document. This sign is intended to be visible from the I-90 Tollway. *Note this sign was approved through Ordinance Z-18-18, but it has not yet been constructed on site.*
- **Lot 6 (BP Station, Dunkin, and Which Wich) Sign Plan:** The existing BP fuel monument sign, which was rebranded through a building permit approved in 2018, and the convenience mart fueling station—including Dunkin Donuts signs—are not subject to change as part of this request. However, the proposal does request additional signs for both the gas station canopy and Dunkin Donuts:
 - Ordinance Z-18-18 approved two canopy signs for the gas station canopy measuring 27 inches in height. Although the existing fuel station canopy includes three canopy signs at 48 inches in height, which are requested for the amended LASR.

Case 23-054-MAP-V	1625 Linden Street	Map Amendment Variation
Case 23-051-FPUD_CU-LASR	2991-3025 Mannheim,	Final Planned Unit Development &
	3041 Orchard & 1620-1630 Higgins	Conditional Use -LASR
Case -053-CU-FPLAT-V	1345 Golf, 1269 Golf & 16 Mary	Conditional Use, Final Plat of
		Subdivision, Variation
Case 23-043-TA	Citywide	Text Amendment

- Ordinance Z-18-18 approved a 32-square-foot menu board sign for Dunkin Donuts located behind the convenience mart building. However, the existing menu board structure is approximately 27 square feet and includes a canopy structure over the ordering area, which are requested for the amended LASR.
- Lot 5 (Popeyes and Tesla) Sign Plan: Aside from the minor tenant panel changes on the multi-tenant monument sign, the proposal includes the addition of many new ground and building signs for the development of the new restaurant use and EV charging spaces on site, which are summarized in the table below. Note that there are no specific ground or building signs for the EV charging spaces. However, pavement markings will be provided to indicate all EV charging spaces.

Sign ID*	Sign Type	Sign Location	Sign Area**
N1	Wall	West (front) elevation	53 SF
N2	Wall	South (side) elevation	33 SF
N3	Wall	North (side) elevation	26 SF
N4	Wall	East (rear) elevation	26 SF
N5	Wall	West (front) elevation	18 SF
N6	Wall	South (side) elevation	95 SF
N14	Wall	North (side) elevation	32 SF
N15	Wall	North (side) elevation	32 SF
N16	Wall	North (side) elevation	32 SF
N17	Wall	South (side) elevation	32 SF
N18	Wall	South (side) elevation	32 SF
N22	Directional	North Entrance to Lot 5	10 SF
N23	Directional	North of Drive-Through Lanes	10 SF
N24	Directional	Entrance of Drive-Through Lanes	10 SF
N25	Directional	East of Drive-Through lanes	6 SF
Total Sign Area (Lot 5):			447 SF

*Items N7-N13 and N19-N21 are not classified as signs and are not included in this table.

**Sign areas rounded to the nearest whole number.

PUD Findings of Fact:

The following is a discussion of standards for PUDs from Section 12-3-5 of the Zoning Ordinance. Rationale for how well the proposal addresses the standards is provided in the attached petitioner responses to standards. Although staff has not provided a comment on each individual standard, in general

Case 23-054-MAP-V	1625 Linden Street	Map Amendment Variation
Case 23-051-FPUD_CU-LASR	2991-3025 Mannheim, 3041 Orchard & 1620-1630 Higgins	Final Planned Unit Development & Conditional Use -LASR
Case -053-CU-FPLAT-V	1345 Golf, 1269 Golf & 16 Mary	Conditional Use, Final Plat of Subdivision, Variation
Case 23-043-TA	Citywide	Text Amendment

the Major Change to PUD is supported by the Comprehensive Plan and other City goals to support economic development at this site, in this general area of Des Plaines, and in the city overall. The newly proposed uses are complementary to the existing uses already established and are logical considering the development's proximity to O'Hare Airport. The Board may use staff's rationale, the petitioner's provided responses, or can , modify or adopt its own.

1. The extent to which the Proposed Plan is or is not consistent with the stated purpose of the PUD regulations in Section 12-3-5.A of this title:

PZB Additions or Modifications (if necessary): _____

2. The extent to which the proposed plan meets the prerequisites and standards of the planned unit development regulations:

PZB Additions or Modifications (if necessary): _____

3. The extent to which the proposed plan departs from the applicable zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to the density, dimension, area, bulk, and use and the reasons why such departures are or are not deemed to be in the public interest:

PZB Additions or Modifications (if necessary): _____

4. The extent to which the physical design of the proposed development does or does not make adequate provision for public services, provide adequate control of vehicular traffic, provide for, protect open space, and further the amenities of light and air, recreation and visual enjoyment:

PZB Additions or Modifications (if necessary): _____

5. The extent to which the relationship and compatibility of the proposed development is beneficial or adverse to adjacent properties and neighborhood:

PZB Additions or Modifications (if necessary): _____

6. The extent to which the proposed plan is not desirable to physical development, tax base, and economic well-being of the entire community:

PZB Additions or Modifications (if necessary): _____

7. The extent to which the proposed plan is in conformity with the recommendations of the 2019 Comprehensive Plan:

PZB Additions or Modifications (if necessary): _____

Conditional Use Findings: Conditional Use requests are subject to the standards set forth in Section 12-3-4(E) of the Zoning Ordinance. Rationale for how the proposed amendments would satisfy the standards is

Case 23-054-MAP-V	1625 Linden Street	Map Amendment Variation
Case 23-051-FPUD_CU-LASR	2991-3025 Mannheim, 3041 Orchard & 1620-1630 Higgins	Final Planned Unit Development & Conditional Use -LASR
Case -053-CU-FPLAT-V	1345 Golf, 1269 Golf & 16 Mary	Conditional Use, Final Plat of Subdivision, Variation
Case 23-043-TA	Citywide	Text Amendment

provided below and in the attached petitioner responses to standards. The Board may use the provided responses as written as its rationale, modify, or adopt its own.

1. The proposed Conditional Use is in fact a Conditional Use established within the specific Zoning district involved:

Comment: The proposed development includes signs in a quantity and size that require a LASR. A LASR is a Conditional Use, as specified in Section 12-11-8 of the Zoning Ordinance for multi-building commercial developments.

PZB Additions or Modifications (if necessary): _____

2. The proposed Conditional Use is in accordance with the objectives of the City’s Comprehensive Plan:

Comment: The redevelopment of Lot 5 of the Orchards at O’Hare PUD requires the installation of appropriate signs to direct motorists and pedestrians to/from and throughout the site. The Comprehensive Plan strives to increase commercial development along major corridors like Mannheim Road as well as increase wayfinding for motorists and pedestrians alike. The proposed sign plan includes updates to existing site-wide multi-tenant monument signs to adequately identify each proposed restaurant use in this development and reduce the number of individual ground signs in the development. A great deal of building-mounted signs are proposed throughout the development. However, it can be argued that many of these signs provide proper wayfinding for motorists and pedestrians as they access the site.

PZB Additions or Modifications (if necessary): _____

3. The proposed Conditional Use is designed, constructed, operated and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity:

Comment: The proposed Conditional Use for a Localized Alternative Sign Regulation requests additional signage to assist in the identification of each restaurant user to help both motorists and pedestrians navigate the property. The proposed development is similar to existing commercial developments in the area—especially the multi-building commercial development on the southeast corner of Mannheim and Pratt—and the proposed signs are generally harmonious to these surrounding developments.

PZB Additions or Modifications (if necessary): _____

4. The proposed Conditional Use is not hazardous or disturbing to existing neighboring uses:

Comment: Many of the proposed signs are not hazardous or disturbing to the existing neighboring uses as a majority of all signs are directed towards public streets or other commercial properties. All signs will meet all required performance standards as outlined in Section 12-11-6(B) of the Zoning Ordinance.

PZB Additions or Modifications (if necessary): _____

Case 23-054-MAP-V	1625 Linden Street	Map Amendment Variation
Case 23-051-FPUD_CU-LASR	2991-3025 Mannheim, 3041 Orchard & 1620-1630 Higgins	Final Planned Unit Development & Conditional Use -LASR
Case -053-CU-FPLAT-V	1345 Golf, 1269 Golf & 16 Mary	Conditional Use, Final Plat of Subdivision, Variation
Case 23-043-TA	Citywide	Text Amendment

5. The proposed Conditional Use is to be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools; or, agencies responsible for establishing the Conditional Use shall provide adequately any such services:

Comment: The proposed signs have no effect on essential public facilities and services. Instead the new signs will improve wayfinding services throughout the site for motorists and pedestrians alike.

PZB Additions or Modifications (if necessary): _____

6. The proposed Conditional Use does not create excessive additional requirements at public expense for public facilities and services and will not be detrimental to the economic well-being of the entire community:

Comment: The proposed signs would not create a burden on public facilities, nor would they be a detriment to the economic well-being of the community. The signs are intended to share information and help visitors safely and easily access the site.

PZB Additions or Modifications (if necessary): _____

7. The proposed Conditional Use does not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke fumes, glare or odors:

Comment: The proposed signs will not create additional traffic or noise that could be detrimental to surrounding land uses. Instead the signs will help better direct and circulate traffic throughout the site.

PZB Additions or Modifications (if necessary): _____

8. The proposed Conditional Use provides vehicular access to the property designed so that it does not create an interference with traffic on surrounding public thoroughfares:

Comment: The proposed signs will not create an interference with traffic on surrounding public thoroughfares but rather establish building identification and wayfinding for motorists and pedestrians.

PZB Additions or Modifications (if necessary): _____

9. The proposed Conditional Use does not result in the destruction, loss, or damage of natural, scenic, or historic features of major importance:

Case 23-054-MAP-V	1625 Linden Street	Map Amendment Variation
Case 23-051-FPUD_CU-LASR	2991-3025 Mannheim, 3041 Orchard & 1620-1630 Higgins	Final Planned Unit Development & Conditional Use -LASR
Case -053-CU-FPLAT-V	1345 Golf, 1269 Golf & 16 Mary	Conditional Use, Final Plat of Subdivision, Variation
Case 23-043-TA	Citywide	Text Amendment

Comment: The proposed new signs would not cause the destruction, loss, or damage of any natural, scenic or historic features of major importance. The signs will be used to enhance a site that is already developed.

PZB Additions or Modifications (if necessary): _____

10. The proposed Conditional Use complies with all additional regulations in the Zoning Ordinance specific to the Conditional Use requested:

Comment: All signs will comply with setback, landscaping, and performance standards in the Ordinance.

PZB Additions or Modifications (if necessary): _____

PZB Procedure and Recommended Condition: Given the separate conditional use for LASR and major change to final PUD requests, the PZB should take two motions. First, pursuant to Section 12-3-5 of the Zoning Ordinance, the PZB may vote to *recommend* approval, approval with conditions, or denial of the amended Final PUD. The request includes exceptions for:

- Perimeter parking lot landscaping, illustrated in the attached plans, that does not meet the minimum perimeter landscape bed width requirements of Section 12-10-8.B.
- Interior parking lot landscaping, illustrated in the attached plans, that does not meet the minimum size and landscape material requirements of Section 12-10-8.A.
- Drive-aisle width of the drive-through stacking lane, proposed as 11 feet wide where 12 feet is required, pursuant to Section 12-9-6.B.

In regard to the conditional use LASR request, the PZB may vote to recommend approval, approval with conditions, or denial of the conditional use pursuant to Section 12-11-8 of the Zoning Ordinance. If the PZB chooses to recommend approval the LASR, staff recommends the following conditions.

Recommended Conditions of Approval:

1. A three-foot landscape bed in all directions must be provided at the base of all freestanding signs. All landscape beds must be comprised of low-lying evergreen shrubs, perennials, and annuals.
2. Structural design plans shall be provided for all signage at time of building permit.

Attachments:

- Attachment 1: Location/Zoning Map
- Attachment 2: Site and Context Photos
- Attachment 3: Boundary and Topographic Survey of Lot 5
- Attachment 4: Site Condition Photos of Lot 5
- Attachment 5: Aerial Exhibit of Lot 5
- Attachment 6: Petitioner’s Responses to Standards for Conditional Uses and PUDs
- Attachment 7: Business Narrative and Qualifying Statement for Popeyes
- Attachment 8: Business Narrative for Tesla

Case 23-054-MAP-V	1625 Linden Street	Map Amendment Variation
Case 23-051-FPUD_CU-LASR	2991-3025 Mannheim, 3041 Orchard & 1620-1630 Higgins	Final Planned Unit Development & Conditional Use -LASR
Case -053-CU-FPLAT-V	1345 Golf, 1269 Golf & 16 Mary	Conditional Use, Final Plat of Subdivision, Variation
Case 23-043-TA	Citywide	Text Amendment

- Attachment 9: Site Plan for Lot 5
- Attachment 10: Engineering Plans for Lot 5
- Attachment 11: Amended PUD Plat (includes PUD Site Plan)
- Attachment 12: Landscape Plan for Lot 5
- Attachment 13: Photometric Plan for Lot 5
- Attachment 14: Architectural Plans for Popeyes
- Attachment 15: Architectural Plans for Tesla
- Attachment 16: Public Works and Engineering Memo
- Attachment 17: Fire Truck Turning Exhibit for Lot 5
- Attachment 18: Combined Sign Plan for Lots 1, 3, 5, 6, and 7

Chair Szabo swore in Todd Shaffer, Engineer for the Petitioner. Mr. Shaffer explained the scope of the petition. He explained the Orchards of O’Hare Subdivision. Mr. Schaffer stated right now the car wash lot is not on the agenda tonight. It is going to remain as a proposed car wash. What has been on the agenda tonight has been a major amendment to Lot 5. This is the lot north of the McDonald’s, south of the BP gas station. The original approval was for a class A sit down restaurant, an Outback Steakhouse at the time. That Lot has sat undeveloped. The applicant approached the City to utilize for parking, for excess parking at the hotel. That is what exists today, a vacant building with parking around the perimeter. Mr. Shaffer said historically, there was a PUD amendment for Lot 1, where the Panera Bread is. That was on the original approval in 2015. In 2019, the PUD amendment was approved for the Panera; all of that is constructed except the monument sign which is yet to be constructed. There is a petition for Popeye’s. The parking is in conformance with the City code. Handicap parking is provided for each use. Each use is broken into the lease line, which is Tesla’s property lease and Popeye’s property. If you look at Popeye’s on its own, we are in conformance.

Mr. Shaffer stated there are 52 proposed Tesla charging stations. On the other portion is a drive through fast-food restaurant. The utilities have already been brought to the site, meaning dry and wet utilities. The project does need to get an MWRD permit. In the event that Tesla comes in first, they have provided the City information that shows an MWRD is not required at that point. The building and sanitary sewer construction requires an MWRD permit. The petitioner would work with City staff and Popeye’s for an MWRD permit at that time.

Mr. Shaffer stated the other part of the PUD is on Lot 3, which was proposed to be an outdoor patio/sit down area. Cilantro will be petitioning the City for the permit soon. In essence with the PUD amendment approval, the only undeveloped portion is the carwash site, otherwise it would be a fully developed property. There are a couple of exceptions noted in the staff report. Those exceptions are acceptable to the team from the standpoint of perimeter landscaping – landscaping it’s needed because the Tesla charging equipment is behind the curb and encroaches on the existing 7-foot setback. They are holding this area for Popeyes and accessible spaces around the charging stations. On the South side, the charging stations are also encroaching in the landscaping. There is landscaping between the C-wall and the Tesla equipment. The other exception has to do with the center island landscaping. There is a lot of electrical equipment that needs clearance and access for the chargers and that limits the landscaping. Exception request 3 is

Case 23-054-MAP-V	1625 Linden Street	Map Amendment Variation
Case 23-051-FPUD_CU-LASR	2991-3025 Mannheim, 3041 Orchard & 1620-1630 Higgins	Final Planned Unit Development & Conditional Use -LASR
Case -053-CU-FPLAT-V	1345 Golf, 1269 Golf & 16 Mary	Conditional Use, Final Plat of Subdivision, Variation
Case 23-043-TA	Citywide	Text Amendment

regarding an 11-foot-wide drive aisle versus 12 feet. They worked with City staff on accommodating the 12 feet, which we could do, but we would like a concrete median separating the two-way traffic, with cars pulling in and out of the charging stations. This prevents collisions with cars in the drive through.

Mr. Shaffer stated that this LASR was approved by the prior PUD. Some of it was built, some of it not built but approved. It was a chore to gather all the signage from 2015 to now and determine what was built. There is a large package in your packet that summarizes that information. He stated he will go from easy to difficult. The easy part is lot 1 where the signage was fully approved. The only change proposed on Lot 1 was the shared monument sign. All they are doing is modifying the panels to accommodate the new tenants. These signs were presented to the City as blank panels. They are completing all the panels now. You will notice the car wash graphics are consistent with what was previously approved for Lot 7, not built yet. This sign here is also a sign for the Tesla/Popeye's lot. It is in the same location as the previous sign. Same height, width and just changing the panels. In the gas station mart – everything you see today is remaining.

A couple of things have changed since the original PUD. The original PUD was a Citgo. There was a change in user to BP requiring different branding. The City permitted the canopy sign and the monument sign with the BP logo and the Dunkin Donuts sign. The other thing – we can't tell you when the Dunkin' Donuts awning was installed. That was not documented in the original PUD but we are adding it to the amendment. It is a simple awning that exists now. On the east side, there is a clearance bar and menu board. Those exist today and we have included them with our request to formally permit them in the PUD. Lot 5 includes all new signs because we are going from an unknown tenant to a known tenant. Tesla does not include any signage that is part of the LASR. Popeye's has signage included with your packet. It is part of their branding. Popeye's can talk about any questions they have about the signage proposed. This includes proposed the clearance bar, menu boards, and other signage for wayfinding to the drive thru. The next lot is the hotel. The signage approved as part of the hotel is the Holiday Inn that exists today. What is coming in front of you is the graphics for the two restaurant users – Cilantro and the Ostras. Here are the graphics on various locations on the building. Also, the signage you would typically see for the entrances. That is all part of your package. The other sign is the pylon sign facing I-90 that was previously approved, never built, and still part of the package to consolidate into one nice packet. If there is an amendment moving forward, it is an amendment to this packet before you. That is a pretty comprehensive summary of the LASR. There are two conditions of approval, one for landscaping around signs and structural design plans submitted at time of permit. We have no issues with these conditions.

Member Weaver said when he was out there today, he noticed at the south end there is construction going on in a curvilinear extension and asked if that would be one of the restaurants.

Jonathan Stytz, Senior Planner, said that is build out for the restaurants. There are separate spaces for each restaurant including outdoor seating areas. Both at the south end on the lower level.

Member Weaver said he is having trouble understanding Lot 4.

Case 23-054-MAP-V	1625 Linden Street	Map Amendment Variation
Case 23-051-FPUD_CU-LASR	2991-3025 Mannheim, 3041 Orchard & 1620-1630 Higgins	Final Planned Unit Development & Conditional Use -LASR
Case -053-CU-FPLAT-V	1345 Golf, 1269 Golf & 16 Mary	Conditional Use, Final Plat of Subdivision, Variation
Case 23-043-TA	Citywide	Text Amendment

Todd Shaffer stated that it is the creek. The City of Des Plaines owned the land. Willow Creek is a major stormwater management conveyance system. Lot 2 and Lot 4 were retained for stormwater management and can't be developed.

Member Weaver asked if MWRD and the Army Corps of Engineers have jurisdiction.

Mr. Shaffer said yes, the City is aware they would need to work with those entities to develop that area.

Chair Szabo said I have a question out of left field. This area has flooded several times, but is not familiar with the Tesla charging apparatus. If we get a 30-year flood, what happens to the charging equipment?

Mr. Shaffer said I will speak from the engineering perspective. The stormwater storage is in the creek and there is also a compensatory storage that stores water.

Mike Lovestrand, Tesla representative, stated the charging equipment is designed and rated for outdoor use, rain or storms. We can remotely shut down the site and if we get concerns we will shut it down.

Member Veremis asked if Tesla charges people for the charging and if Des Plaines gets any tax off the charging.

Mr. Lovestrand from Tesla stated that information was provided in the packet.

Jonathan Stytz, Senior Planner, gives the staff presentation. He explains the Major Change to Final Planned Unit Development (PUD) and Conditional Use for an Amended Localized Alternative Sign Regulation (LASR) at 2995-3001 Mannheim Road, 3401 Orchard Place, and 1620-1630 Higgins Road. He described the Local Map and Background, displayed Site Photos, and the Project summary for Lot 5 which includes a major change to a Final PUD to allow the construction of a Class B restaurant and EV charging spaces for Lot 5. And a major change to a LASR for updates of the multi-tenant monument signs, new signs for the Lot 5 development, and additional signs on Lot 6. He explained the Major Change to a Final PUD. He displayed the Amended PUD Plat. He explained the Conditional Use LASR. He displayed the overall Sign Plan on all lots. He went through the Multi-tenant Monument Sign Plan, Lot 3 Sign Plan – North Elevation, West Elevation and South Elevation. He explained the Lot Sign Plan Site Map with West and North Elevations and Ground Signs.

He stated the requested PUD exceptions for PZB's consideration: (i) Perimeter parking lot landscaping, illustrated in the attached plans, that does not meet the minimum perimeter landscape bed width requirements of Section 12-10-8.B; (ii) interior parking lot landscaping, illustrated in the attached plans, that does not meet the minimum size and landscape material requirements of Section 12-10-8.A; and (iii) drive-aisle width of the drive-through stacking lane, proposed as 11 feet wide where 12 feet is required, pursuant to Section 12-9-6.B. He also stated the staff Recommended Conditions:

1. A three-foot landscape bed in all directions must be provided at the base of freestanding signs. All landscape beds must be comprised of low-lying evergreen shrubs, perennials, and annuals.
2. Structural design plans shall be provided for all signage at time of building permit.

Case 23-054-MAP-V	1625 Linden Street	Map Amendment Variation
Case 23-051-FPUD_CU-LASR	2991-3025 Mannheim, 3041 Orchard & 1620-1630 Higgins	Final Planned Unit Development & Conditional Use -LASR
Case -053-CU-FPLAT-V	1345 Golf, 1269 Golf & 16 Mary	Conditional Use, Final Plat of Subdivision, Variation
Case 23-043-TA	Citywide	Text Amendment

He stated the two actions for the PZB’s consideration tonight for which the PZB is a recommending body: (i) Major Change to PUD; and (ii) Conditional Use for LASR.

Member Catalano asked when is the carwash going to be built. Mr. Shaffer stated that are no imminent plans right now to construct the car wash.

A motion was made by Board Member Weaver seconded by Board Member Hofherr to recommend approval of the amended the Final Planned Unit Development with the three exceptions as listed in the staff report which includes:

1. Perimeter parking lot landscaping, illustrated in the attached plans, that does not meet the minimum perimeter landscape bed width requirements of Section 12-10-8.B.
2. Interior parking lot landscaping, illustrated in the attached plans, that does not meet the minimum size and landscape material requirements of Section 12-10-8.A.
3. Drive-aisle width of the drive-through stacking lane, proposed as 11 feet wide where 12 feet is required, pursuant to Section 12-9-6.B

AYES: Weaver, Hofherr, Catalano, Fowler, Veremis, Saletnik, Szabo
NAYES: None
ABSTAIN: None

*****MOTION CARRIES UNANIMOUSLY ****

A motion was made by Board Member Weaver seconded by Board Member Hofherr to recommend approve the Conditional Use LASR request with the two conditions of approval as drafted by staff.

AYES: Weaver, Hofherr, Catalano, Fowler, Veremis, Saletnik, Szabo
NAYES: None
ABSTAIN: None

*****MOTION CARRIES UNANIMOUSLY ****

CITY OF DES PLAINES

ORDINANCE Z - 28 - 23

AN ORDINANCE APPROVING A MAJOR CHANGE TO A FINAL PLANNED UNIT DEVELOPMENT AND AN AMENDMENT TO A CONDITIONAL USE PERMIT FOR A LOCALIZED ALTERNATIVE SIGN REGULATION AT 2995-3025 MANNHEIM ROAD, 3401 ORCHARD PLACE, AND 1620-1630 HIGGINS ROAD, DES PLAINES, ILLINOIS (Case#23-051-FPUD-CU LASR).

WHEREAS, Rehan Zaid (“*Petitioner*”) has submitted to the City a petition for relief on behalf of Orchards Lot 5, LLC, Orchards Lot 6, LLC, Orchards Lot 7, LLC, Prominence O’Hare, LLC, and DP Higgins, LLC (collectively, the “*Owners*”) which collectively own those parcels of land consisting of six lots of record, totaling 9.09 acres, commonly known as 2995-3025 Mannheim Road, 3401 Orchard Place, and 1620-1630 Higgins Road, all in Des Plaines, Illinois (collectively, the “*Subject Property*”); and

WHEREAS, on August 1, 2016, the City Council adopted Ordinance Z-18-16, approving a Final Plat of Planned Unit Development (“*PUD*”) for the development, construction, and operation of a hotel, a Class A restaurant, a convenience mart fueling station with two food services, and a car wash on the Subject Property; and

WHEREAS, on June 18, 2018, the City Council adopted Ordinance Z-18-18, approving a Local Alternative Sign Regulation (“*LASR*”) for the Subject Property; and

WHEREAS, on April 1, 2019, the City Council adopted Ordinance Z-5-19 approving a Major Change to the PUD for construction of a one-story commercial building with two tenant spaces with a drive-through and separate surface parking area on Lot 1 of the Subject Property (collectively, Z-18-16, Z-18-18, and Z-5-19 are referred to herein as the “*Prior Approvals*”); and

WHEREAS, the Subject Property is located in the C-3 General Commercial District (“*C-3 District*”) and is currently improved with a hotel with two designated restaurant spaces, a convenience mart fueling station with two food services, a one-story commercial building with two tenants and a drive-through, vacant lots, and several surface parking areas (“*Existing Planned Development*”); and

WHEREAS, the Prior Approvals contemplated that Lot 5 of the Subject Property would be improved with a Class A, sit-down restaurant; and

WHEREAS, due to changing market conditions, Lot 5 was never developed as contemplated by the Prior Approvals, and the Petitioner now desires to alter the Existing Planned Development to developer Lot 5 with (i) a freestanding Class B restaurant with surface parking area and (ii) an electric vehicle charging station with 52 parking spots accessible to Tesla Supercharger facilities (“*EV Charging Station*”) (collectively, the “*Proposed Development*”);

and

WHEREAS, the “Des Plaines Zoning Ordinance of 1998,” as amended (“*Zoning Ordinance*”), is codified as Title 12 of the City Code of the City of Des Plaines (“*City Code*”); and

WHEREAS, pursuant to Section 12-3-5 of the Zoning Ordinance, the Petitioner filed an application with the Department for the approval of a major change to the Existing Planned Development to allow for the construction, operation and maintenance of the Proposed Development on Lot 5 (“*Requested PUD Amendment*”); and

WHEREAS, pursuant to Section 12-3-4 of the Zoning Ordinance, the Petitioner also filed an additional application with the Department for the approval of an amendment to the LASR approved by Z-18-18 (“*Requested LASR Amendment*”) (collectively, the Requested PUD Amendment and the Requested LASR Amendment are the “*Requested Relief*”); and

WHEREAS, within fifteen 15 days after the receipt thereof, the Petitioner’s applications were referred by the Department of Community and Economic Development to the Planning and Zoning Board of the City of Des Plaines (“*PZB*”); and

WHEREAS, within 90 days after the date of the Petitioner’s applications, a public hearing to consider the Conditional Use Permit was opened by the PZB on August 22, 2023 and continued to September 12, 2023, pursuant to publication in the *Des Plaines Journal* on August 2, 2023; and

WHEREAS, notice of the public hearing was mailed to all property owners within 500 feet of the Subject Property; and

WHEREAS, on September 12, 2023, the PZB voted by a vote of 7-0 to recommend approval of the Requested PUD Amendment and voted by a vote of 7-0 to recommend approval of the Requested LASR Amendment, subject to certain conditions; and

WHEREAS, pursuant to Sections 12-3-4 and 12-3-5 of the Zoning Ordinance, the PZB filed a written report with the City Council on September 14, 2023, summarizing the testimony and evidence received by the PZB and stating its approval and recommendation; and

WHEREAS, the Petitioner made representations to the PZB with respect to the Requested Relief, which representations are hereby found by the City Council to be material and upon which the City Council relies in approving the Requested Relief; and

WHEREAS, the City Council has considered the written report of the PZB, the applicable standards for conditional use permits and PUD amendments set forth in the Zoning Ordinance, and the Community and Economic Development Staff Memorandum dated September 21, 2023, and has determined that it is in the best interest of the City and the public to approve the Requested Relief in accordance with the provisions of this Ordinance;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Des Plaines, Cook County, Illinois, in the exercise of its home rule powers, as follows:

SECTION 1. RECITALS. The recitals set forth above are incorporated herein by reference and made a part hereof, the same constituting the factual basis for the approval of the Requested Relief.

SECTION 2. LEGAL DESCRIPTION OF SUBJECT PROPERTY. Subject Property is legally described as:

LOTS 1, 3, 5, 6, AND 7 IN THE FINAL PLAT OF THE ORCHARDS AT O'HARE SUBDIVISION, RECORDED DECEMBER 27, 2016 AS DOCUMENT 1636218072, BEING A SUBDIVISION IN THE SOUTHWEST ¼ OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS

PINs: LOT 1: 09-33-305-020
LOT 3: 09-33-305-018, 09-33-305-019
LOT 5: 09-33-305-023
LOT 6: 09-33-305-024
LOT 7: 09-33-305-025

Commonly known as:

LOT 1: 1620-1630 Higgins Road, Des Plaines, Illinois.
LOT 3: 2988 Orchard Place, Des Plaines, Illinois
LOT 5: 3025 S. Mannheim Road, Des Plaines, Illinois
LOT 6: 2996 S. Mannheim Road, Des Plaines, Illinois
LOT 7: 2991 S. Mannheim Road, Des Plaines, Illinois

SECTION 3. APPROVAL OF MAJOR CHANGE TO PLANNED DEVELOPMENT.

A. Approval of Amended PUD Plat. To accommodate the Proposed Development, pursuant to Section 13-2-7 of the City Code, and subject to and contingent upon the conditions, restrictions, limitations and provisions set forth in Section 5 of this Ordinance, the City Council hereby approves the Amended PUD Plat for the Subject Property, prepared by Haeger Engineering, consisting of four sheets, a copy of which is attached to, and by this reference, made

a part of this Ordinance as *Exhibit A*. The “*Amended PUD Plat*” consists of the following components:

1. “Site Plan Overall – PUD Amendment the Orchards at O’Hare,” consisting of one sheet labeled SP1.0, with a latest revision date of August 25, 2023;
2. “Site Plan West – PUD Amendment the Orchards at O’Hare,” consisting of one sheet labeled SP1.1, with a latest revision date of August 25, 2023;
3. “Site Plan East – PUD Amendment the Orchards at O’Hare,” consisting of one sheet labeled SP1.2, with a latest revision date of August 25, 2023; and
4. “Site Plan South – PUD Amendment the Orchards at O’Hare,” consisting of one sheet labeled SP1.3, with a latest revision date of August 25, 2023.

B. Approval of PUD Exceptions. The major change to the Existing Planned Development to accommodate the Proposed Development is granted with the following exceptions:

1. The drive-through aisle for the proposed restaurant on Lot 5 will be permitted to have a width of 11 feet rather than the required 12-feet; and
2. The perimeter landscape bed along Mannheim Road and perimeter landscape bed along Willow Creek, both on the southern portion of Lot 5, will be permitted to have a width of 3 feet rather than the required 5-feet.

SECTION 4. APPROVAL OF AMENDMENT TO LOCAL ALTERNATIVE SIGN REGULATION.

Subject to and contingent upon the conditions, restrictions, limitations and provisions set forth in Section 5 of this Ordinance, the City Council hereby grants the Petitioner an amendment to the previously granted Conditional Use Permit for the Local Alternative Sign Regulation plan

for the Subject Property as depicted in the “*Amended LASR Sign Plan*,” prepared by Petitioner, consisting of 88 sheets with a latest revision date of August 25, 2023, a copy of which is attached to, and, by this reference made a part of this Ordinance as *Exhibit B*. The Conditional Use Permit amended by this Ordinance is consistent with and equivalent to a "special use" as referenced in Section 11-13-25 of the Illinois Municipal Code, 65 ILCS 5/11-13-25.

SECTION 5. CONDITIONS. The approvals granted in Sections 3 and 4 of this Ordinance shall be, and is hereby, expressly subject to and contingent upon the following conditions, restrictions, limitations, and provisions of this Section 5:

A. Compliance with Law and Regulations. The development, use, operation, and maintenance of the Proposed Development on Subject Property by the Petitioner and Owners must comply with all applicable City codes and ordinances, as the same have been or may be amended from time to time, except to the extent specifically provided otherwise in this Ordinance.

B. Compliance with Plans. The development, use, and maintenance of the Subject Property must be conducted in strict compliance with the following plans, except for minor changes and site work approved by the Director of the Department, and changes to comply with the conditions set forth in Section 5.B of this Ordinance, in accordance with all applicable City codes, ordinances, and standards, including, without limitation, Sections 3.4-8, "Limitations on Conditional Uses," and 3.4-9, "Effect of Approval," of the Zoning Ordinance:

1. The Amended PUD Plat.
2. The Amended LASR Sign Plan.
3. Qualifying Statement and Narrative, prepared by the Petitioner, consisting of two sheets, with a latest revision date of July 13, 2023, a copy of which is attached to and, by this reference, made a part of this Ordinance as *Exhibit C*;

4. Business Narrative for EV Charging Station, prepared by Tesla, consisting of three sheets, and with a latest revision date of July 7, 2023, a copy of which is attached to and, by this reference, made a part of this Ordinance as ***Exhibit D***;

5. Preliminary Engineering Plans for Lot 5, prepared by Haeger Engineering, consisting of six sheets with a latest revision date of August 25, 2023, a copy of which is attached to and, by this reference, made a part of this Ordinance as ***Exhibit E***;

6. Architectural Plans for Popeyes Restaurant, prepared by Atul Karkhanis Architects, LTD and with a latest revision date of September 6, 2023, a copy of which is attached to and, by this reference, made a part of this Ordinance as ***Exhibit F***;

7. Architectural Plans for EV Charging Station, prepared by Tesla, and with a latest revision date of July 17, 2023, a copy of which is attached to and, by this reference, made a part of this Ordinance as ***Exhibit G***;

8. Landscape Plans for Lot 5, prepared by G Studio, consisting of one sheet, and with a latest revision date of August 25, 2023, a copy of which is attached to and, by this reference, made a part of this Ordinance as ***Exhibit H***; and

9. Photometric Plan for Lot 5, prepared by Energy Management Collaborative, consisting of one sheet, and with a latest revision date of August 23, 2023, a copy of which is attached to and, by this reference, made a part of this Ordinance as ***Exhibit I***.

C. **Additional Conditions**. The development, use, and maintenance of the Subject Property shall be subject to and contingent upon the following additional conditions:

1. A three-foot landscape bed in all directions must be provided at the base of all freestanding signs. All landscape beds must be comprised of low-lying evergreen shrubs, perennials, and annuals.

2. Structural design plans shall be provided for all signage at time of building permit.

3. The required loading space for the Class B restaurant may be specified as standard depth and width as a normal parking stall; provided, however, the space is marked as reserved for a loading purpose and is placed in a location permissible under Section 12-9-9.C of the Zoning Ordinance. The Site Plan shall be updated at the time of building permit to label the required space.

SECTION 6. FAILURE TO COMPLY WITH CONDITIONS.

A. Any person, firm or corporation who violates, disobeys, omits, neglects or refuses to comply with, or resists the enforcement of, any of the provisions of this Ordinance shall be fined not less than \$75.00 or more than \$750.00 for each offense. Each and every day that a violation of this Ordinance is allowed to remain in effect shall constitute a complete and separate offense. In addition, the appropriate authorities of the City may take such other action as they deem proper to enforce the terms and conditions of this Ordinance, including, without limitation, an action in equity to compel compliance with its terms. Any person, firm or corporation violating the terms of this Ordinance shall be subject, in addition to the foregoing penalties, to the payment of court costs and reasonable attorneys' fees.

B. In the event that the Petitioner fails to develop or maintain the Subject Property in accordance with the requirements of the Zoning Ordinance, or the conditions set forth in Section 5 of this Ordinance, the relief granted in this Ordinance, along with the Prior Approvals, may be revoked after notice and hearing before the Zoning Administrator of the City, all in accordance with the procedures set forth in Section 12-4-7 of the Zoning Ordinance. In the event of revocation, the development and use of the Subject Property will be governed solely by the regulations of the

C-3 District. Further, in the event of such revocation of the Conditional Use Permit, the City Manager and City's General Counsel are hereby authorized and directed to bring such zoning enforcement action as may be appropriate under the circumstances. The Petitioner and the Owners acknowledge that public notices and hearings have been held with respect to the adoption of this Ordinance, has considered the possibility of the revocation provided for in this Section, and agree not to challenge any such revocation on the grounds of any procedural infirmity or any denial of any procedural right, provided that the notice and hearing required by Section 12-4-7 of the Zoning Ordinance is provided to the Petitioner and to the Owners.

SECTION 7. BINDING EFFECT; NON-TRANSFERABILITY. The privileges, obligations, and provisions of each and every section and requirement of this Ordinance are for and shall inure solely to the benefit of the Owners of their respective parcels. Nothing in this Ordinance shall be deemed to allow the Owners to transfer any of the rights or interests granted herein to any other person or entity without the prior approval of the City Council by a duly adopted amendment to this Ordinance.

SECTION 8. SEVERABILITY. If any paragraph, section, clause or provision of this Ordinance is held invalid, the remainder shall continue in full force and effect without affecting the validity of the remaining portions of the Ordinance.

SECTION 9. EFFECTIVE DATE. This Ordinance shall be in full force and effect from and after the occurrence of the following:

- A. its passage, approval and publication in pamphlet form as provided by law;
- B. the filing with the City Clerk by the Petitioner, not less than 60 days after the passage and approval of this Ordinance, of an unconditional agreement and consent to accept and abide by each and all of the terms, conditions, and limitations set forth in this Ordinance executed

by Petitioner and Owners. Said unconditional agreement and consent shall be in substantially the form attached to, and by this reference made a part of, this Ordinance as **Exhibit J**; and

C. at the Petitioner’s sole cost and expense, the recordation of this Ordinance together with such exhibits as the City Clerk deems appropriate, with the Office of the Cook County Recorder.

D. In the event that the Petitioner does not file with the City Clerk a fully executed copy of the unconditional agreement and consent referenced in Section 9.B of this Ordinance, within 60 days after the date of passage of this Ordinance by the City Council, the City Council shall have the right, in its sole discretion, to declare this Ordinance null and void and of no force or effect.

PASSED this _____ day of _____, 2023.

APPROVED this _____ day of _____, 2023.

VOTE: AYES _____ NAYS _____ ABSENT _____

MAYOR

ATTEST:

CITY CLERK

Published in pamphlet form this
_____ day of _____, 2023.

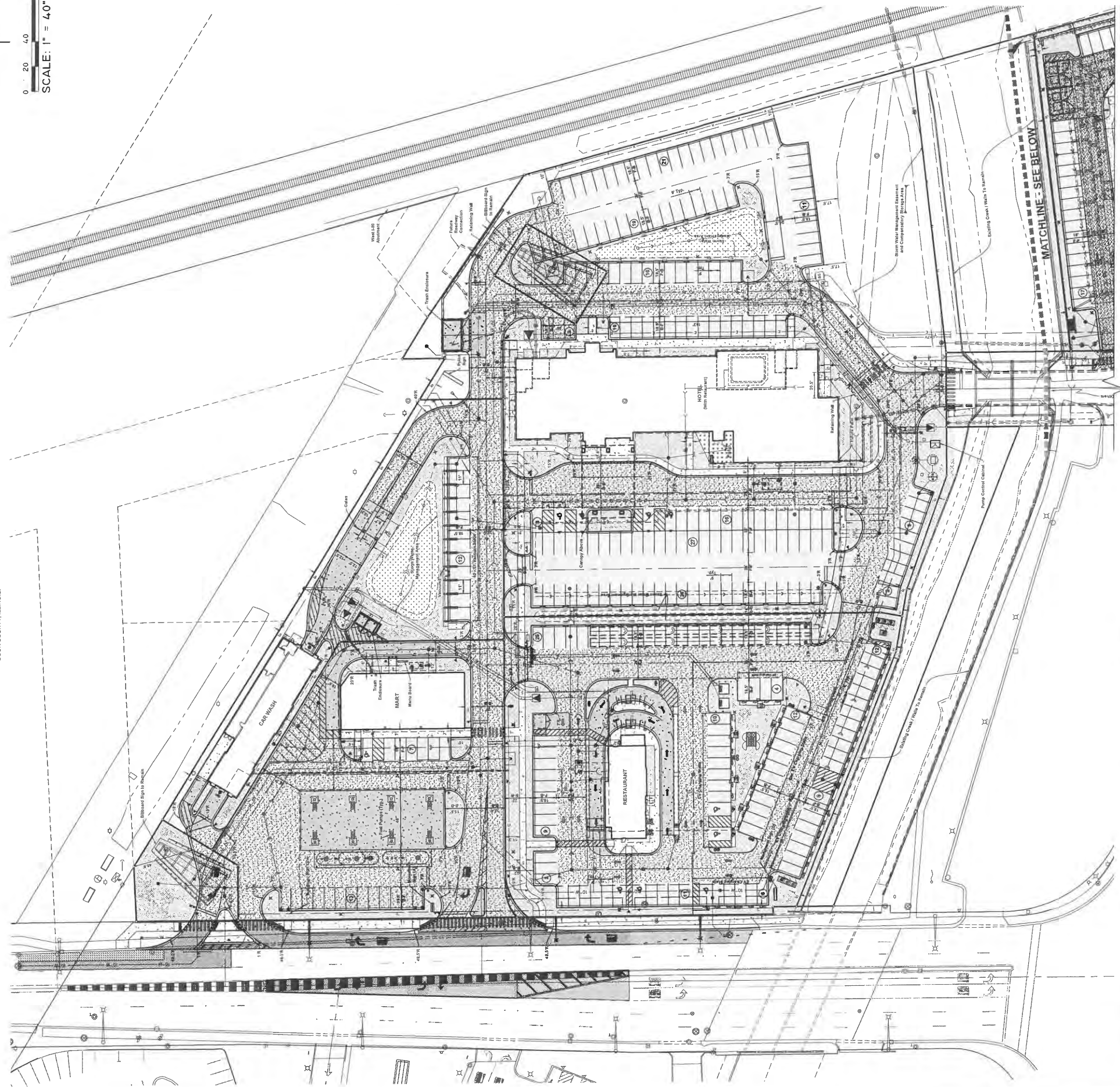
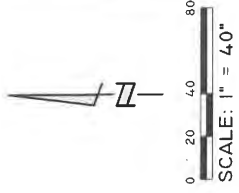
Approved as to form:

CITY CLERK

Peter M. Friedman, General Counsel

AMENDED PLANNED UNIT DEVELOPMENT PLAT THE ORCHARDS AT O'HARE

LEGAL DESCRIPTION
 LOTS 1, 5, 6, 7 IN THE FINAL PLAT OF THE ORCHARDS AT O'HARE SUBDIVISION,
 BEING A REVISION OF PART OF THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP
 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE
 PLAT THEREOF RECORDED DECEMBER 27, 2016 AS DOCUMENT NO. 1638218072, IN
 COOK COUNTY, ILLINOIS.



LEGEND

Existing Symbol	Description	Proposed Symbol
⊙	Storm Sewer Manhole	⊙
□	Catch Basin	⊙
⊙	Inlet	⊙
⊙	Sanitary Sewer Manhole	⊙
⊙	Clean Out	⊙
⊙	Storm Sewer	⊙
⊙	Sanitary Sewer	⊙
⊙	Sanitary Sewer Service	⊙
⊙	Water Main	⊙
⊙	Water Main Service	⊙
⊙	Fire Hydrant	⊙
⊙	Valve Vault	⊙
⊙	Valve Box	⊙
⊙	Curb & Curb	⊙
⊙	Lot Line	⊙
⊙	Easement Line	⊙
⊙	Property / Lot Line	⊙
⊙	No. Parking Stalls	⊙
⊙	Light Pole	⊙
⊙	Light Pole With Mast Arm	⊙
⊙	Number of Parking Stalls	⊙
⊙	Overhead Utility Line	⊙
⊙	Sign	⊙
⊙	Fence	⊙
⊙	Retaining Wall	⊙

PROJECT LOCATION

LOT DETAIL

LOT 5 (See Sheet 2 for 20 Scale)
 LOT 2 NOT INCLUDED IN PUD
 LOT 1 (See Sheet 3 for 20 Scale)
 LOT 4 NOT INCLUDED IN PUD

LEGEND

Existing Symbol	Description	Proposed Symbol
⊙	Storm Sewer Manhole	⊙
□	Catch Basin	⊙
⊙	Inlet	⊙
⊙	Sanitary Sewer Manhole	⊙
⊙	Clean Out	⊙
⊙	Storm Sewer	⊙
⊙	Sanitary Sewer	⊙
⊙	Sanitary Sewer Service	⊙
⊙	Water Main	⊙
⊙	Water Main Service	⊙
⊙	Fire Hydrant	⊙
⊙	Valve Vault	⊙
⊙	Valve Box	⊙
⊙	Curb & Curb	⊙
⊙	Lot Line	⊙
⊙	Easement Line	⊙
⊙	Property / Lot Line	⊙
⊙	No. Parking Stalls	⊙
⊙	Light Pole	⊙
⊙	Light Pole With Mast Arm	⊙
⊙	Number of Parking Stalls	⊙
⊙	Overhead Utility Line	⊙
⊙	Sign	⊙
⊙	Fence	⊙
⊙	Retaining Wall	⊙

Project No: 15180
 Date: 07-17-2023
 Surveyor: J W G
 Engineer: T A S

HAEGER ENGINEERING
 consulting engineers
 land surveyors

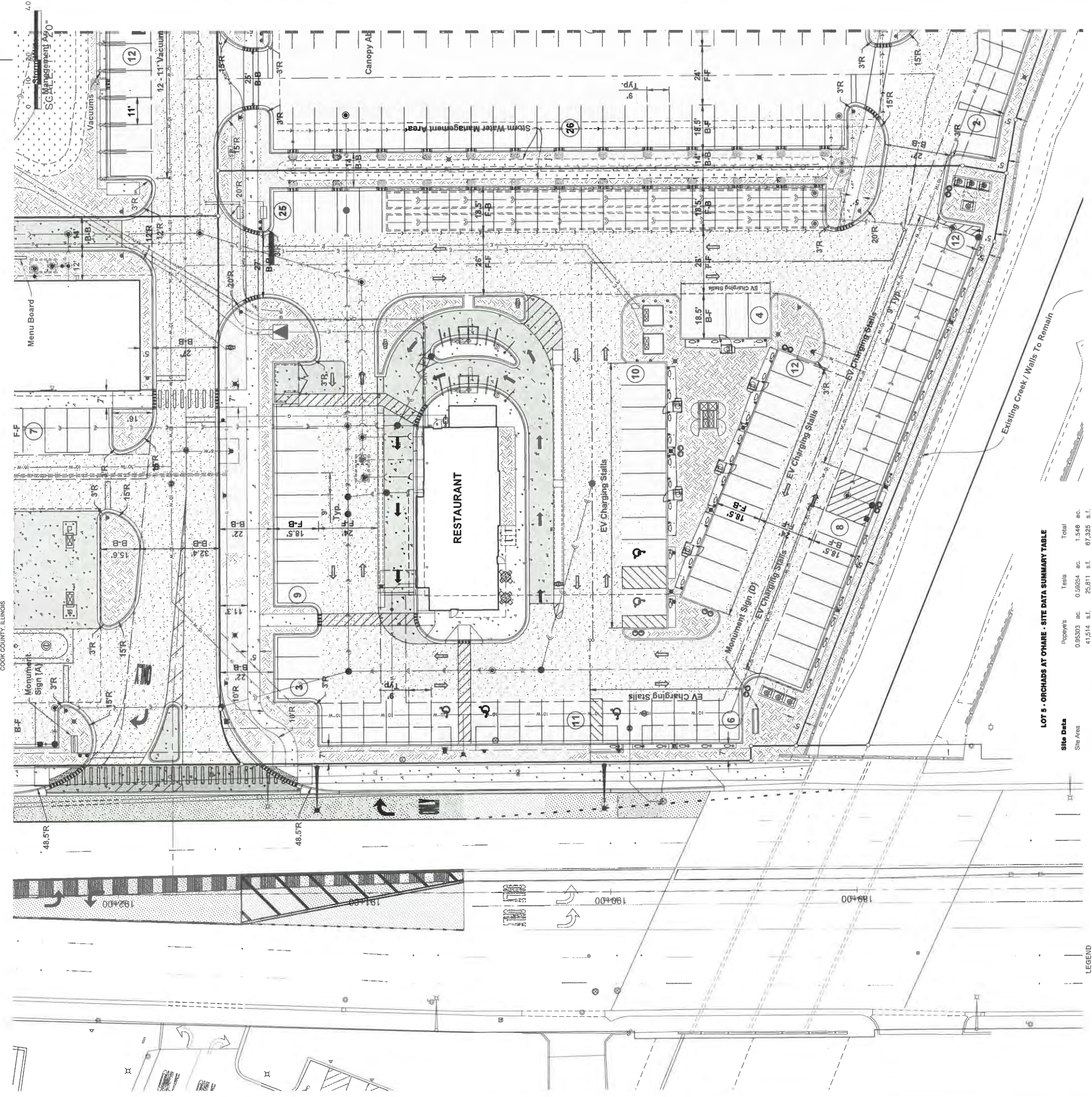
1301 West Lake Street, Schaumburg, IL 60195
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 www.haegerengineering.com

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AMENDED PLANNED UNIT DEVELOPMENT PLAT

LOT 5 - THE ORCHARDS AT O'HARE

LEGAL DESCRIPTION
 LOT 5 IN THE FINAL PLAT OF THE ORCHARDS AT O'HARE SUBDIVISION, BEING A RESUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 14E, EAST OF THE MERIDIAN, COOK COUNTY, ILLINOIS. PLAT THEREOF RECORDED DECEMBER 27, 2016 AS DOCUMENT NO. 163824072, IN COOK COUNTY, ILLINOIS.



LOT 5 - ORCHARDS AT O'HARE - SITE DATA SUMMARY TABLE

Site Data	Poppye's	Teele's	Total
Site Area	0.95303 ac.	0.92624 ac.	1.549 ac.
Building Footprint Area (Gross)	41,514 s.f.	25,811 s.f.	67,325 s.f.
Building Footprint Area (Net)	2,520 s.f.	n/a	2,520 s.f.
Existing zoning is C-3 General Commercial District	683 s.f.	n/a	683 s.f.

Area Breakdown	Pericue Area	Impervious Area	Total Area	%
	12,430 s.f.	0.2853535 ac.		29.9%
	25,084 s.f.	0.5779787 ac.		70.1%
	41,514 s.f.	0.9530302 ac.		100.0%

No. of Buildings	Total No. of Buildings
1	1

Building Use	Building Height
Class B Restaurant with Drive Thru	45'-0" max
	Proposed Building Height: 47'-9.0" at highest point

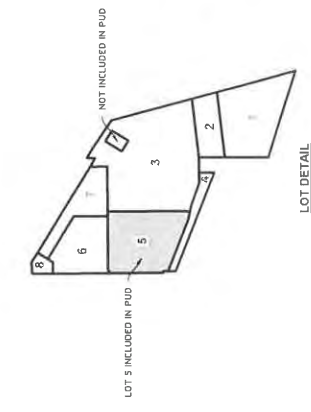
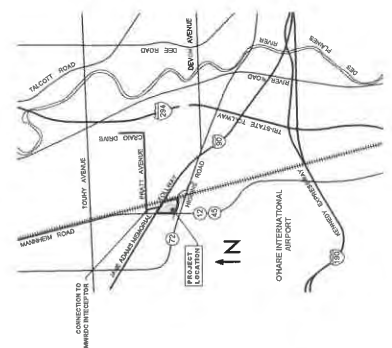
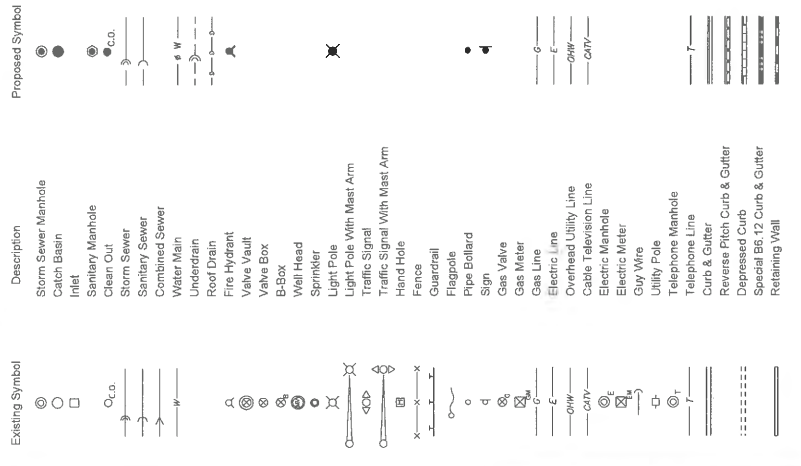
Employee Summary	Hours of Operation
No. of Employees: 12	Sunday thru Thursday: 10 a.m. - 12 a.m.
	Friday & Saturday: 10 a.m. - 1 a.m.

Drive Thru Stacking Requirements
Per Ordinance: 6 Stacking + 1 per Waiting Area
Stacking Provided: 10 Spaces from Drive Thru Entry to Pick-Up Window

Parking Summary
Required Number of Stalls: 18
Standard: 46
Accessible: 2
Total: 46

Note: Required parking for Poppye's was calculated using the net floor area method.

Net Floor Area	Req. Parking
683 s.f.	17.7
No. of Seats: 24	15.5
Diners Inc. Standing: 46	
No. of Employees: 12	



No. 1	Date 08/25/2023	Per City Review & Comment	Revision
	Date 07-17-2023	JWG	Engineer
	Date		Engineer
	Date		Engineer

Project No: 15-180-LOT 5
 Date: 07-17-2023
 Surveyor: JWG
 Engineer: T.A.S.

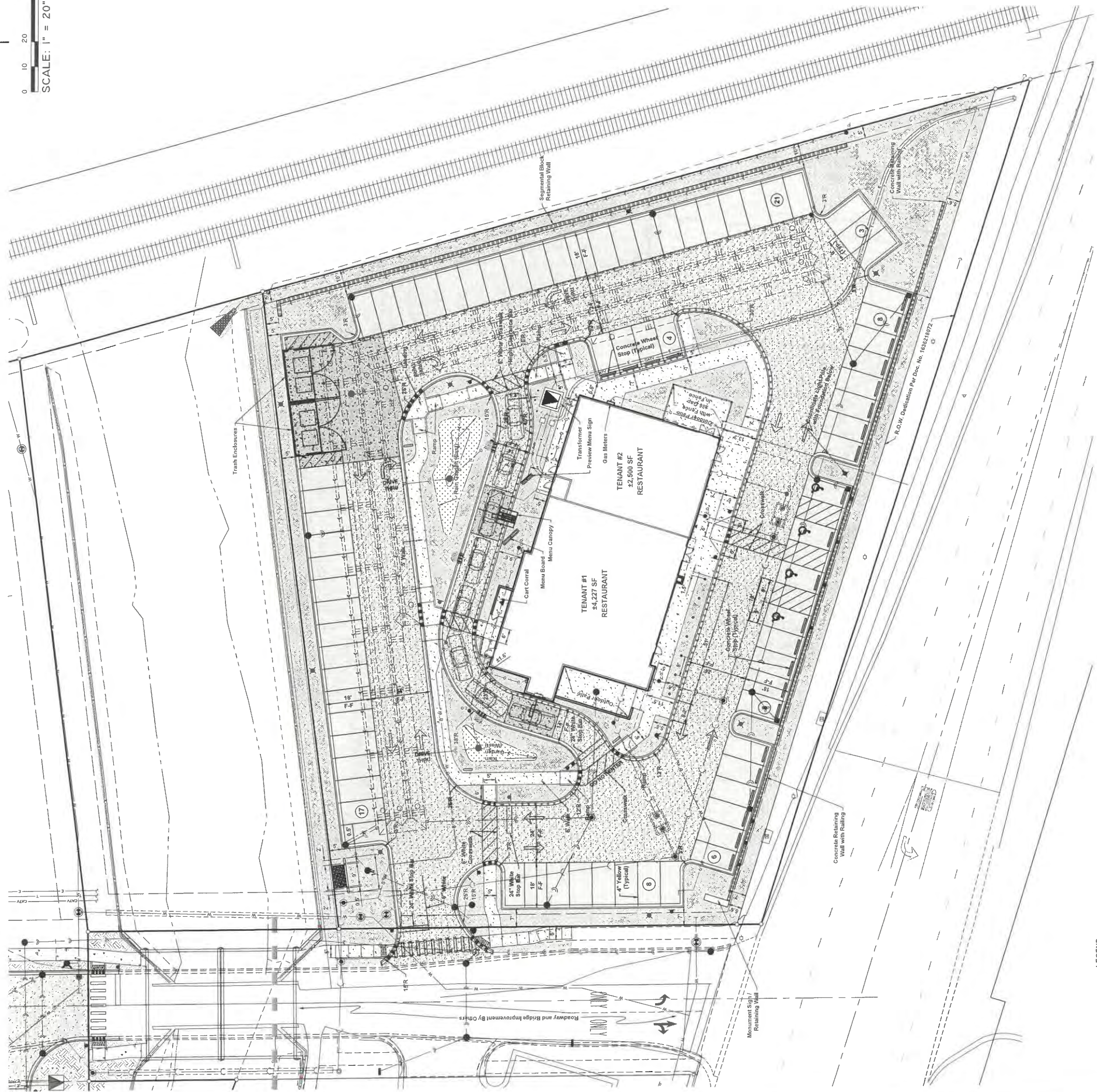
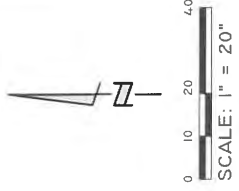
HAEGER ENGINEERING consulting engineers and land surveyors
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 100 East 39th Street, Suite 200, Chicago, IL 60617
 Illinois Professional Design Firm License No. 184-003197
 www.haegerengineering.com

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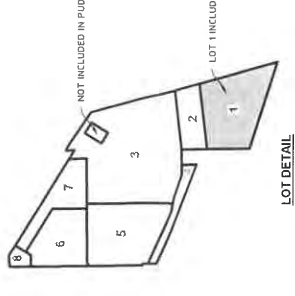
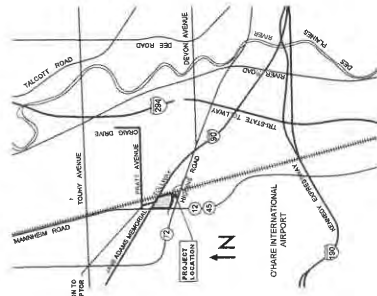
AMENDED PLANNED UNIT DEVELOPMENT PLAT LOT 1 - THE ORCHARDS AT O'HARE

LEGAL DESCRIPTION

LOT 1 IN THE FINAL PART OF THE ORCHARDS AT O'HARE SUBDIVISION, BEING A RESUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 27, 2016 AS DOCUMENT NO. 1038218072, IN COOK COUNTY, ILLINOIS.



Existing Symbol	Description	Proposed Symbol
(Symbol)	Storm Sewer Manhole	(Symbol)
(Symbol)	Catch Basin	(Symbol)
(Symbol)	Inlet	(Symbol)
(Symbol)	Sanitary Manhole	(Symbol)
(Symbol)	Clear Out	(Symbol)
(Symbol)	Storm Sewer	(Symbol)
(Symbol)	Sanitary Sewer	(Symbol)
(Symbol)	Combined Sewer	(Symbol)
(Symbol)	Water Main	(Symbol)
(Symbol)	Underdrain	(Symbol)
(Symbol)	Road Drain	(Symbol)
(Symbol)	Fire Hydrant	(Symbol)
(Symbol)	Valve Vault	(Symbol)
(Symbol)	B-Box	(Symbol)
(Symbol)	Well Head	(Symbol)
(Symbol)	Sprinkler	(Symbol)
(Symbol)	Light Pole	(Symbol)
(Symbol)	Light Pole With Mast Arm	(Symbol)
(Symbol)	Traffic Signal	(Symbol)
(Symbol)	Traffic Signal With Mast Arm	(Symbol)
(Symbol)	Hand Hole	(Symbol)
(Symbol)	Fence	(Symbol)
(Symbol)	Guardrail	(Symbol)
(Symbol)	Flagpole	(Symbol)
(Symbol)	Pipe Bollard	(Symbol)
(Symbol)	Sign	(Symbol)
(Symbol)	Gas Valve	(Symbol)
(Symbol)	Gas Meter	(Symbol)
(Symbol)	Gas Line	(Symbol)
(Symbol)	Electric Line	(Symbol)
(Symbol)	Overhead Utility Line	(Symbol)
(Symbol)	Cable Television Line	(Symbol)
(Symbol)	Electric Manhole	(Symbol)
(Symbol)	Electric Meter	(Symbol)
(Symbol)	Guy Wire	(Symbol)
(Symbol)	Utility Pole	(Symbol)
(Symbol)	Telephone Manhole	(Symbol)
(Symbol)	Telephone Line	(Symbol)
(Symbol)	Curb & Gutter	(Symbol)
(Symbol)	Reverse Pitch Curb & Gutter	(Symbol)
(Symbol)	Depressed Curb	(Symbol)
(Symbol)	Special 66.12 Curb & Gutter	(Symbol)
(Symbol)	Retaining Wall	(Symbol)



Lot 1 Parking Analysis & Lot Area

Building/Use	Square Footage	Parking Ratio	Required Parking
Class A Restaurant #1 (West)	4,227	1/100	42.3
Class A Restaurant #2 (East)	2,500	1/100	25
Total Required Parking			67.3

Total Parking Provided

Standard Parking Stalls (6' x 18')	71
MS Stalls (18' x 18', 18' x 18' Mini)	75
Total	146

Lot 1 Area	Square Footage	Acres
	65,241	1.4977

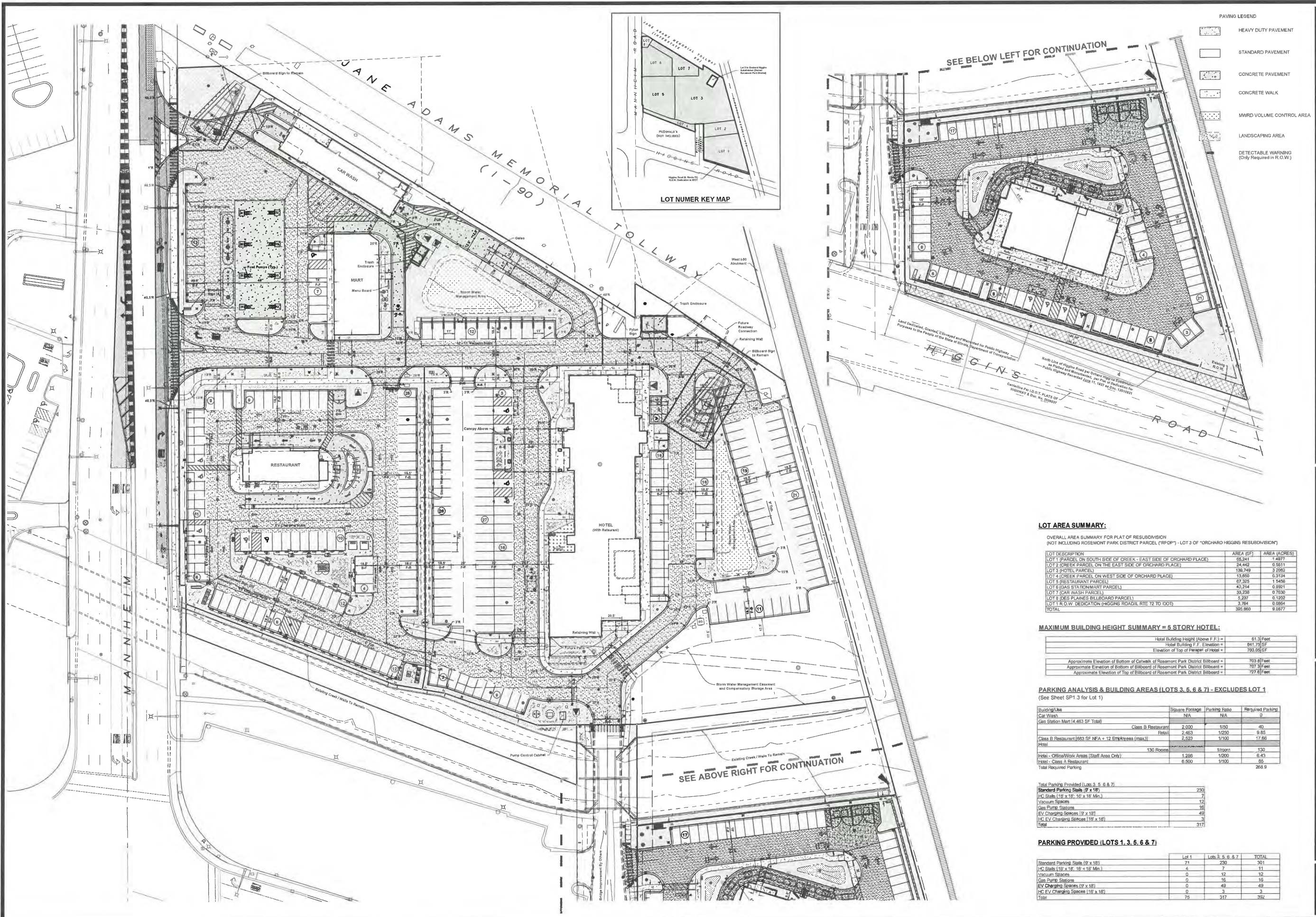
Project No: 15-180_LOT 1
 Date: 07-17-2023
 Surveyor: J W G
 Engineer: T A S

1 08/25/2023 Per City Review & Comment
 No. Date Revision
 No. Date Revision

HAEGER ENGINEERING
 consulting engineers
 land surveyors

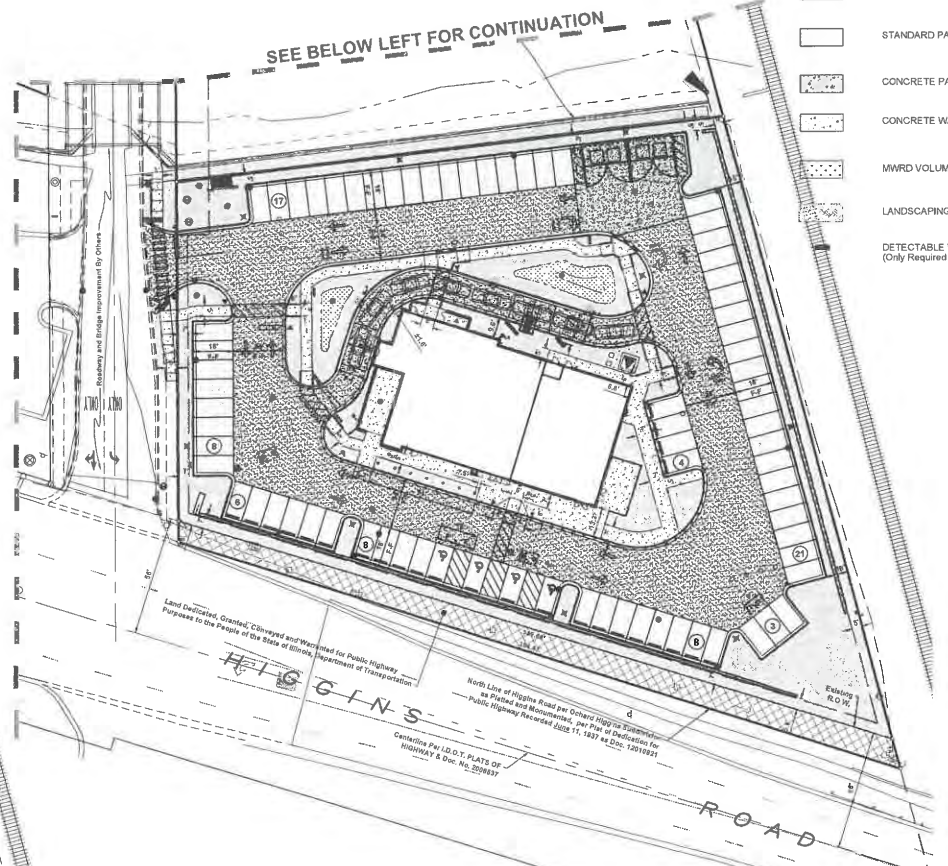
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 Tel: (773) 944-6600 Fax: (773) 944-6673
 Email: Professional Design Firm License No. 184-003152
 www.haegerengineering.com

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PAVING LEGEND

- HEAVY DUTY PAVEMENT
- STANDARD PAVEMENT
- CONCRETE PAVEMENT
- CONCRETE WALK
- MWRD VOLUME CONTROL AREA
- LANDSCAPING AREA
- DETECTABLE WARNING (Only Required in R.O.W.)



LOT AREA SUMMARY:

OVERALL AREA SUMMARY FOR PLAT OF RESUBDIVISION
(NOT INCLUDING ROSEMONT PARK DISTRICT PARCEL (CRDP-1) - LOT 3 OF "ORCHARD HIGGINS RESUBDIVISION")

LOT DESCRIPTION	AREA (SF)	AREA (ACRES)
LOT 1 (PARCEL ON SOUTH SIDE OF CREEK - EAST SIDE OF ORCHARD PLACE)	66,241	1.4877
LOT 2 (CREEK PARCEL ON THE EAST SIDE OF ORCHARD PLACE)	24,443	0.5611
LOT 3 (HOTEL PARCEL)	136,749	3.2082
LOT 4 (CREEK PARCEL ON WEST SIDE OF ORCHARD PLACE)	13,850	0.3134
LOT 5 (RESTAURANT PARCEL)	67,325	1.5456
LOT 6 (GAS STATION/MART PARCEL)	43,214	0.9921
LOT 7 (CAR WASH PARCEL)	33,238	0.7630
LOT 8 (DES PLAINES BILLBOARD PARCEL)	5,297	0.1202
LOT 9 (R.O.W. DEDICATION (HIGGINS) ROAD, RTE. 72 TO 100')	3,784	0.0864
TOTAL	385,860	8.0877

MAXIMUM BUILDING HEIGHT SUMMARY = 5 STORY HOTEL:

Hotel Building Height (Above F.F.)	61.3 Feet
Hotel Building F.F. Elevation =	841.725 Feet
Elevation of Top of Height of Hotel =	703.025 Feet
Approximate Elevation of Bottom of Canwalk of Rosemont Park District Billboard =	703.0 Feet
Approximate Elevation of Bottom of Billboard of Rosemont Park District Billboard =	707.3 Feet
Approximate Elevation of Top of Billboard of Rosemont Park District Billboard =	797.6 Feet

PARKING ANALYSIS & BUILDING AREAS (LOTS 3, 5, 6 & 7) - EXCLUDES LOT 1
(See Sheet SP1.3 for Lot 1)

Building/Use	Square Footage	Parking Ratio	Required Parking
Car Wash	N/A	N/A	0
Gas Station/Mart (4,463 SF Total)			
Class B Restaurant	2,000	1/50	40
Hotel	2,463	1/250	9.86
Class B Restaurant (683 SF NFA = 12 Employees (max))	2,520	1/100	25.20
Hotel			
Hotel - Office/Work Areas (Staff Area Only)	130 Rooms	1/room	130
Hotel - Class A Restaurant	1,200	1/50	24
Hotel - Class B Restaurant	6,500	1/100	65
Total Required Parking			263.9

Total Parking Provided (Lots 3, 5, 6 & 7)

Standard Parking Stalls (9' x 18')	230
HC Stalls (11' x 18', 16' x 16' Min.)	7
Vocuum Spaces	12
Gas Pump Stations	16
EV Charging Spaces (9' x 13')	49
HC EV Charging Spaces (11' x 16')	3
Total	317

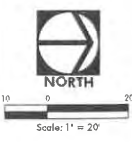
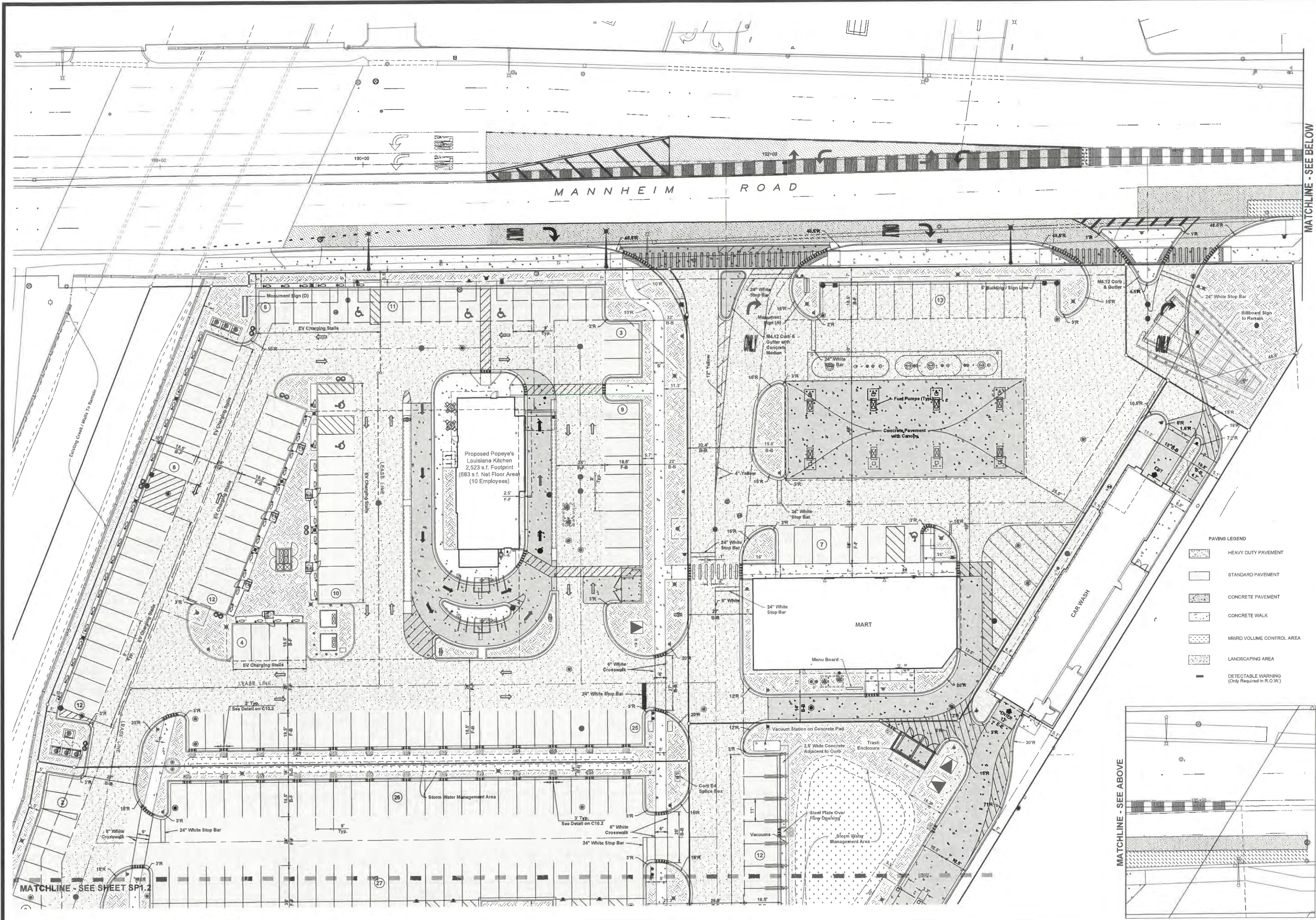
PARKING PROVIDED (LOTS 1, 3, 5, 6 & 7)

	Lot 1	Lots 3, 5, 6 & 7	TOTAL
Standard Parking Stalls (9' x 18')	71	230	301
HC Stalls (11' x 18', 16' x 16' Min.)	4	7	11
Vocuum Spaces	0	12	12
Gas Pump Stations	0	16	16
EV Charging Spaces (9' x 13')	0	49	49
HC EV Charging Spaces (11' x 16')	0	3	3
Total	75	317	392

HAEGER ENGINEERING
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100 East State Parkway, Schaumburg, IL 60173 • Tel: 847.294.6600 Fax: 847.394.6608
Illinois Professional Design Firm License No. 184-003132
www.haegerengineering.com

SITE PLAN OVERALL
PUD AMENDMENT
THE ORCHARDS AT O'HARE
DES PLAINES, ILLINOIS

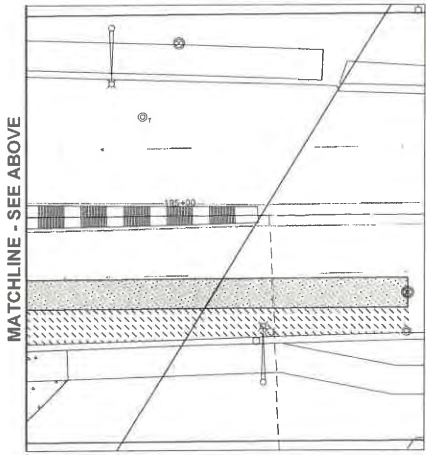
Project Manager: T A S
Engineer: P A C
Date: 07/17/2023
Project No: 15-180
Sheet **SP1.0**



MATCHLINE - SEE BELOW

PAVING LEGEND

- HEAVY DUTY PAVEMENT
- STANDARD PAVEMENT
- CONCRETE PAVEMENT
- CONCRETE WALK
- MWD VOLUME CONTROL AREA
- LANDSCAPING AREA
- DETECTABLE WARNING (Only Required in R.O.W.)



MATCHLINE - SEE ABOVE

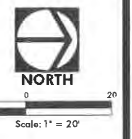
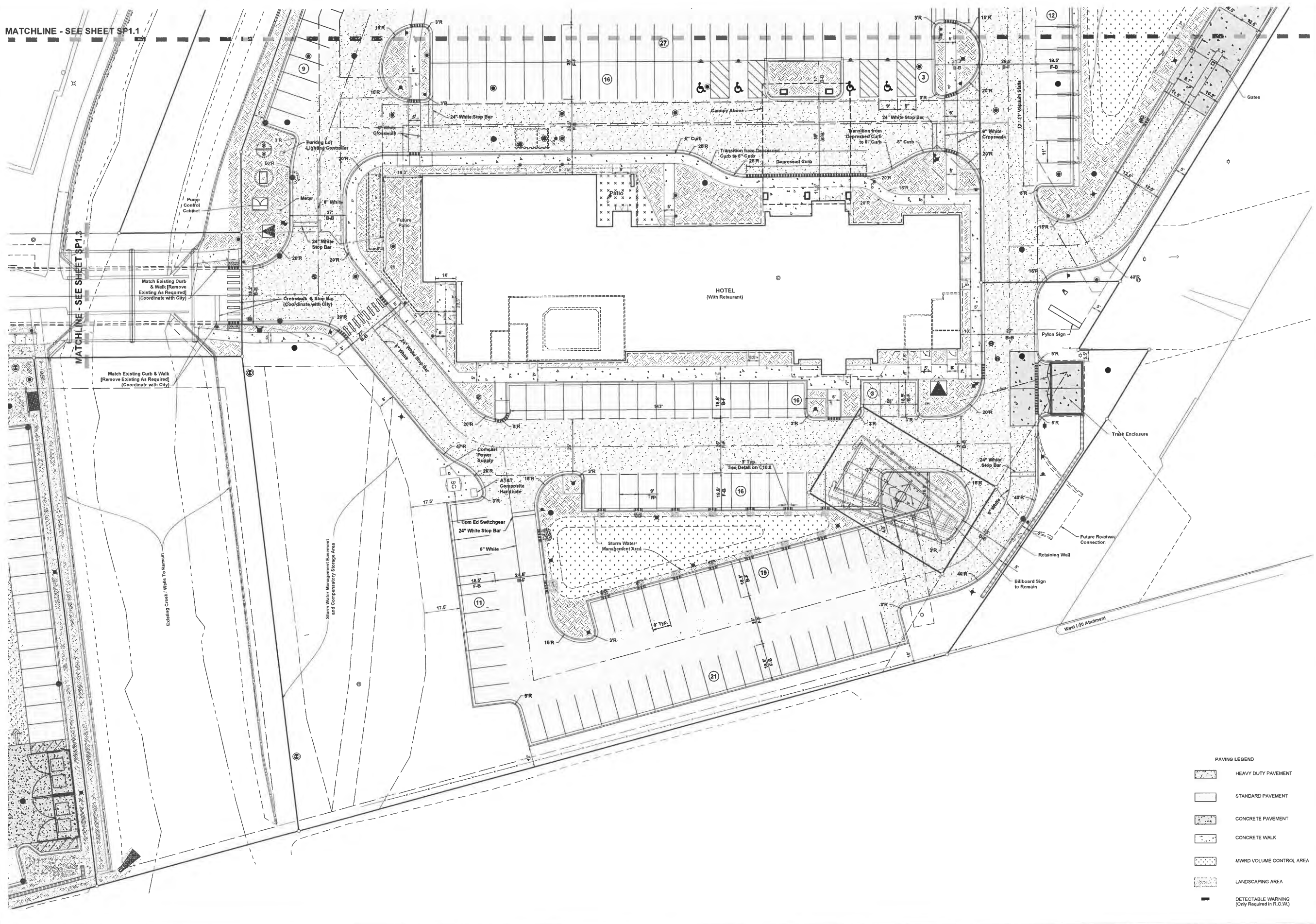
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 Illinois Professional Design Firm License No. 184-008152
 www.haegerengineering.com

SITE PLAN WEST
PUD AMENDMENT
THE ORCHARDS AT OHARE
 DES: FUARNES, ILLIN-015

Project Manager: T A S
 Engineer: P A C
 Date: 07/17/2023
 Project No. 15-180
 Sheet **SP1.1**

MATCHLINE - SEE SHEET SP1.1

MATCHLINE - SEE SHEET SP1.1

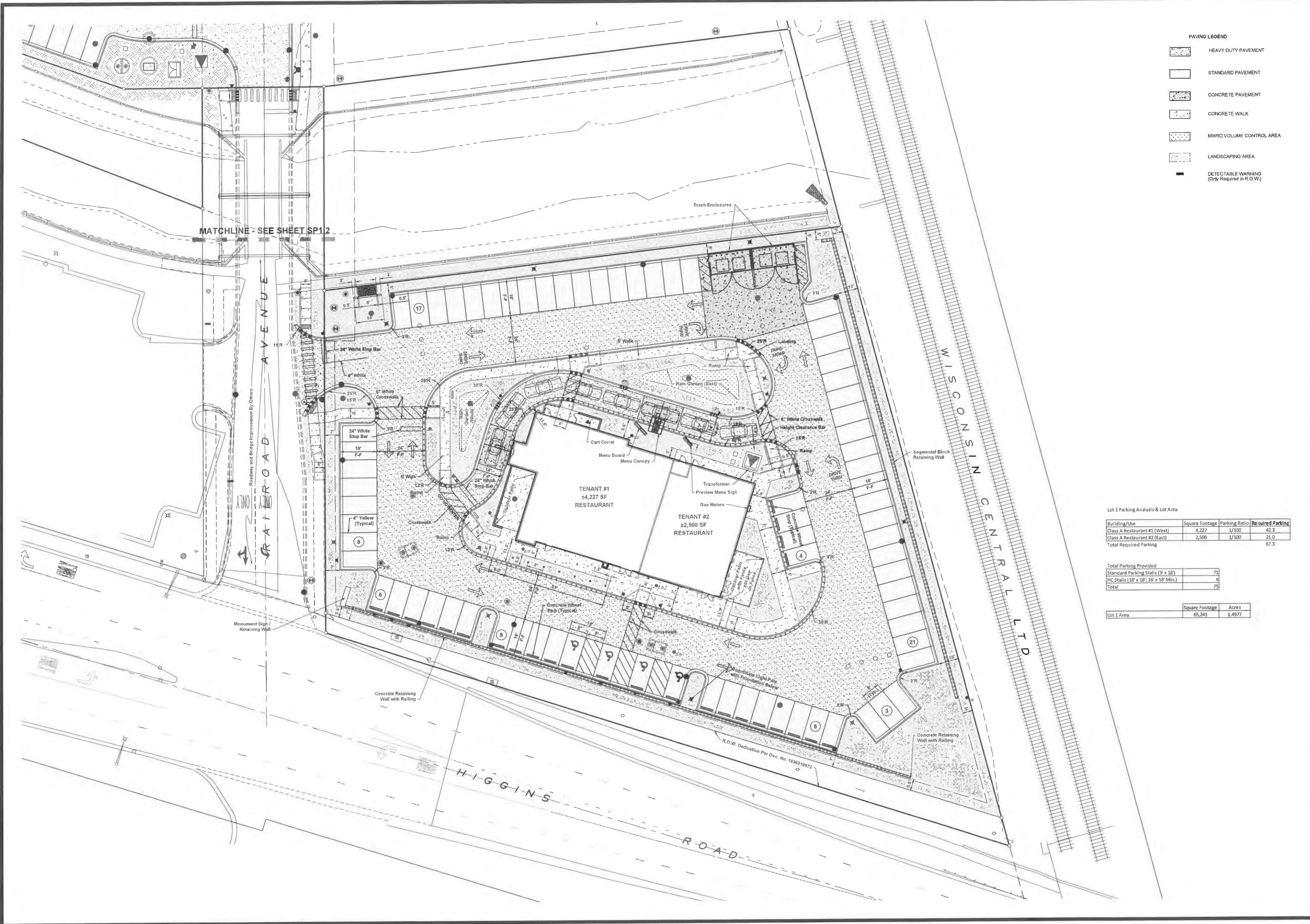


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SITE PLAN EAST
PUD AMENDMENT
THE ORCHARDS AT O'HARE
DES PLAINES, ILLINOIS

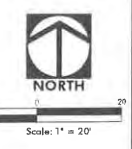
Project Manager: T A S
Engineer: P A C
Date: 07/17/2023
Project No. 15-180
Sheet SP1.2

No.	Date	Per City Review & Comment	Revision
1	09/25/2023		



PAVING LEGEND

- HEAVY DUTY PAVEMENT
- STANDARD PAVEMENT
- CONCRETE PAVEMENT
- CONCRETE WALK
- MWRD VOLUME CONTROL AREA
- LANDSCAPING AREA
- DETECTABLE WARNING (Only Required in R.O.W.)



MATCHLINE - SEE SHEET SP12

RAILROAD AVENUE

WISCONSIN CENTRAL LTD

HIGGINS ROAD

TENANT #1
±4,227 SF
RESTAURANT

TENANT #2
±2,500 SF
RESTAURANT

Lot 1 Parking Analysis & Lot Area

Building/Use	Square Footage	Parking Ratio	Required Parking
Class A Restaurant #1 (West)	4,227	1/100	42.3
Class A Restaurant #2 (East)	2,500	1/100	25.0
Total Required Parking			67.3

Total Parking Provided	
Standard Parking Stalls (9' x 18')	71
HC Stalls (18' x 18'; 16' x 18' Min.)	4
Total	75

	Square Footage	Acres
Lot 1 Area	65,241	1.4977

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www.haegerengineering.com

SITE PLAN SOUTH
PUD AMENDMENT
THE ORCHARDS AT O'HARE
DES PLAINES, ILLINOIS

Project Manager: T A S
Engineer: P A C
Date: 07/17/2023
Project No: 15-180
Sheet **SP1.3**

The Orchards *At* O'hare

DES PLAINES

AMENDMENT TO LOCALIZED ALTERNATIVE SIGN REGULATION

AUGUST 25, 2023

LOT 1

HIGGINS ROAD PARCEL

- HIGGINS ROAD MODIFIED MULTI-TENANT MONUMENT SIGN
(REVISIONS TO TENANT PANELS ONLY)
- PRIOR APPROVED SIGNAGE
(PER ORDINANCE Z-5-19)

LOT 1 – HIGGINS ROAD PARCEL
HIGGINS ROAD MODIFIED MULTI-TENANT MONUMENT SIGN
(REVISIONS TO TENANT PANELS ONLY)



(2) 1'-7 1/2" x 4'-9" Polycarbonate Tenant Panels

Panels: 3/16" thick White polycarbonate

Graphics: 3M 3630-76 Holly Green translucent w/ logo reversed out

Mounting: in existing double face monument sign



(2) 1'-7 1/2" x 4'-9" Polycarbonate Tenant Panels

Panels: 3/16" thick White polycarbonate

Graphics: full-color digital print on translucent White vinyl, applied

Mounting: in existing double face monument sign



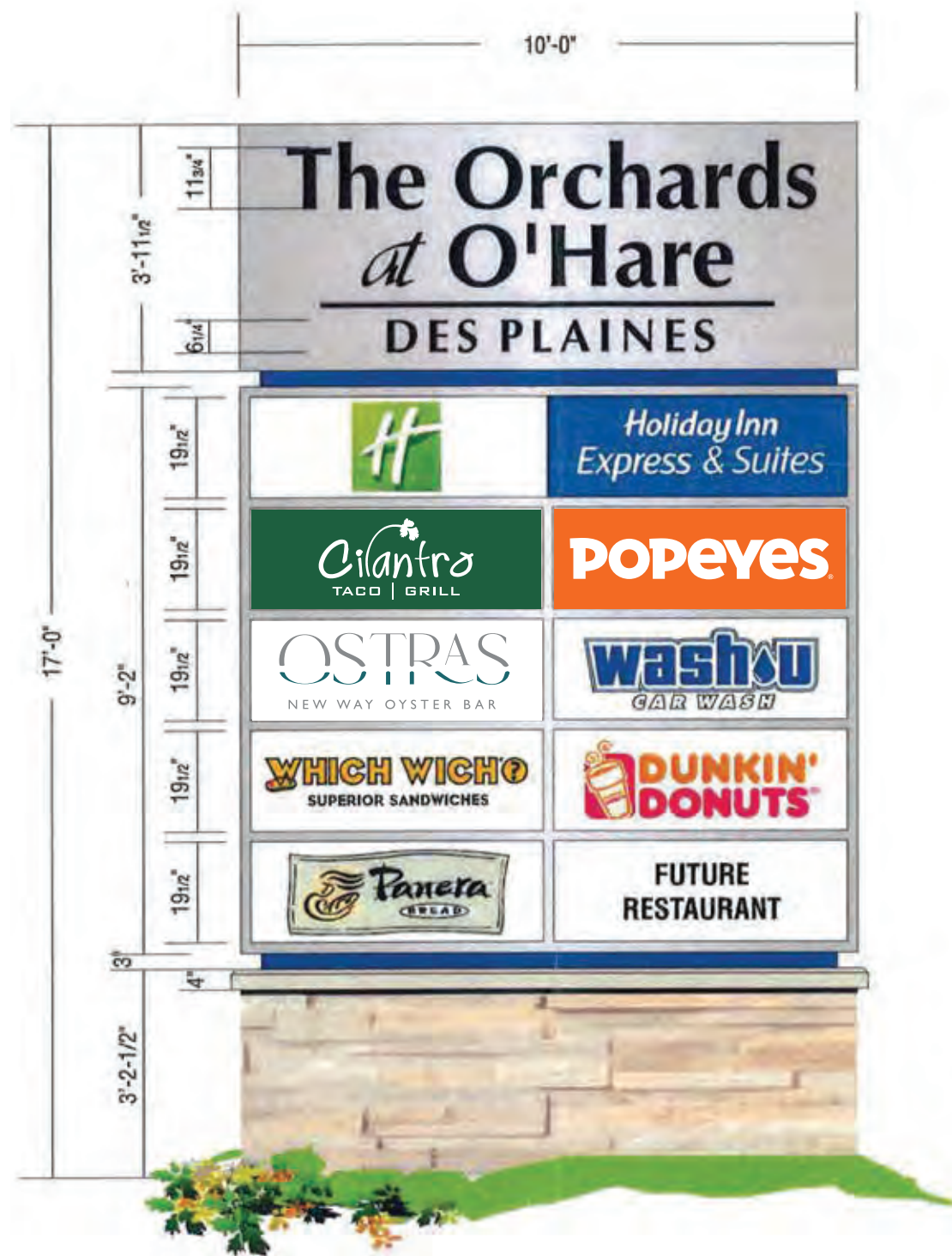
(2) 1'-7 1/2" x 4'-9" Polycarbonate Tenant Panels

Panels: 3/16" thick White polycarbonate

Graphics: 3M 3630-86 Tangerine translucent w/ logo reversed out

Mounting: in existing double face monument sign

TENANT PANELS for MONUMENT SIGN



Design • Fabrication • Installation • Maintenance

165 Tubeway Drive • Carol Stream • Illinois 60188
Tel/630-510-2020 • Fax/630-510-2074
e-mail/signs@parvinclauss.com
www.parvinclauss.com

PROJECT:

Cilantro Enterprise LLC

3001 S. Mannheim Rd.
Des Plaines, IL 60018

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE
Dan Olson / KZ

DRAWN BY
Bill Goodwyn

DATE
8.23.23

SCALE
1" = 1'

SHEET NO.
4 of 7

ESTIMATE / JOB NUMBER
13087

FILE NAME
CILE13087

REVISIONS:

- 1 8.24.23 - popeyes
- 2
- 3
- 4
- 5
- 6
- 7
- 8

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



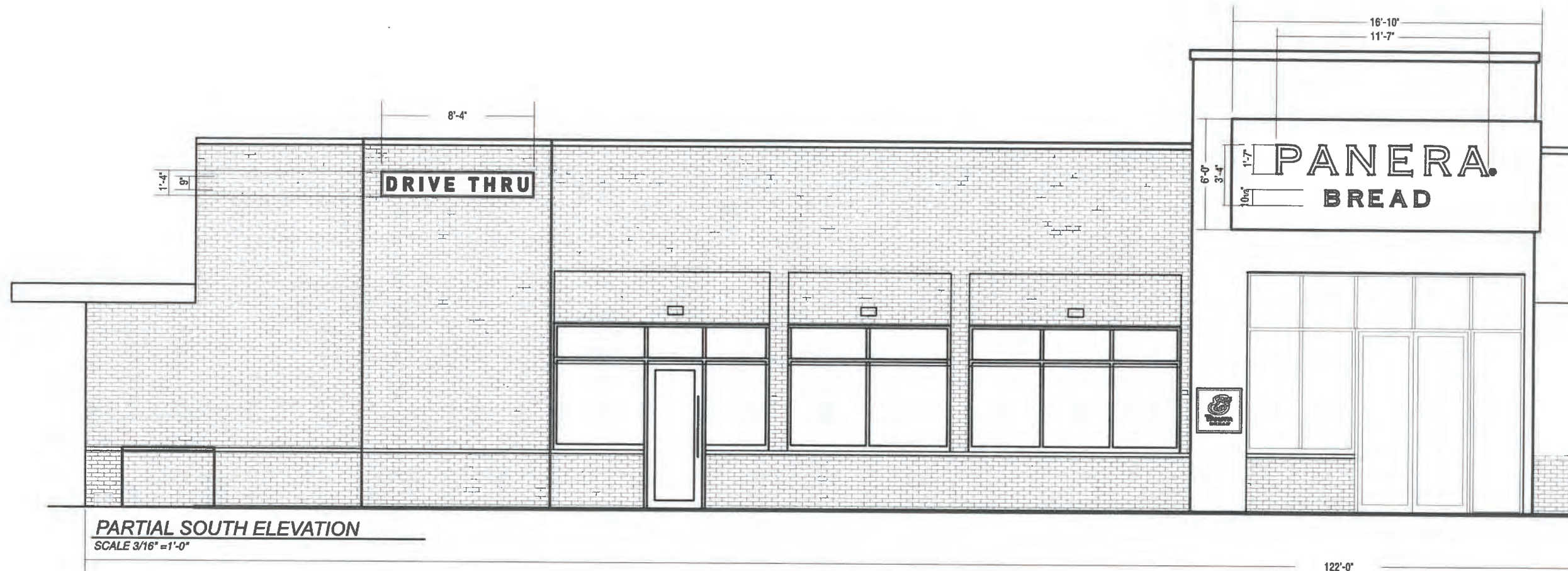
This sign is built to UL Standards for operation in North America.

Exhibit B

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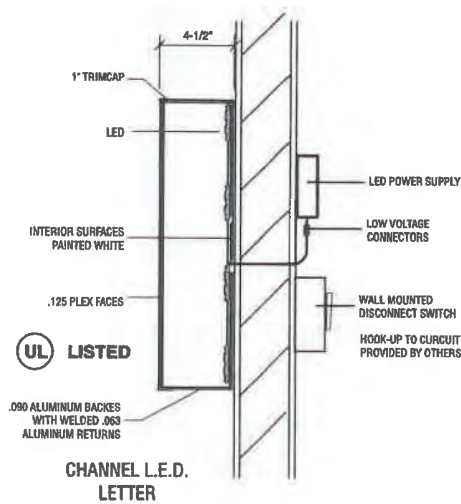
LOT 1 – HIGGINS ROAD PARCEL
PRIOR APPROVED SIGNAGE
(PER ORDINANCE Z-15-19)



PARTIAL SOUTH ELEVATION
SCALE 3/16" = 1'-0"

(PANERA) 35.6 SQ. FT.
INDIVIDUAL LED ILLUMINATED CHANNEL LETTERS
3/16" = 1'-0"
FABRICATED INDIVIDUAL CHANNEL LETTERS / POLYURETHANE FINISH
WHITE LED ILLUMINATION / WHITE PLEXIGLAS FACES
LETTERS MOUNTED FLUSH TO WALL / REMOTE POWER SUPPLIES

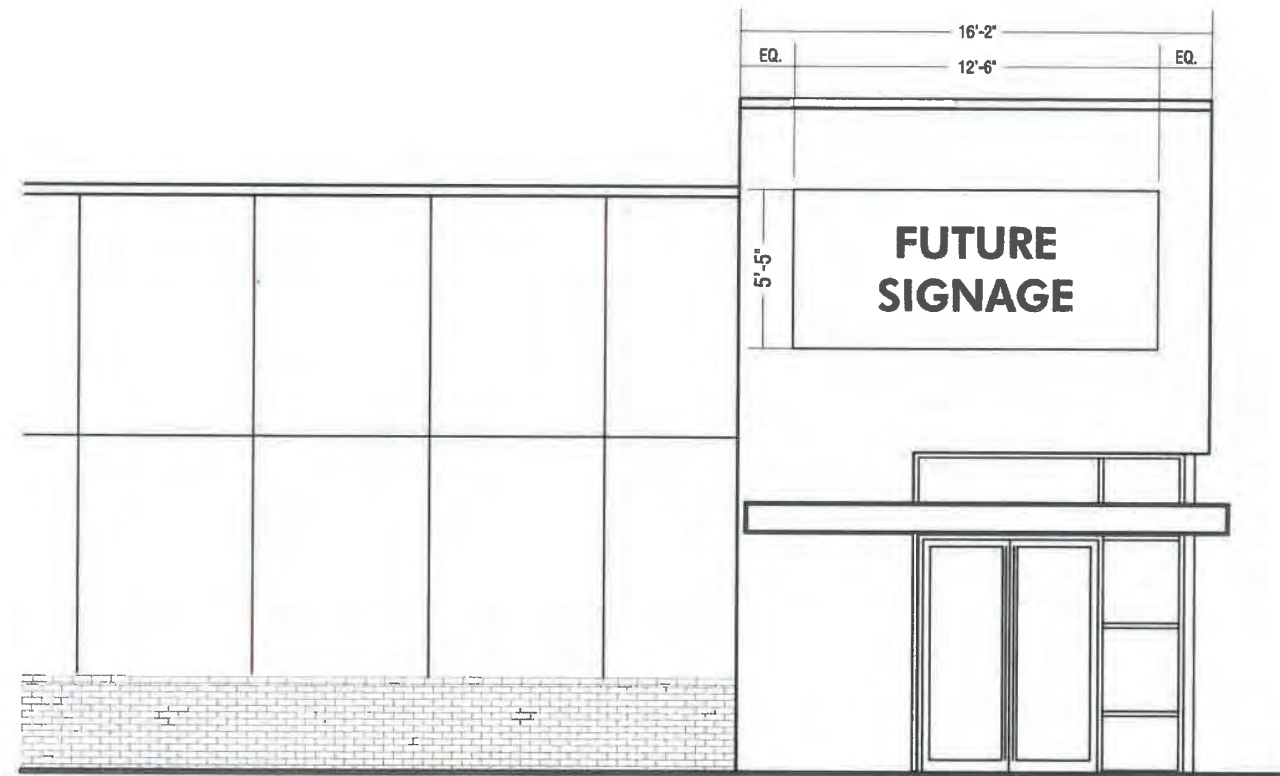
(DRIVE-THRU) 11 SQ. FT.
SINGLE FACE ILLUMINATED DISPLAY
3/16" = 1'-0"
FABRICATED METAL CABINET / POLYURETHANE FINISH
WHITE LED ILLUMINATION
WHITE PLEXIGLAS FACE / BLACK APPLIED VINYL COPY



NORTH SHORE SIGN
1925 Industrial Drive Libertyville, Illinois 60048 847-816-7020
"Quality Signage Since 1930"

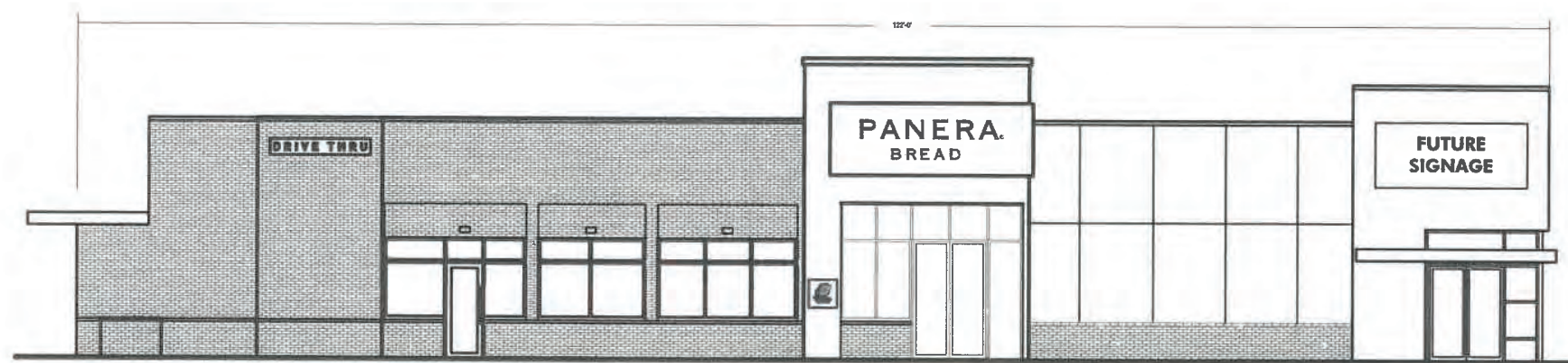
REVISIONS		COMMENTS	
A	2/27/19	ELEVATION NAME CHANGE	
PANERA BREAD (THE ORCHARD at O'HARE) DES PLAINES, IL.			
SCALE	NOTED	SALESPERSON	ART
DATE	2/8/19	DRAWING #	11720
DRAW BY:	AS	PG.	1

Exhibit B



FUTURE SIGNAGE AREA **67.7 SQ. FT.**
 3/16" = 1'-0"

PARTIAL SOUTH ELEVATION
 SCALE 3/16" = 1'-0"

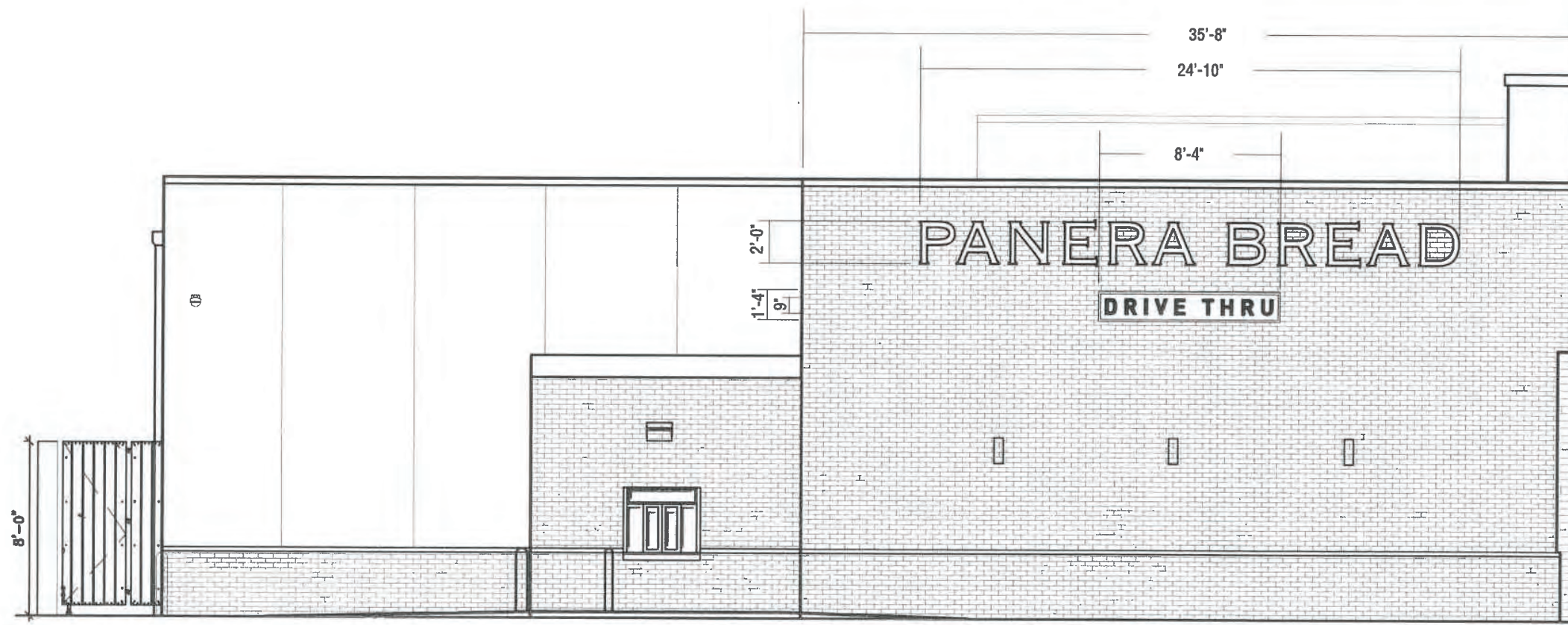


SOUTH ELEVATION

NORTH SHORE SIGN
 1925 Industrial Drive Libertyville, Illinois 60048 847-816-7020
 "Quality Signage Since 1930"

REVISION		DATE	DESCRIPTION
A	2/27/19		ELEVATION NAME CHANGE
PANERA BREAD (THE ORCHARD at O'HARE) DES PLAINES, IL.			
SCALE	NOTED	SALESPERSON	
DATE	2/8/19	ART	
DRAW BY:	AS	DRAWING #	11720
		PG. 2	

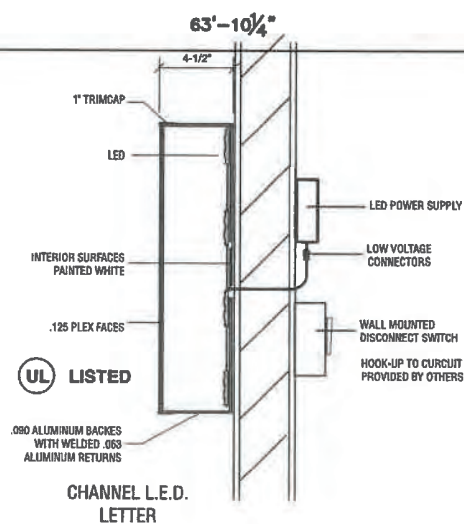
Exhibit B



WEST ELEVATION
SCALE 3/16" = 1'-0"

(PANERA) 49.7 SQ. FT.
INDIVIDUAL LED ILLUMINATED CHANNEL LETTERS
 3/16" = 1'-0"
 FABRICATED INDIVIDUAL CHANNEL LETTERS / POLYURETHANE FINISH
 WHITE LED ILLUMINATION / WHITE PLEXIGLAS FACES
 LETTERS MOUNTED FLUSH TO WALL / REMOTE POWER SUPPLIES

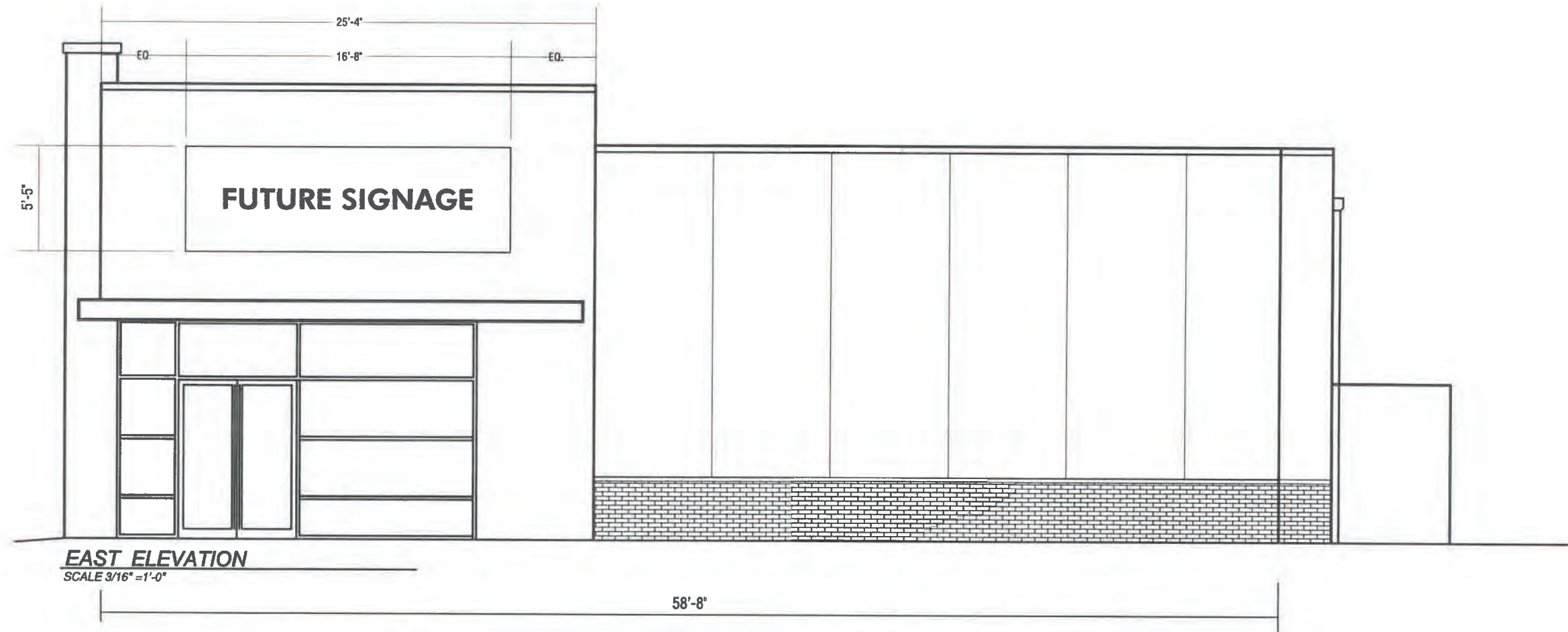
(DRIVE-THRU) 11 SQ. FT.
SINGLE FACE ILLUMINATED DISPLAY
 3/16" = 1'-0"
 FABRICATED METAL CABINET / POLYURETHANE FINISH
 WHITE LED ILLUMINATION
 WHITE PLEXIGLAS FACE / BLACK APPLIED VINYL COPY



NORTH SHORE SIGN
 1925 Industrial Drive Libertyville, Illinois 60048 847-816-7020
 "Quality Signage Since 1930"

REVISED		COMMENTS	
A	2/27/19	ELEVATION NAME CHANGE	
PANERA BREAD (THE ORCHARD at O'HARE) DES PLAINES, IL.			
SCALE	NOTED	SALESPERSON	
DATE	2/8/19	ART	
DRAW BY:	AS	DRAWING #	11720
			PG. 3

Exhibit B



FUTURE SIGNAGE AREA **90.2 SQ. FT.**
3/16" = 1'-0"



NORTH SHORE SIGN
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"Quality Signage Since 1930"

PANERA BREAD (THE ORCHARD at O'HARE) DES PLAINES, IL.		SALESPERSON ART
SCALE	NOTED	DRAWING # 11720 PG. 4
DATE	2/8/19	
DRAW BY:	AS	

Exhibit B



Exhibit B






NORTH SHORE SIGN
 1925 Industrial Drive Libertyville, Illinois 60048 847-816-7020
 "Quality Signage Since 1930"

PANERA BREAD (THE ORCHARD at O'HARE) DES PLAINES, IL.		SALESPERSON ART
SCALE	NOTED	
DATE	2/8/19	
DRAW BY:	AS	
		DRAWING # 11720 PG. 5



Exhibit B

NORTH SHORE SIGN
 1925 Industrial Drive Libertyville, Illinois 60048 847-816-7020
 "Quality Signage Since 1930"

PANERA BREAD (THE ORCHARD at O'HARE) DES PLAINES, IL.		SALESPERSON ART
SCALE	NOTED	DRAWING # 11720 PG. 1
DATE	2/8/19	
DRAW BY:	AS	

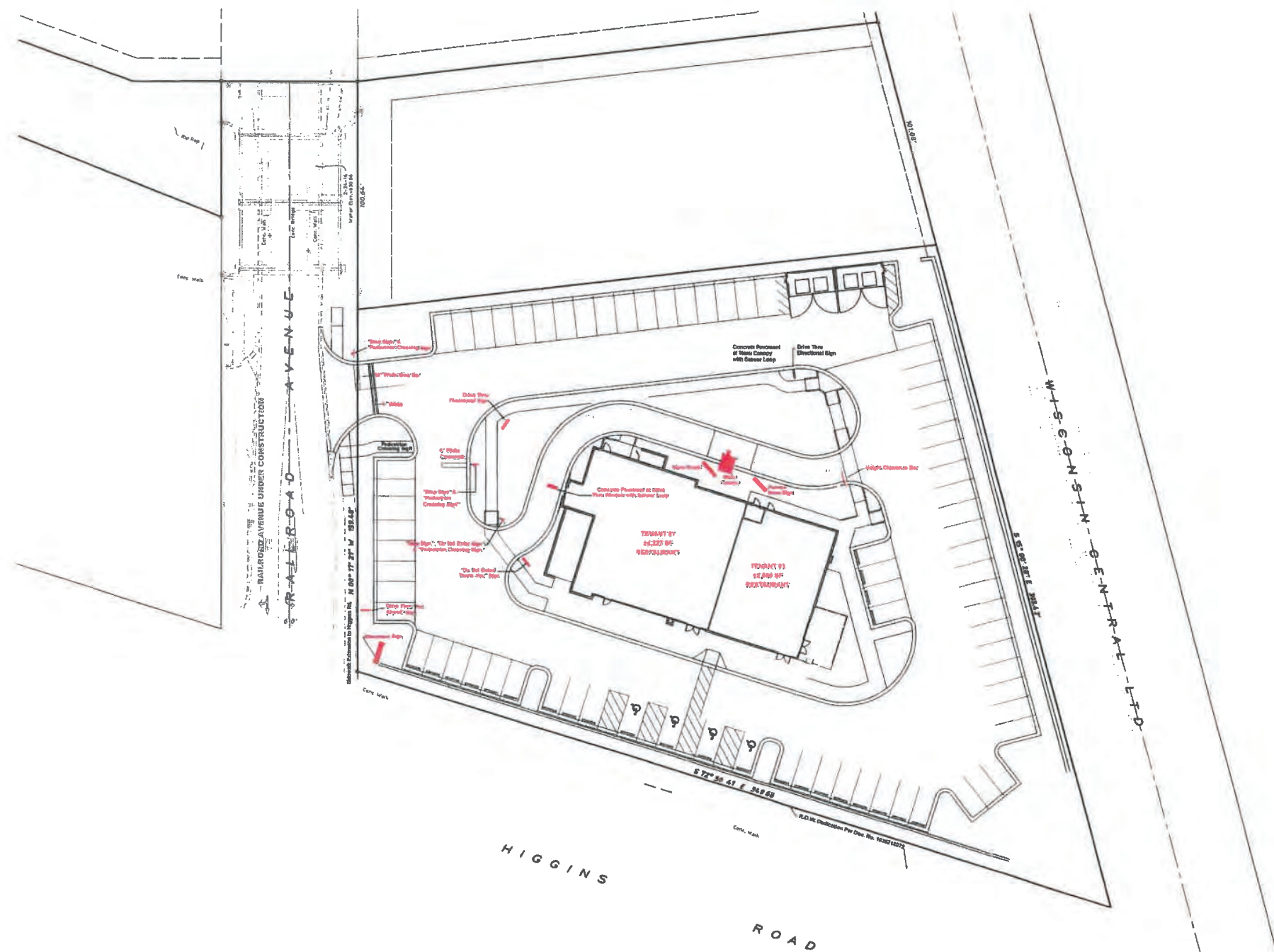


Exhibit B

NORTH SHORE SIGN
 1925 Industrial Drive Libertyville, Illinois 60048 847-816-7020
 "Quality Signage Since 1930"

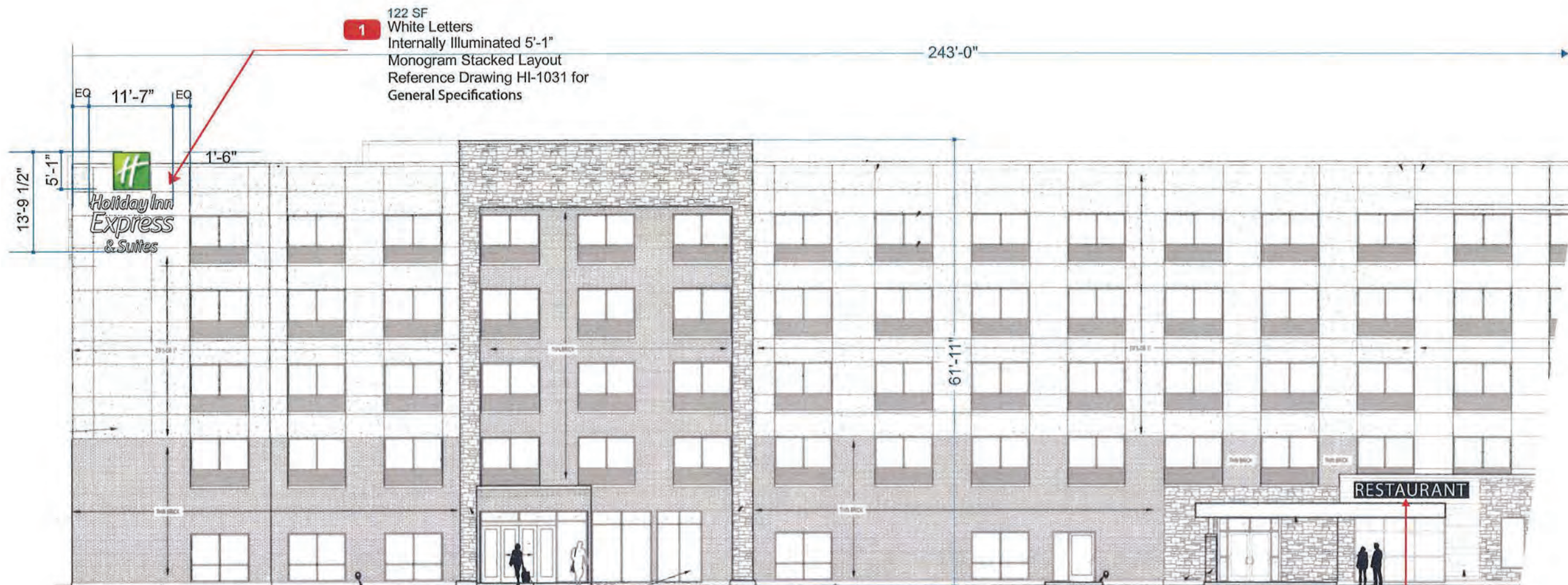
PANERA BREAD (THE ORCHARD at O'HARE) DES PLAINES, IL.		SALESPERSON ART	
SCALE	NOTED	DRAWING #	11720
DATE	2/8/19		
DRAW BY:	AS	PG.	1

LOT 3

HOTEL PARCEL

- HOLIDAY INN EXPRESS & SUITES BUILDING SIGNAGE:
(PER ORDINANCE Z-18-18)
- MODIFIED BUILDING SIGNAGE TO INCLUDE:
 - CILANTRO TACO GRILL
 - OSTRAS NEW WAY OYSTER BAR
- PRIOR APPROVED POLE SIGN CONTAINING ELECTRONIC MESSAGE BOARDS
(PER ORDINANCE Z-18-18)

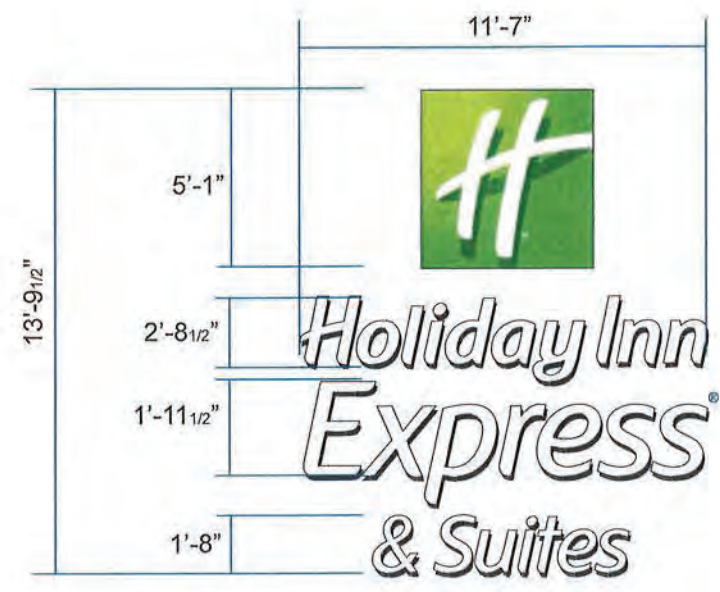
LOT 3 – HOTEL PARCEL
HOLIDAY INN EXPRESS & SUITES BUILDING SIGNAGE
(PER ORDINANCE Z-18-18)



1 122 SF
White Letters
Internally Illuminated 5'-1"
Monogram Stacked Layout
Reference Drawing HI-1031 for
General Specifications

WEST ELEVATION
Scale: 1/16" = 1'-0"

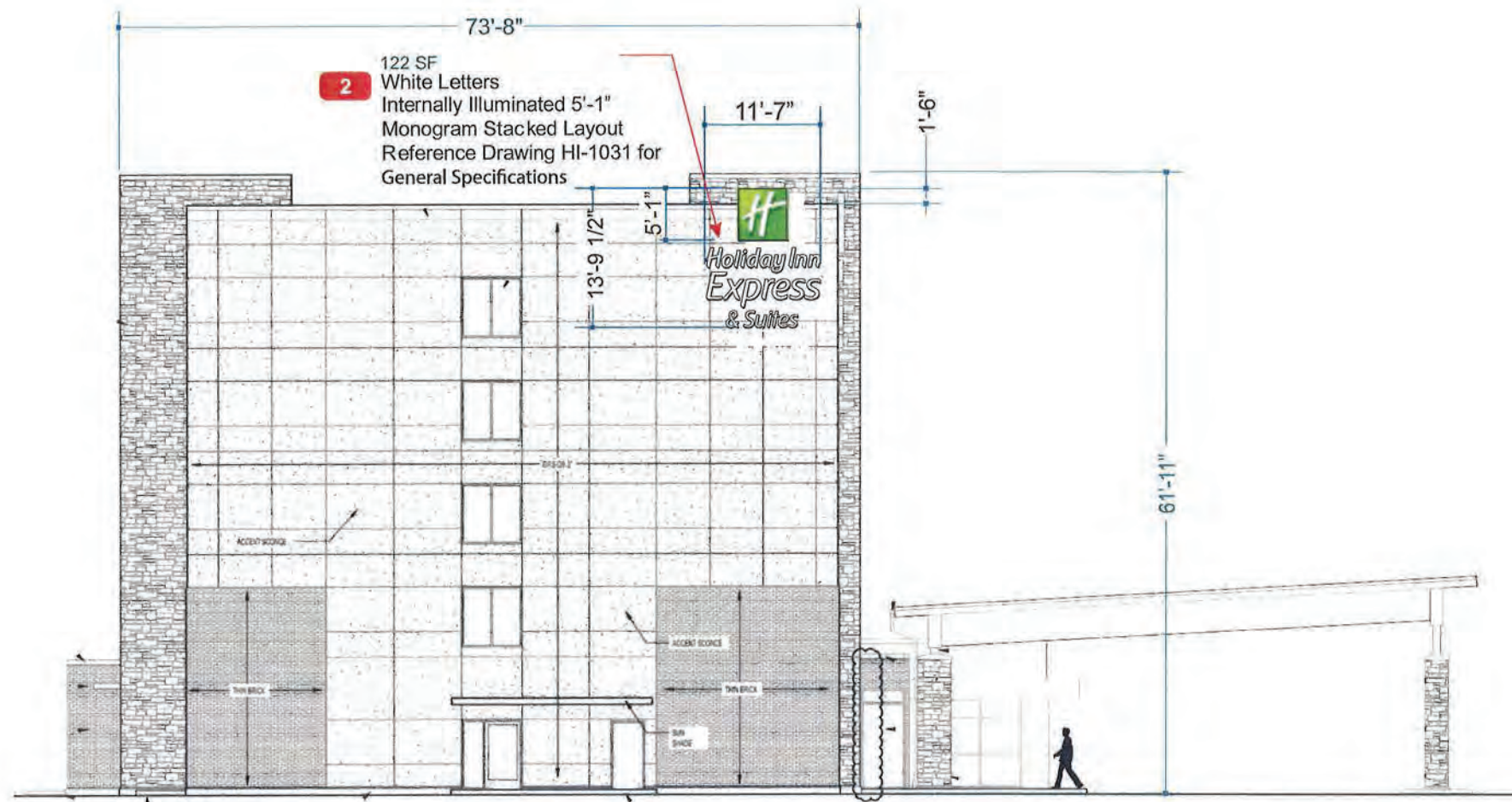
5 Restaurant Letters
Internally Illuminated Remote Channel Letters
Restaurant Name, Colors &
Letter/Logo Style T.B.D.
Must be Approved by IHG



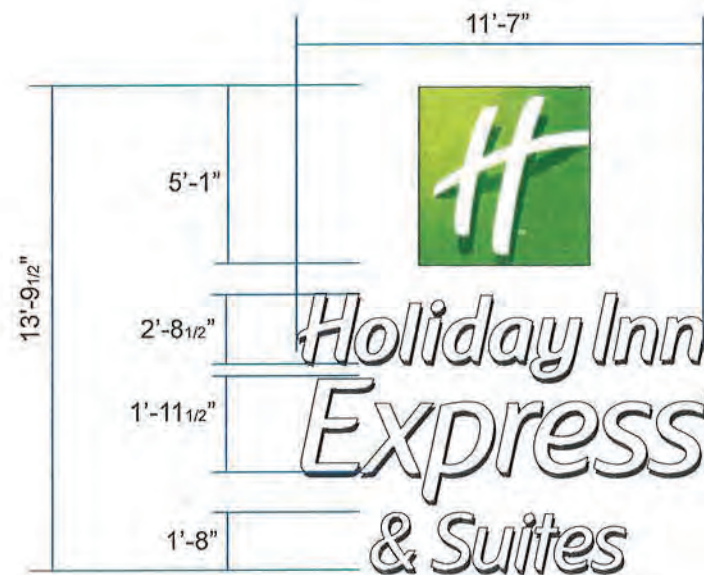
160 SQ. FT.
INDIVIDUAL LED ILLUMINATED CHANNEL LETTERS
3/16" = 1'-0"
FABRICATED INDIVIDUAL CHANNEL LETTERS WITH WHITE POLYURETHANE FINISH
WHITE LED ILLUMINATION / WHITE PLEX FACES / WHITE TRIM CAPS
FLUSH MOUNTED TO WALL
LOGO - PLEXIGLAS FACE / DIGITAL PRINTED VINYL OVERLAY

NORTH SHORE SIGN
1925 Industrial Drive Libertyville, Illinois 60048 847-816-7020
"Quality Signage Since 1930"

HOLIDAY INN SUITES (THE ORCHARDS AT O'HARE) MANNHEIM & HIGGINS RD. DES PLAINES IL.		SALESPERSON ART
SCALE NOTED		DRAWING # 11407
DATE 4/10/18		pg. 1
DRAW BY: AS		



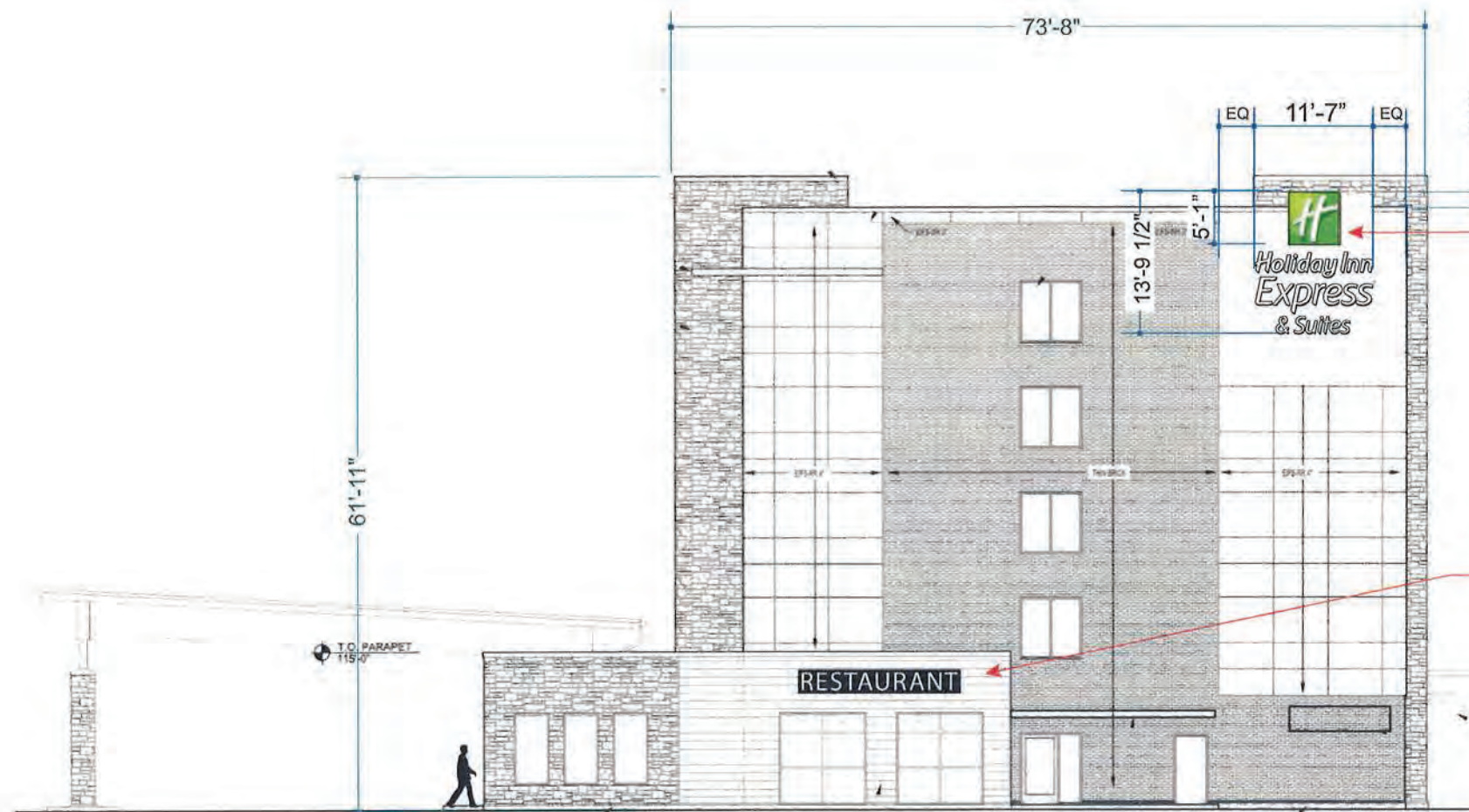
NORTH ELEVATION
Scale: 1/16" = 1'-0"



160 SQ. FT.
INDIVIDUAL LED ILLUMINATED CHANNEL LETTERS
 3/16" = 1'-0"
 FABRICATED INDIVIDUAL CHANNEL LETTERS WITH WHITE POLYURETHANE FINISH
 WHITE LED ILLUMINATION / WHITE PLEX FACES / WHITE TRIM CAPS
 FLUSH MOUNTED TO WALL
 LOGO - PLEXIGLAS FACE / DIGITAL PRINTED VINYL OVERLAY

NORTH SHORE SIGN
 1925 Industrial Drive Libertyville, Illinois 60048 847-816-7020
 "Quality Signage Since 1930"

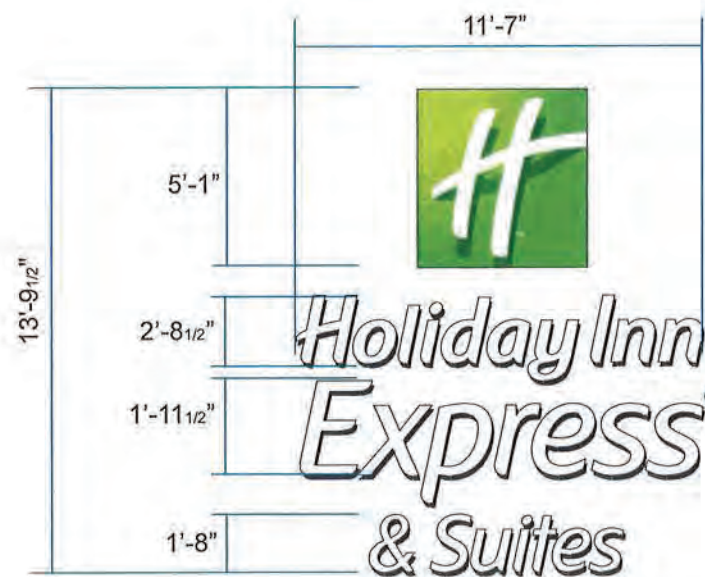
HOLIDAY INN SUITES (THE ORCHARDS AT O'HARE) MANNHEIM & HIGGINS RD. DES PLAINES IL.		SALESPERSON ART
SCALE	NOTED	DRAWING # 11407 pg. 2
DATE	4/10/18	
DRAW BY:	AS	



3 122 SF
White Letters
Internally Illuminated 5'-1"
Monogram Stacked Layout
Reference Drawing HI-1031 for
General Specifications

6 Restaurant Letters
Internally Illuminated Remote Channel Letters
Restaurant Name, Colors &
Letter/Logo Style T.B.D. and
Must be Approved by IHG

SOUTH ELEVATION
Scale: 1/16" = 1'-0"



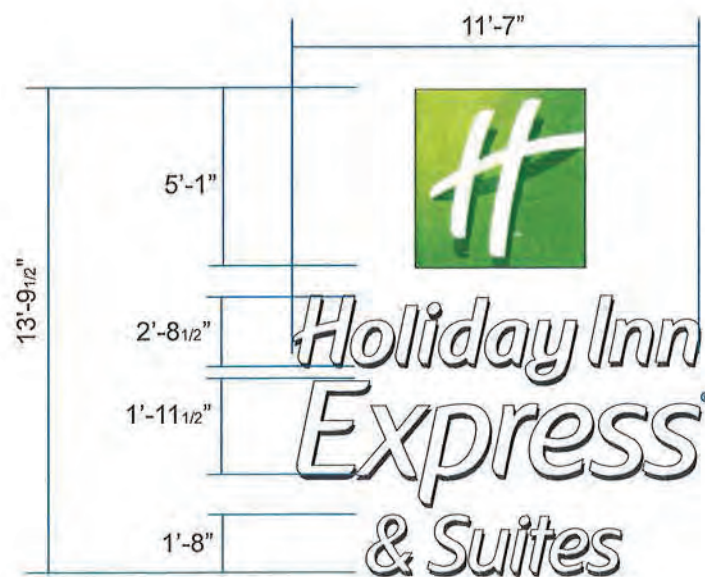
160 SQ. FT.
INDIVIDUAL LED ILLUMINATED CHANNEL LETTERS
3/16" = 1'-0"
FABRICATED INDIVIDUAL CHANNEL LETTERS WWHITE POLYURETHANE FINISH
WHITE LED ILLUMINATION / WHITE PLEX FACES / WHITE TRIM CAPS
FLUSH MOUNTED TO WALL
LOGO - PLEXIGLAS FACE / DIGITAL PRINTED VINYL OVERLAY

NORTH SHORE SIGN
1925 Industrial Drive Libertyville, Illinois 60048 847-816-7020
"Quality Signage Since 1930"

HOLIDAY INN SUITES (THE ORCHARDS AT O'HARE) MANNHEIM & HIGGINS RD. DES PLAINES IL.		SALESPERSON ART
SCALE	NOTED	DRAWING # 11407 pg. 3
DATE	4/10/18	
DRAW BY:	AS	



EAST ELEVATION
Scale: 1/16" = 1'-0"



160 SQ. FT.
INDIVIDUAL LED ILLUMINATED CHANNEL LETTERS
 3/16" = 1'-0"
 FABRICATED INDIVIDUAL CHANNEL LETTERS WITH WHITE POLYURETHANE FINISH
 WHITE LED ILLUMINATION / WHITE PLEX FACES / WHITE TRIM CAPS
 FLUSH MOUNTED TO WALL
 LOGO - PLEXIGLAS FACE / DIGITAL PRINTED VINYL OVERLAY

NORTH SHORE SIGN
 1925 Industrial Drive Libertyville, Illinois 60048 847-816-7020
 "Quality Signage Since 1930"

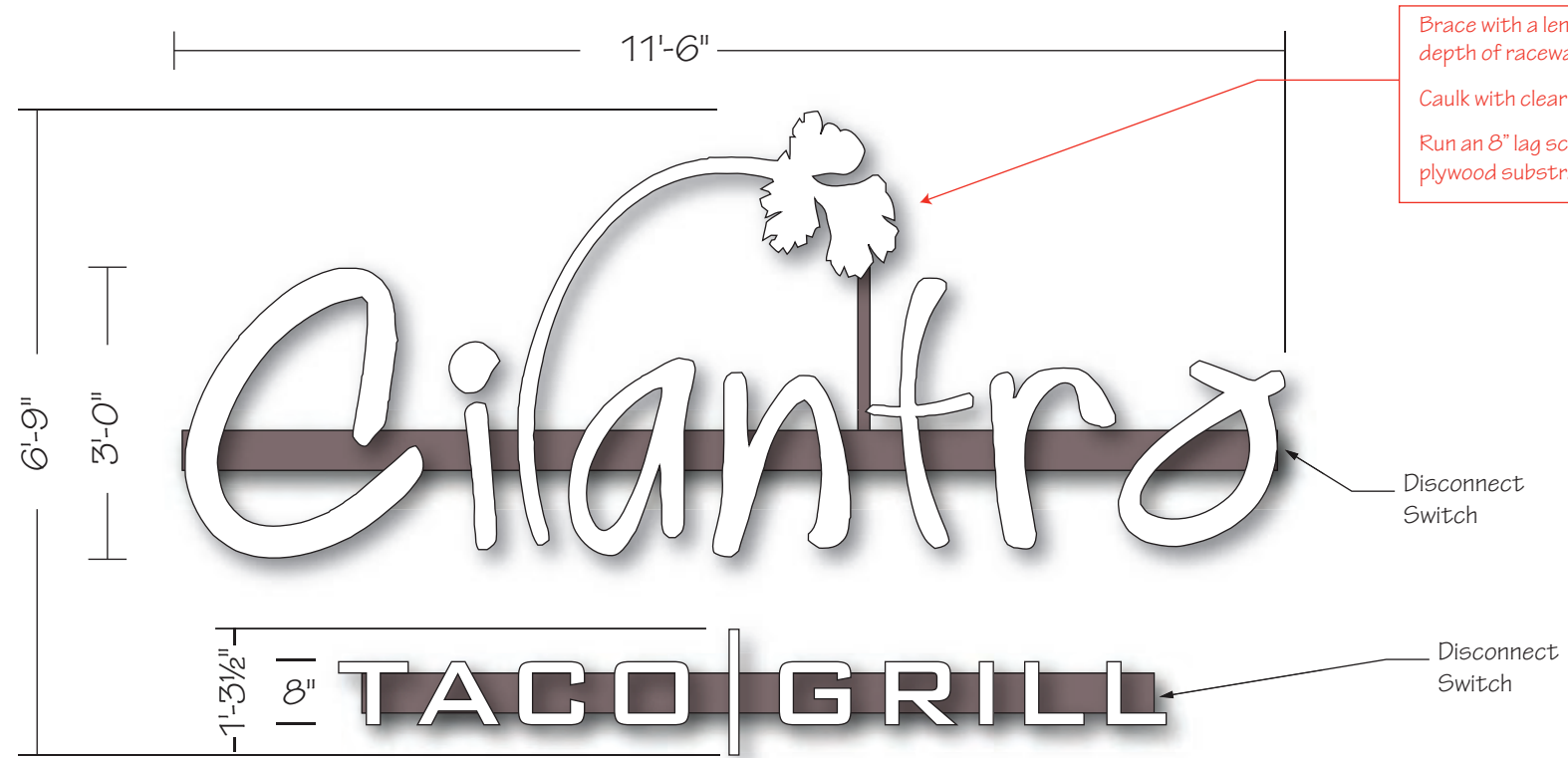
HOLIDAY INN SUITES (THE ORCHARDS AT O'HARE) MANNHEIM & HIGGINS RD. DES PLAINES IL.		SALESPERSON ART
SCALE NOTED		DRAWING # 11407
DATE 4/10/18		pg. 4
DRAW BY: AS		

LOT 3 – HOTEL PARCEL

MODIFIED BUILDING SIGNAGE TO INCLUDE:

- CILANTRO TACO GRILL
- OSTRAS NEW WAY OYSTER BAR

SIGNS for NORTH, WEST, SOUTH and PARTIAL WEST ELEVATIONS



Brace with a length of galvanized conduit cut in-field to match depth of raceway at letterset + E.I.F.S. thickness.

Caulk with clear silicone at penetration at E.I.F.S.

Run an 8" lag screw through back of channel can into the plywood substrate to keep channel can in position.

(4) sets 5" deep face illuminated channel letters

Letter returns: .040" aluminum coil prefinished White

Faces: .125" thick high-impact 7328 White acrylic w/ 1" White trim cap

Raceways: 5 1/2" x 3 1/2" painted to match facade (color TBD)

Illumination:

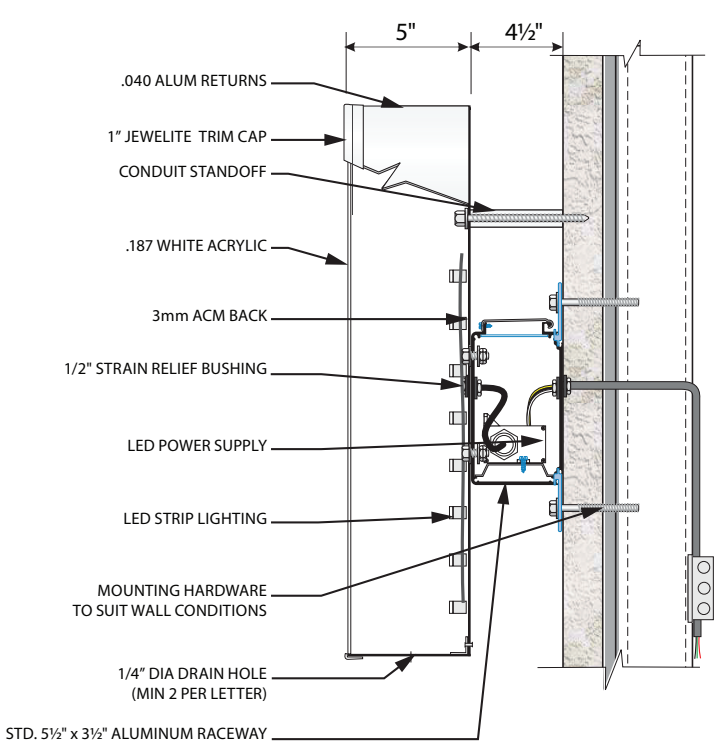
Ci, antro: White LEDs w/ 12V 60W 120/277V power supplies

"L" logo: Allanson RGB3 color-changing modules, amplifiers and WIFI-103 controller, allowing it to transition from White to Green (or other colors of choice) w/ 12V 60W 120/277V power supplies

Taco | Grill: White LEDs w/ 12V 60W 120/277V power supplies

Power: (1) 20 Amp circuit @ 120 Volts brought to site by others

Mounting: on exterior wall w/ anchors appropriate for wall conditions



Design • Fabrication • Installation • Maintenance

165 Tubeway Drive • Carol Stream • Illinois 60188
Tel/630-510-2020 • Fax/630-510-2074
e-mail/signs@parvinclauss.com
www.parcincnauss.com

PROJECT:

Cilantro Enterprise LLC

3001 S. Mannheim Rd.
Des Plaines, IL 60018

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE
Dan Olson / KZ

DRAWN BY
Bill Goodwyn

DATE
8.23.23

SCALE
1/2" = 1'

SHEET NO.
1 of 7

ESTIMATE / JOB NUMBER
13087

FILE NAME
CILE13087

REVISIONS:

- 1 8.24.23
- 2
- 3
- 4
- 5
- 6
- 7
- 8

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



This sign is built to UL Standards for operation in North America.

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SIGNS for NORTH, WEST, SOUTH and PARTIAL WEST ELEVATIONS



(4) 4'-8" x 11'-6" Single Face LED-illuminated Wall Signs

Cabinet: 6" deep extruded aluminum painted to match C44 / M34 / Y34 / K 13 Grey and C82 / M39 / Y44 / K 28 Green, satin finish

Graphics: routed and backed w/ 3/16" thick White acrylic

Illumination: White LEDs w/ 12V 60W 120/277V power supplies

Power: (1) 20 amp @ 120 volt circuit brought to site by others

Mounting: flush on exterior wall w/ anchors appropriate for wall conditions

PROJECT:

Cilantro Enterprise LLC

3001 S. Mannheim Rd.
Des Plaines, IL 60018

CUSTOMER APPROVAL:

DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

Dan Olson / KZ

DRAWN BY

Bill Goodwyn

DATE

8.23.23

SCALE

3/4" = 1'

SHEET NO.

2 of 7

ESTIMATE / JOB NUMBER

13087

FILE NAME

CILE13087

REVISIONS:

1 8.24.23

2

3

4

5

6

7

8

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SIGN for SOUTH ELEVATION



(1) 3'-3" x 8'-0" Single Face LED-illuminated Wall Sign

Cabinet: 6" deep extruded aluminum painted to match C44 / M34 / Y34 / K 13 Grey and C82 / M39 / Y44 / K 28 Green, satin finish

Graphics: routed and backed w/ 3/16" thick White acrylic

Illumination: White LEDs w/ 12V 60W 120/277V power supplies

Power: (1) 20 amp @ 120 volt circuit brought to site by others

Mounting: flush on exterior wall w/ anchors appropriate for wall conditions

PROJECT:

Cilantro Enterprise LLC

3001 S. Mannheim Rd.
Des Plaines, IL 60018

CUSTOMER APPROVAL:

DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

Dan Olson / KZ

DRAWN BY

Bill Goodwyn

DATE

8.23.23

SCALE

1" = 1'

SHEET NO.

3 of 7

ESTIMATE / JOB NUMBER

13087

FILE NAME

CILE13087

REVISIONS:

1	8.24.23
2	
3	
4	
5	
6	
7	
8	

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(2) 1'-7 1/2" x 4'-9" Polycarbonate Tenant Panels

Panels: 3/16" thick White polycarbonate
Graphics: 3M 3630-76 Holly Green translucent w/ logo reversed out
Mounting: in existing double face monument sign



(2) 1'-7 1/2" x 4'-9" Polycarbonate Tenant Panels

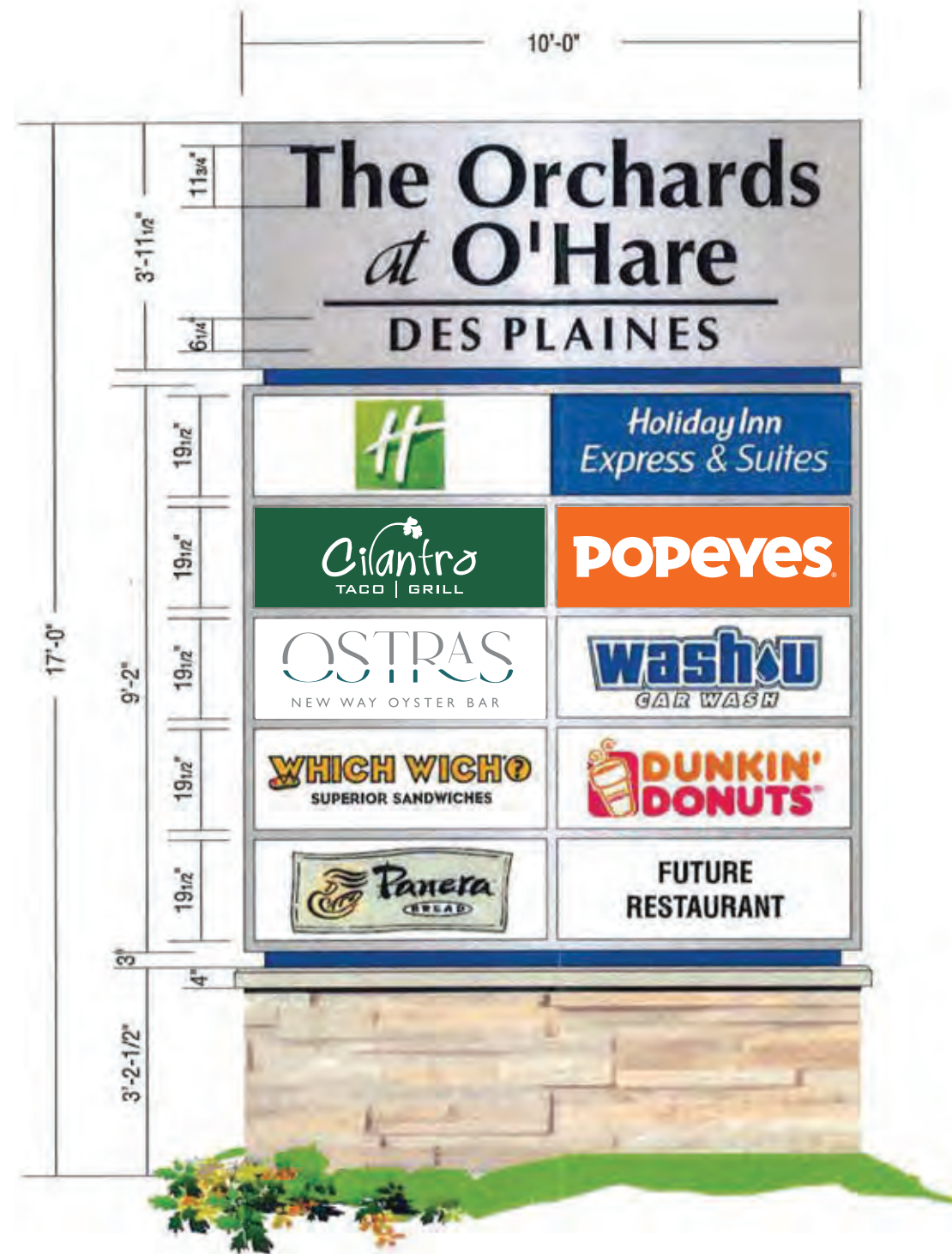
Panels: 3/16" thick White polycarbonate
Graphics: full-color digital print on translucent White vinyl, applied
Mounting: in existing double face monument sign



(2) 1'-7 1/2" x 4'-9" Polycarbonate Tenant Panels

Panels: 3/16" thick White polycarbonate
Graphics: 3M 3630-86 Tangerine translucent w/ logo reversed out
Mounting: in existing double face monument sign

TENANT PANELS for MONUMENT SIGN



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 e-mail/signs@parvinclauss.com
 www.parvinclauss.com

PROJECT:

Cilantro Enterprise LLC

3001 S. Mannheim Rd.
 Des Plaines, IL 60018

CUSTOMER APPROVAL:

DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

Dan Olson / KZ

DRAWN BY

Bill Goodwyn

DATE

8.23.23

SCALE

1" = 1'

SHEET NO.

4 of 7

ESTIMATE / JOB NUMBER

13087

FILE NAME

CILE13087

REVISIONS:

- 1 8.24.23 - popeyes
- 2
- 3
- 4
- 5
- 6
- 7
- 8

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SIGNS for NORTH ELEVATION

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e-mail/signs@parvinclauss.com
www.parvinclauss.com

PROJECT:

Cilantro Enterprise LLC

3001 S. Mannheim Rd.
Des Plaines, IL 60018

CUSTOMER APPROVAL:

DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

Dan Olson / KZ

DRAWN BY

Bill Goodwyn

DATE

8.23.23

SCALE

SHEET NO.

5 of 7

ESTIMATE / JOB NUMBER

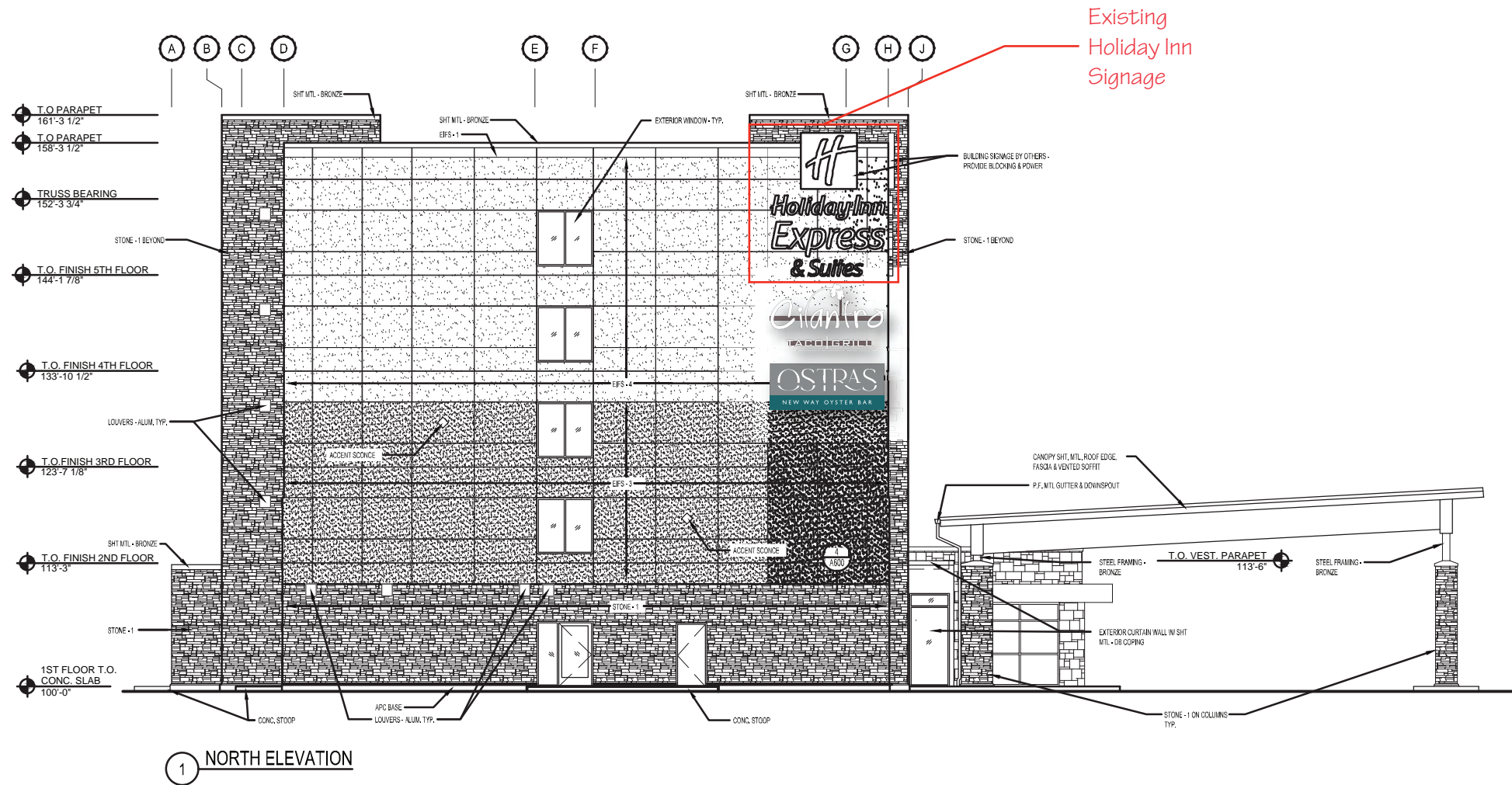
13087

FILE NAME

CILE13087

REVISIONS:

1	8.24.23
2	
3	
4	
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6	
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8	



Existing
Holiday Inn
Signage

1 NORTH ELEVATION



This sign is built to UL Standards for operation in North America.

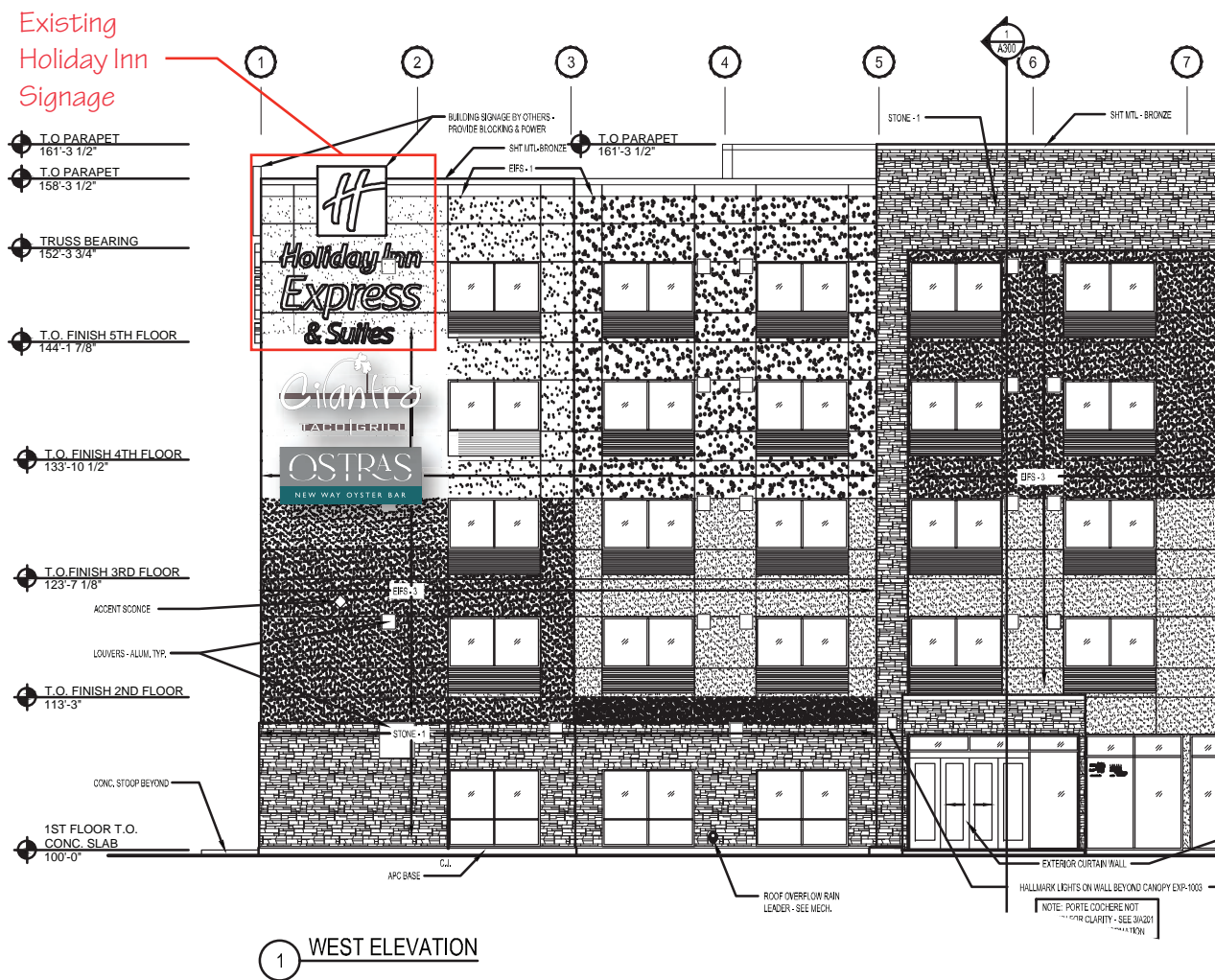
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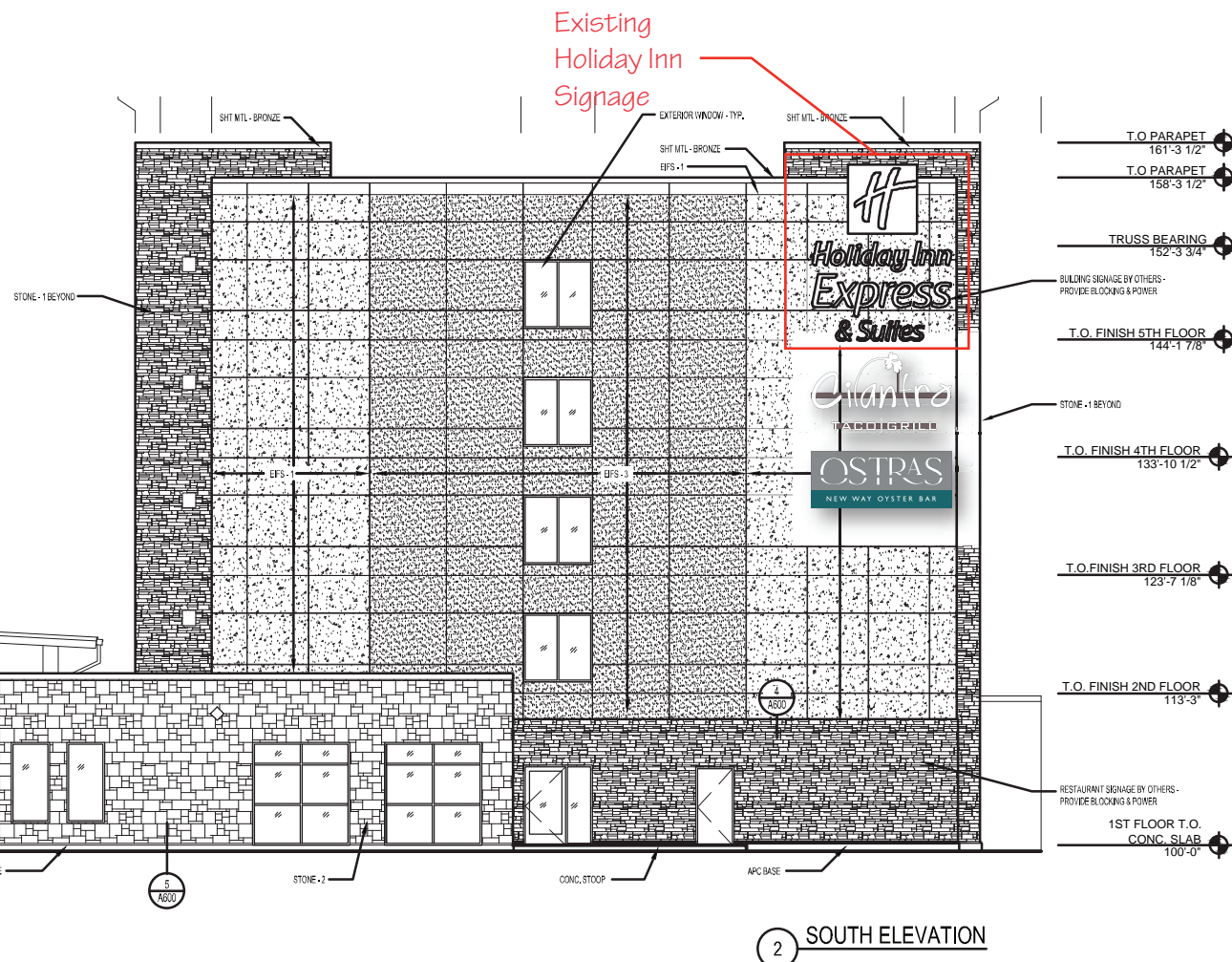
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SIGN for WEST and SOUTH ELEVATIONS



1 WEST ELEVATION



2 SOUTH ELEVATION

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Tel/630-510-2020 • Fax/630-510-2074
e-mail/signs@parvinclauss.com
www.parvinclauss.com

PROJECT:

Cilantro Enterprise LLC

3001 S. Mannheim Rd.
Des Plaines, IL 60018

CUSTOMER APPROVAL:

DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

Dan Olson / KZ

DRAWN BY

Bill Goodwyn

DATE

8.23.23

SCALE

SHEET NO.

6 of 7

ESTIMATE / JOB NUMBER

13087

FILE NAME

CILE13087

REVISIONS:

1	8.24.23
2	
3	
4	
5	
6	
7	
8	

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SIGNS for WEST and SOUTH ELEVATIONS

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Tel/630-510-2020 • Fax/630-510-2074
e-mail/signs@parvinclauss.com
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PROJECT:

Cilantro Enterprise LLC

3001 S. Mannheim Rd.
Des Plaines, IL 60018

CUSTOMER APPROVAL:

DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

Dan Olson / KZ

DRAWN BY

Bill Goodwyn

DATE

8.23.23

SCALE

SHEET NO.

7 of 7

ESTIMATE / JOB NUMBER

13087

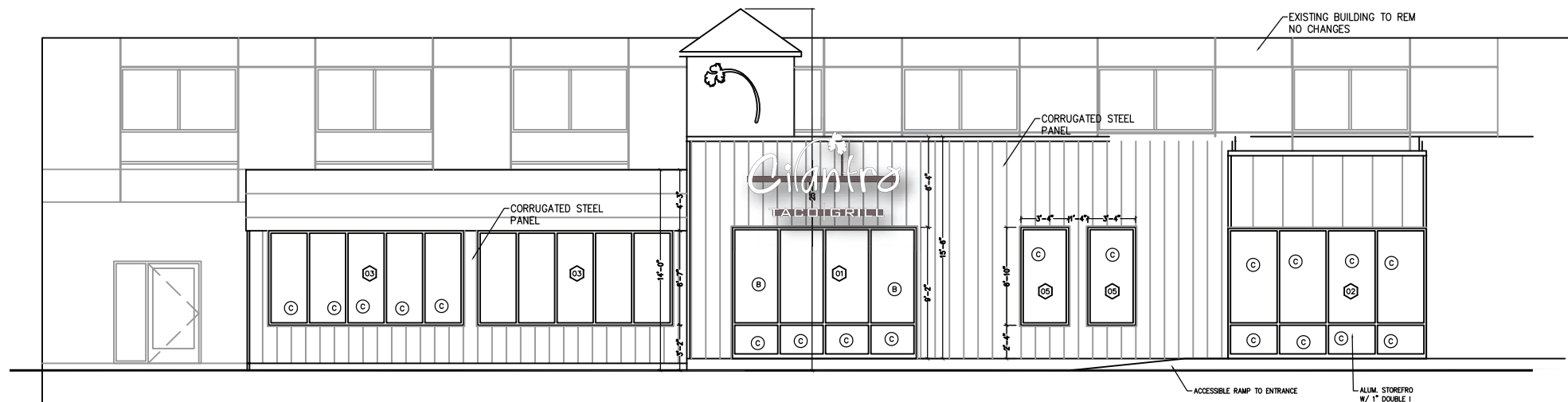
FILE NAME

CILE13087

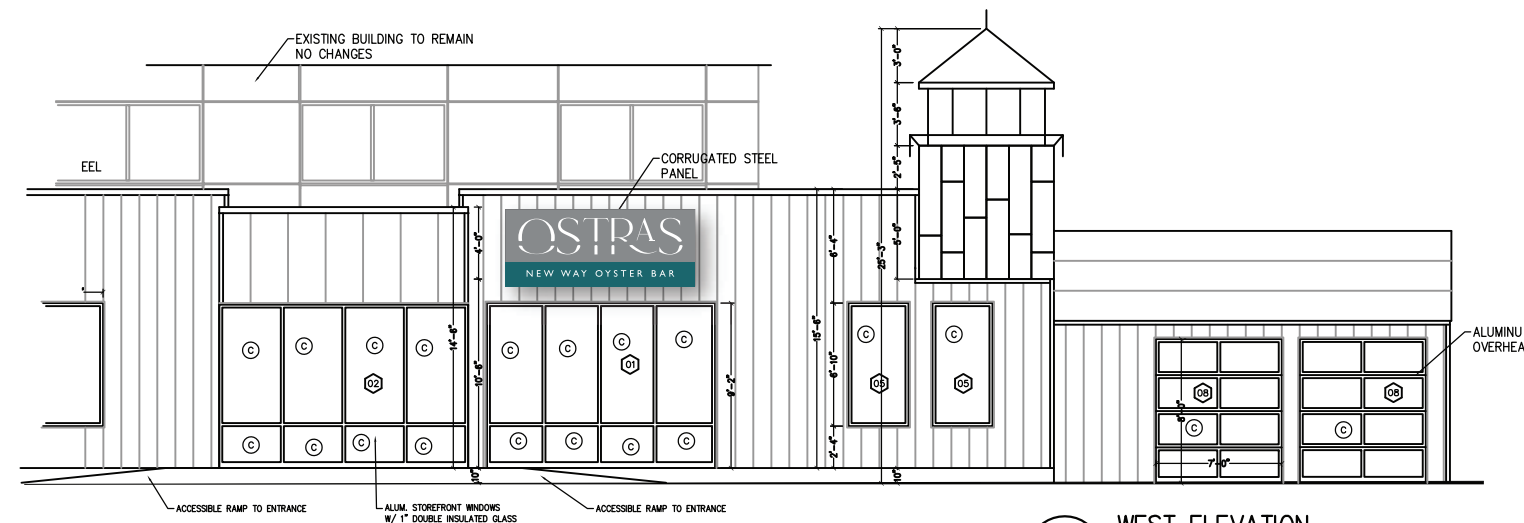
REVISIONS:

- 1 8.24.23
- 2
- 3
- 4
- 5
- 6
- 7
- 8

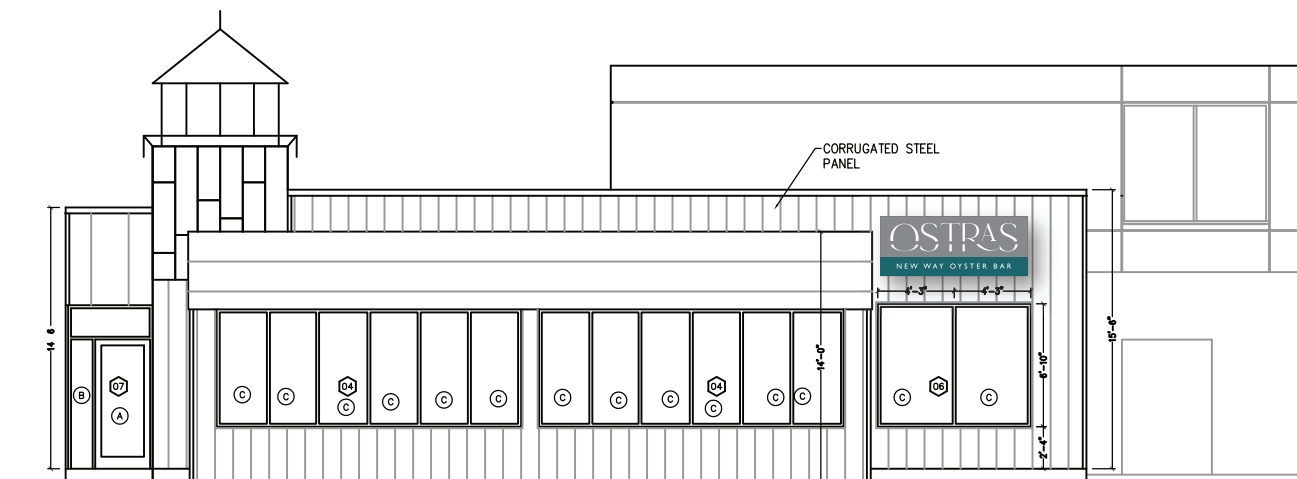
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4 WEST ELEVATION
A2-2



4 WEST ELEVATION
A2-2



1 SOUTH ELEVATION
A2-2



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LOT 3 – HOTEL PARCEL
PRIOR APPROVED POLE SIGN CONTAINING ELECTRONIC MESSAGE BOARDS
(PER ORDINANCE Z-18-18)



FABRICATED ALUMINUM CABINET
 BRUSHED ALUMINUM POLYURETHANE FINISH
 ROUTED-OUT / BACKED-UP WHITE PLEXIGLAS COPY
 3M BRAND BLACK PERFORATED APPLIED VINYL
 ON 1ST SURFACE OF PLEX

96 X 256 COLOR LED MESSAGE CENTER
 19mm PIXEL PITCH / 73.7 QUINTILLION COLORS
 OPTIMAL VIEW AREA; 6' x 16' / FRONT VENTILATION
 BROADBAND CONTROLLER / WATCHFIRE BRAND
 IGNITE SOFTWARE

SIGN TYPE (F)
TOLLWAY LOCATION
 DOUBLE FACE ILLUMINATED DISPLAY
 SCALE 1/4" = 1'-0"

FABRICATED ALUMINUM PYLON COVERS
 BRUSHED ALUMINUM & BLUE FINISH



NORTH SHORE SIGN
 1925 Industrial Drive Libertyville, Illinois 60048 847-816-7020
"Quality Signage Since 1930"



Colors depicted on this drawing are printed simulations to assist in visualizing the design. They do not accurately reflect the actual colors specified.

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THE ORCHARD AT O'HARE DES PLAINES, IL.		
SCALE NOTED		DRAW BY: AS
DATE 3/20/18		REVISED
SALESPERSON ART	APPROVED BY:	DRAWING # 11390 PG 4

LOT 5

RESTAURANT PARCEL

- POPEYES LOUISIANA KITCHEN SIGNAGE PACKAGE
- MANNHEIM ROAD MODIFIED MULTI-TENANT MONUMENT SIGN
(REVISIONS TO TENANT PANELS ONLY)

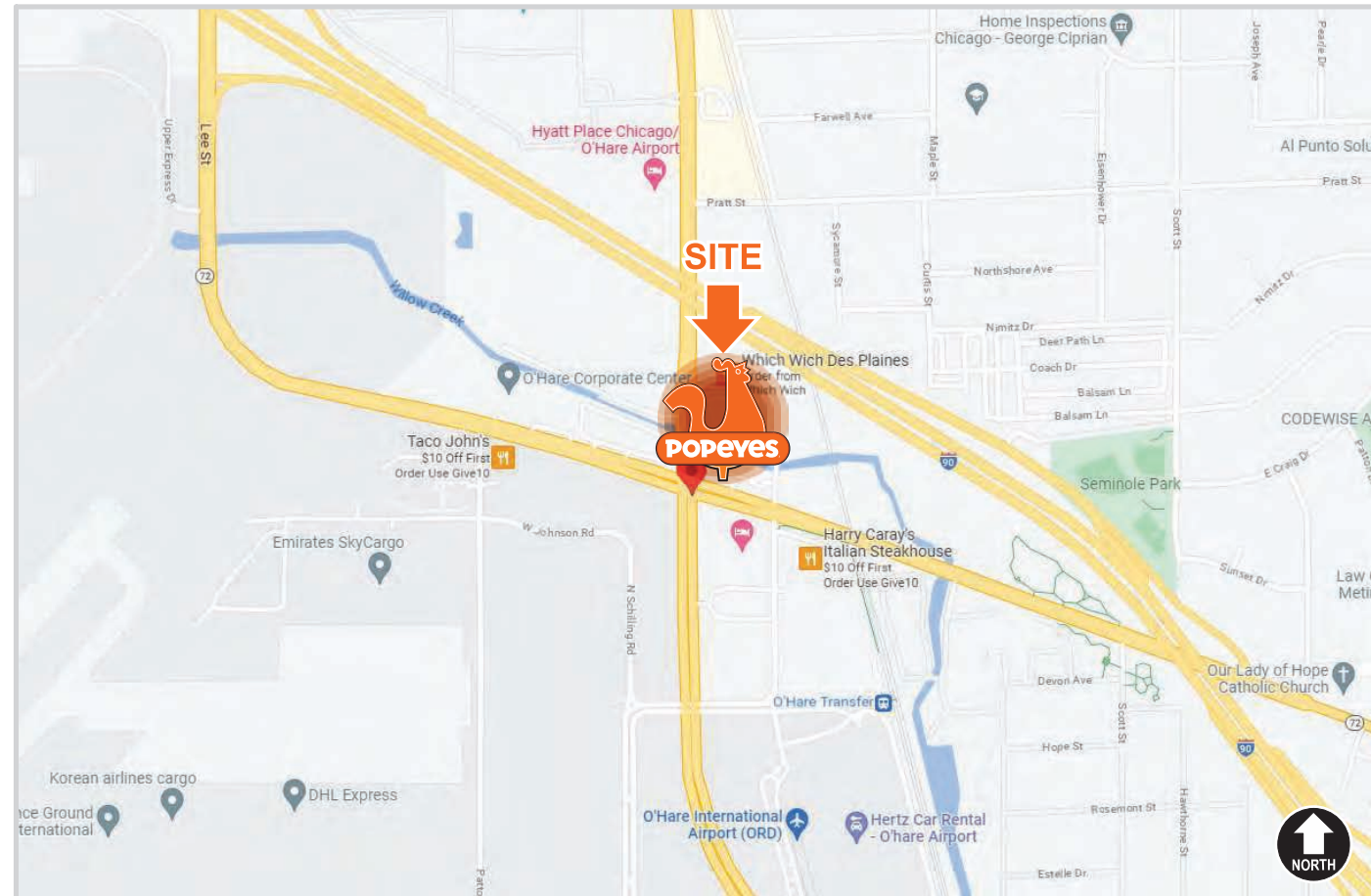
LOT 5 - RESTAURANT PARCEL
POPEYES LOUISIANA KITCHEN SIGNAGE PACKAGE

SCHEDULE

- N1 - (1) 27" ILLUMINATED CHANNEL LETTERS WITH LK TAGLINE ILLUMINATED CHANNEL LETTERS ON WIREWAY
- N2 - (1) 27" ILLUMINATED CHANNEL LETTERS WITH NO LK TAGLINE
- N3 - (1) 24" ILLUMINATED CHANNEL LETTERS WITH NO LK TAGLINE
- N4 - (1) 24" ILLUMINATED CHANNEL LETTERS WITH NO LK TAGLINE
- N5 - (1) 4'-7"X3'-10"X3" POPPY CHICKEN SYMBOL
- N6 - (1) "LOVE THAT CHICKEN" NON-ILLUMINATED FCO LETTERS
- N7 - (27) VERTICAL WOOD SLATS PRECOATED ACM.
- N8 - (15) VERTICAL WOOD SLATS PRECOATED ACM.
- N9 - (2) 9'-0"X3'-0"X8" OPEN BOTTOM DT CANOPY W/ SAGRODS (PAINTED ORANGE)
- N10 - (3) 8" NON ILLUM. FASCIA BAND (PAINTED ORANGE)
- N11 - (1) 22'-10"X3'-0"X8" OPEN SLAT CANOPY (PAINTED TEAL) w/ SOLID LID OVER ENTRANCE
- N12 - (1) 37'-5"X3'-0"X8" OPEN SLAT CANOPY (PAINTED TEAL) w/ SOLID LID OVER ENTRANCE
- N13 - (8) CANOPY VERTICAL & HORIZONTAL SUPPORT
- N14 - (1) DECORATIVE WALL PANELS (WOOD GRAIN)
- N15 - (1) DECORATIVE WALL PANELS (WOOD GRAIN)
- N16 - (1) DECORATIVE WALL PANELS (WOOD GRAIN)
- N17 - (1) DECORATIVE WALL PANELS (WOOD GRAIN)
- N18 - (1) DECORATIVE WALL PANELS (WOOD GRAIN)
- N19 - (2) DRIVE THRU MENU CANOPY
- N20 - (2) SPEAKER BOX
- N21 - (2) CLEARANCE BAR
- N22 - (1) D/F MONOLITHIC DIRECTIONAL SIGN - (DRIVE THRU RIGHT / DRIVE THRU LEFT)
- N23 - (1) D/F MONOLITHIC DIRECTIONAL SIGN - (DRIVE THRU RIGHT / DRIVE THRU LEFT)
- N24 - (1) D/F MONOLITHIC DIRECTIONAL SIGN - (DRIVE THRU RIGHT / DRIVE THRU LEFT)
- N25 - (1) D/F MONOLITHIC SIGN - (DO NOT ENTER / BLANK FACE)
- N26 - (2) D/F MULTI-TENANT MONUMENT SIGN - TENANT PANELS
- N27 - (2) D/F MULTI-TENANT MONUMENT SIGN - TENANT PANELS

LEGEND

- N1 NEW PROPOSED
- R1 EXISTING SIGN TO BE REPLACED
- X1 EXISTING SIGN TO BE REMOVED
- S1 EXISTING SIGN TO REMAIN



VICINITY MAP
Exhibit B

NOT TO SCALE



POPEYES #2124
 Khowaja Brothers Group, Inc.
 NE Crnr of Mannheim & W Higgins Rd.
 Des Plaines, IL 60018

APPROVAL

X	Title	Date
---	-------	------

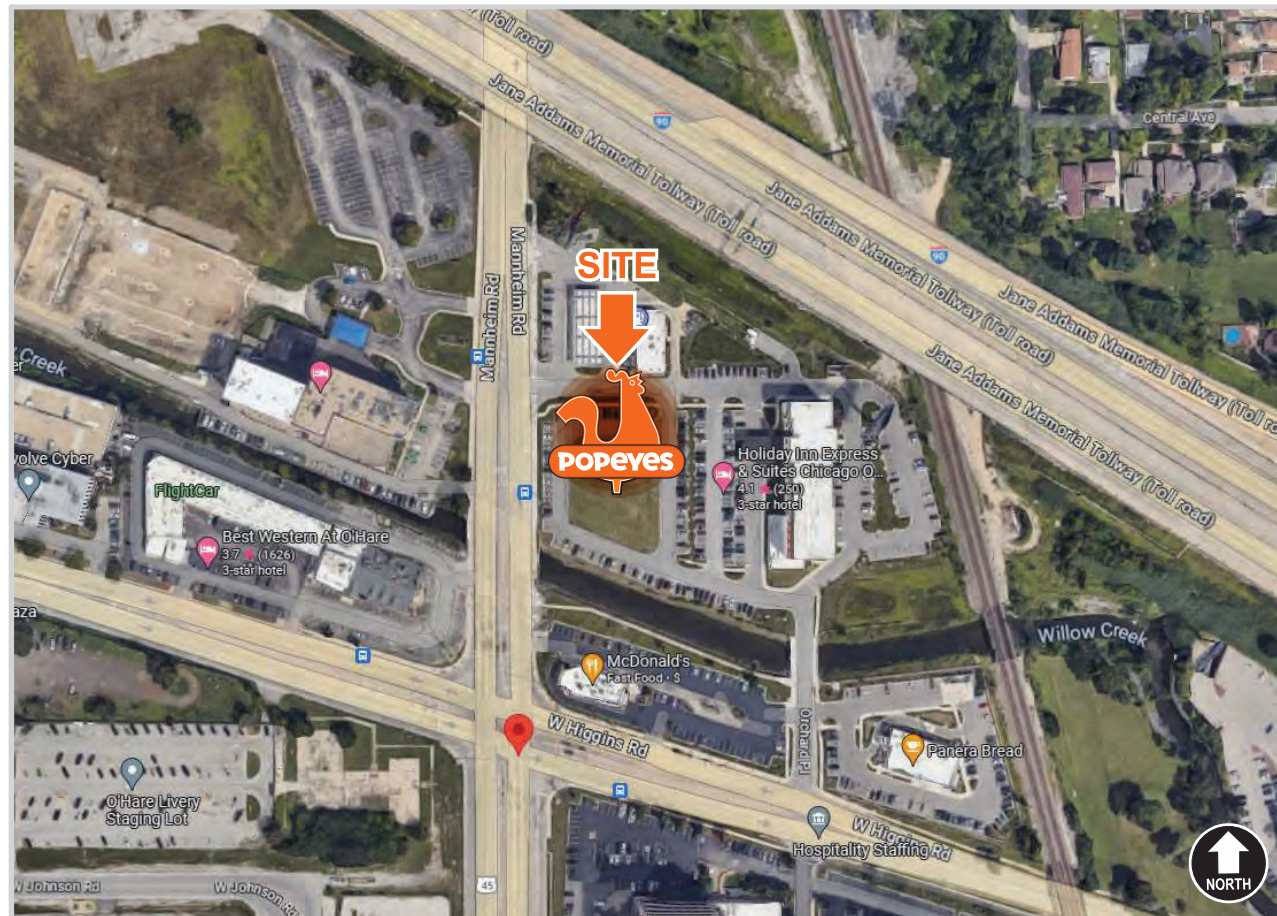
SIGN CODE

Code: Street facing signs allowed up to 2 wall signs, 3sq.ft / lin ft of horiz. bldg face. Aggregate total max shall not exceed 125 sq.ft. Rear Pop ltrs puts us over max Agg. Ani will request variance for LTC sign.

SQUARE FOOTAGE INFORMATION

ALLOWABLE 0.00 SQ. FT.

PROPOSED 0.00 SQ. FT.



AERIAL MAP

NOT TO SCALE



LOREN INDUSTRIES

12226 Coast Drive
 Whittier, CA 90601
 Tel: (562) 946-7545
 Fax: (562) 949-5707
 St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:

07-23-0023R2

PAGE NO.:

1 OF 26

CLIENT:

POPEYES

ADDRESS

NE Crnr of Mannheim &
 W Higgins Rd.
 Des Plaines, IL 60018

Approval Signature

DATE:

07/18/2023

PROJECT MANAGER

Dave P.

DESIGNER:

ED

REVISION DATE:

08/25/2023

REVISION BY:

Raul D.

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AERIAL VIEW W/ MONUMENT SIGN LOCATIONS Scale: N.T.S.

Exhibit B



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Whittier, CA 90601
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Fax: (562) 949-5707
St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:
07-23-0023R2

PAGE NO.:
2 OF 26

CLIENT:
POPEYES

ADDRESS
NE Cmr of Mannheim &
W Higgins Rd.
Des Plaines, IL 60018

Approval Signature

DATE:
07/18/2023

PROJECT MANAGER
Dave P.

DESIGNER:
ED

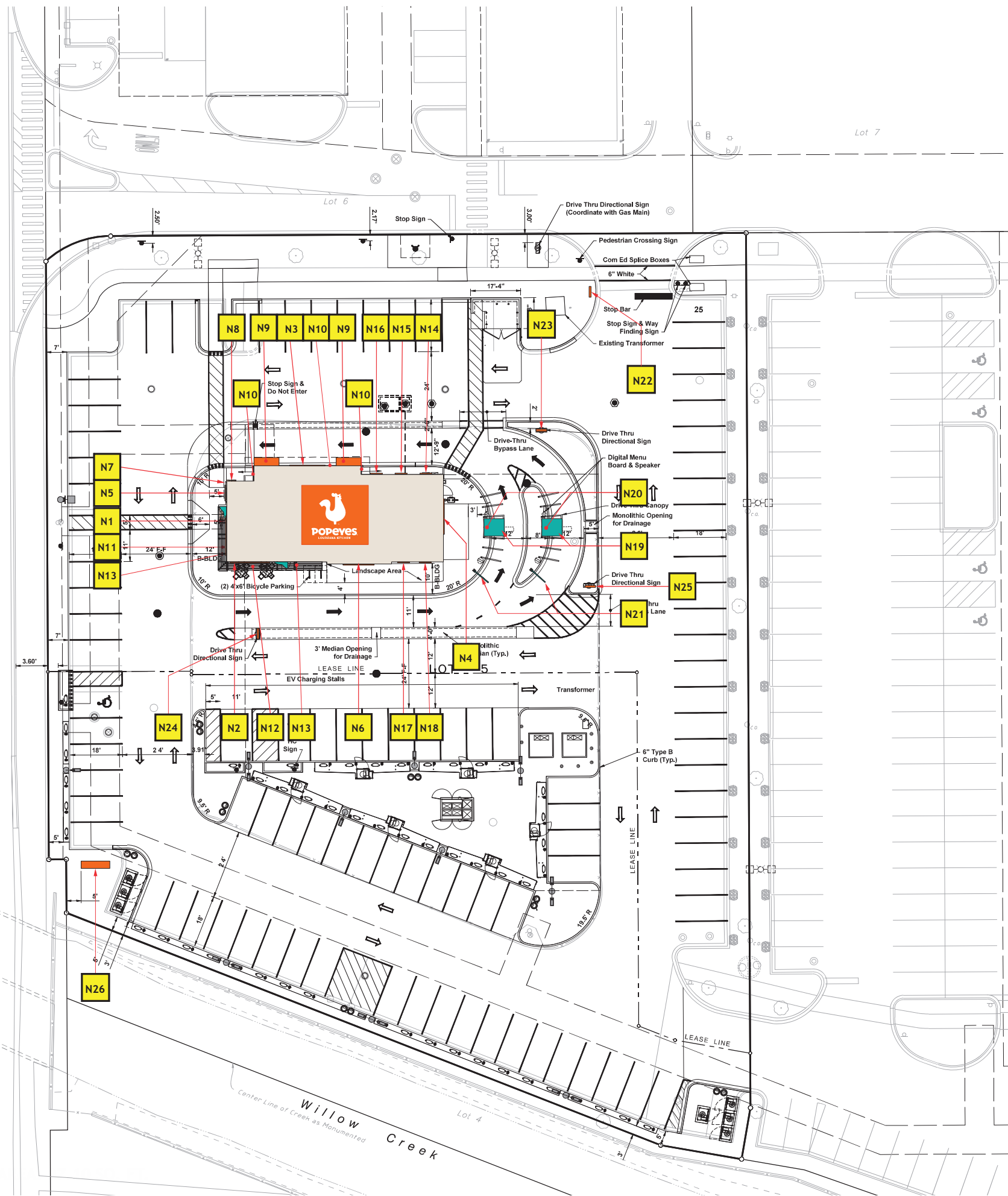
REVISION DATE:
08/25/2023

REVISION BY:
Raul D.

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SITE PLAN
Scale: 1" = 40'

Exhibit B



LOREN
LOREN INDUSTRIES

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Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:
07-23-0023R2

PAGE NO.:
3 OF 26

CLIENT:
POPEYES

ADDRESS
NE Crrr of Mannheim &
W Higgins Rd.
Des Plaines, IL 60018

Approval Signature

DATE:
07/18/2023

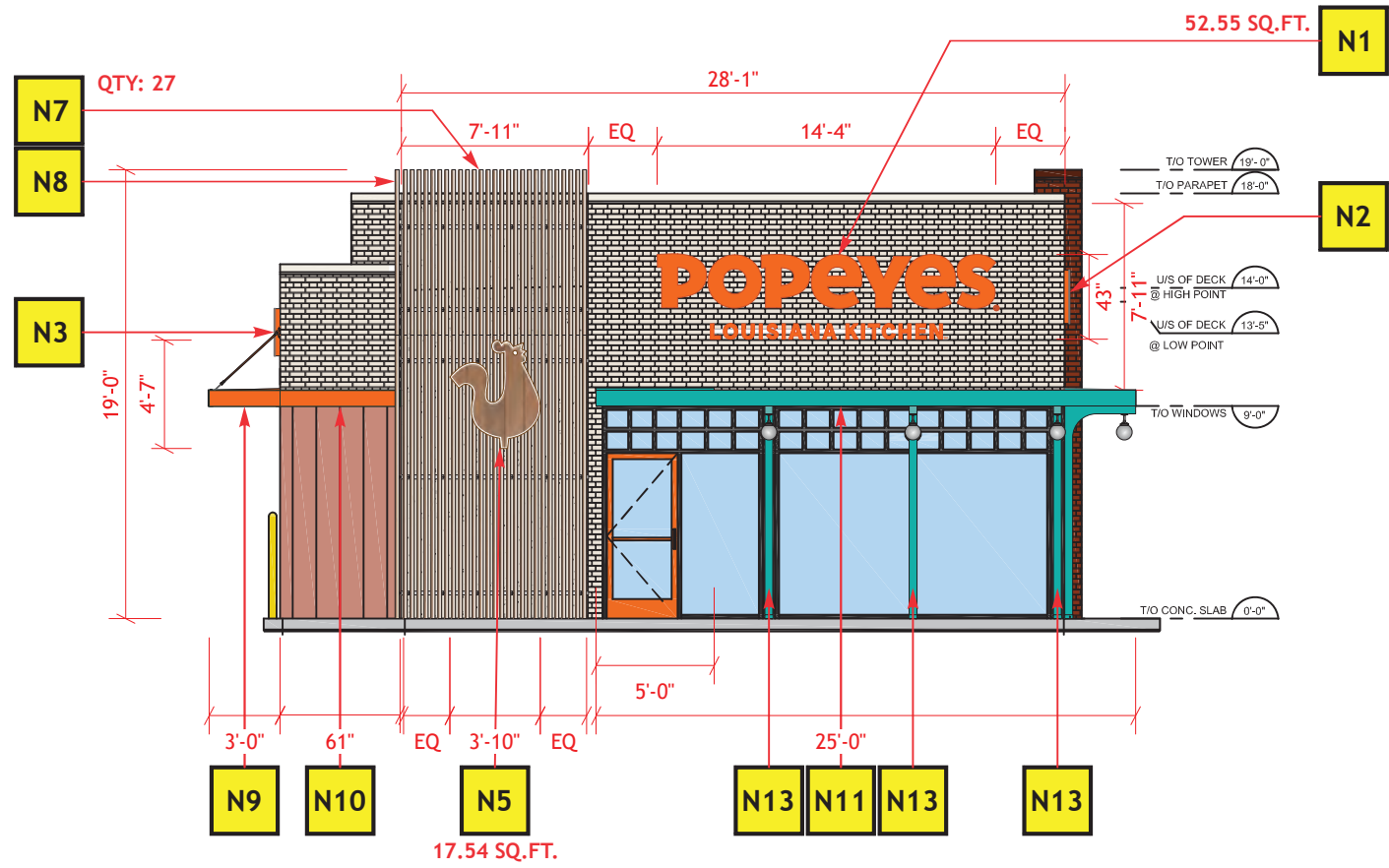
PROJECT MANAGER
Dave P.

DESIGNER:
ED

REVISION DATE:
08/25/2023

REVISION BY:
Raul D.

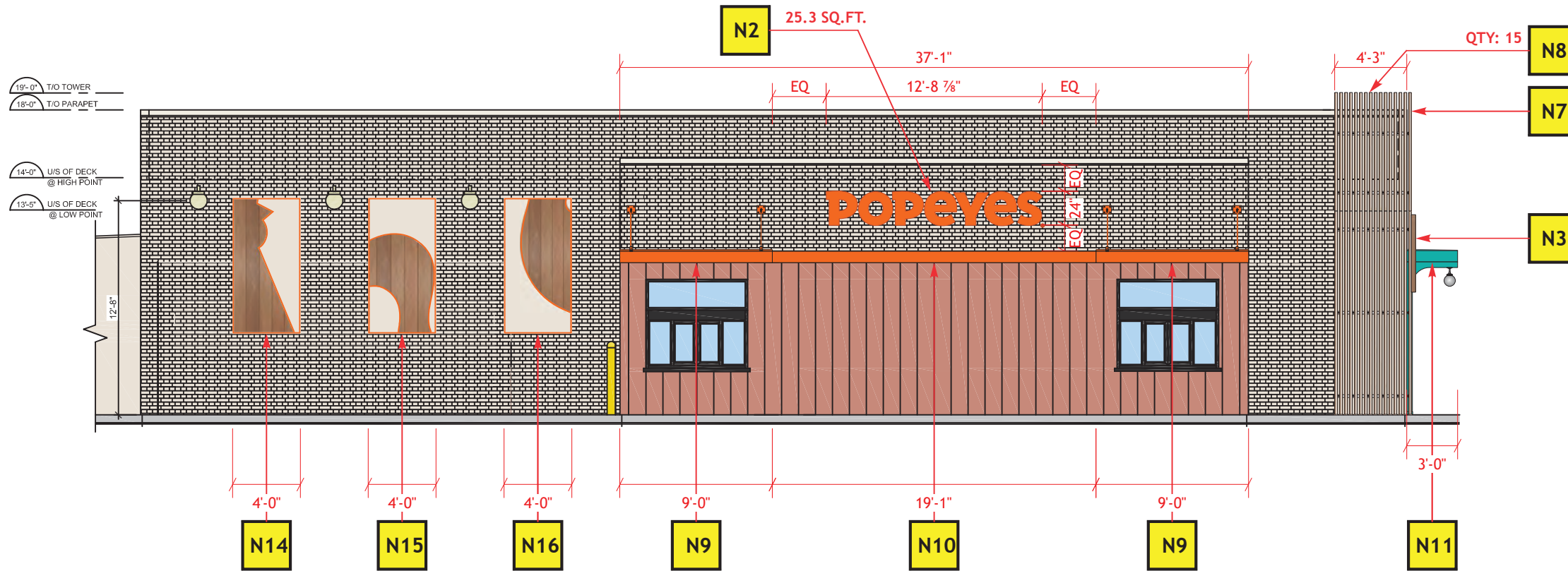
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FRONT ELEVATION

PROPOSED: 70.09 SQ.FT.

Scale: 1/8" = 1'-0"



DRIVE-THRU ELEVATION

PROPOSED: 25.3 SQ.FT.

Scale: 1/8" = 1'-0"

Exhibit B



LOREN

LOREN INDUSTRIES

12226 Coast Drive
Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:

07-23-0023R2

PAGE NO.:

4 OF 26

CLIENT:

POPEYES

ADDRESS

NE Cmn of Mannheim &
W Higgins Rd.
Des Plaines, IL 60018

Approval Signature

DATE:

07/18/2023

PROJECT MANAGER

Dave P.

DESIGNER:

ED

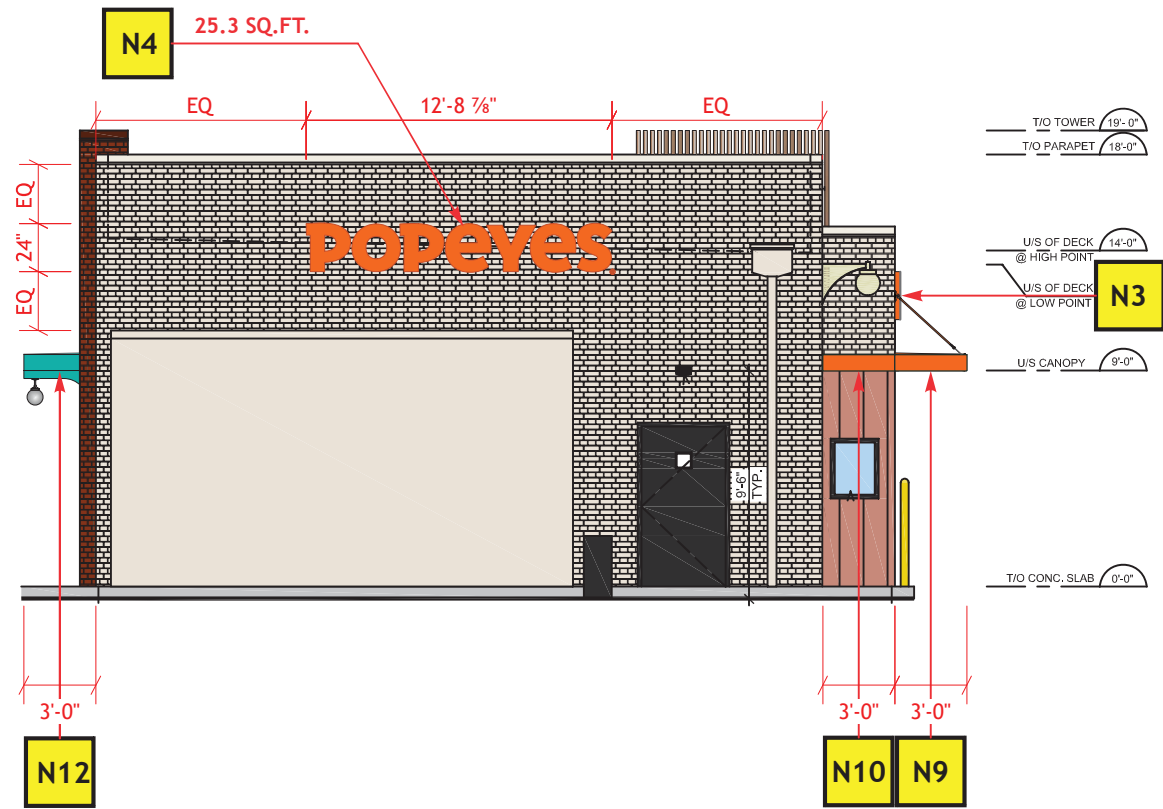
REVISION DATE:

08/25/2023

REVISION BY:

Raul D.

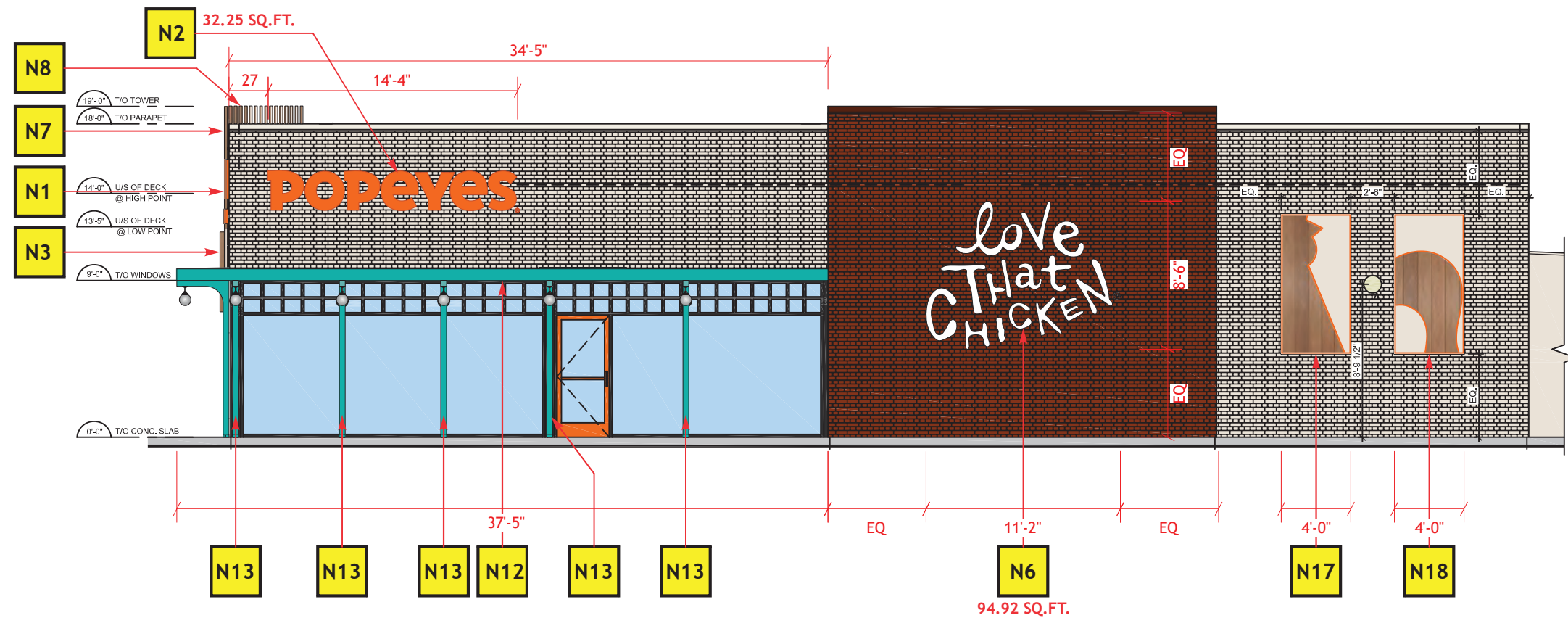
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REAR ELEVATION

PROPOSED: 25.3 SQ.FT.

Scale: 1/8" = 1'-0"



SIDE ELEVATION

PROPOSED: 127.17 SQ.FT.

Scale: 1/8" = 1'-0"

Exhibit B



LOREN

LOREN INDUSTRIES

12226 Coast Drive
Whittier, CA 90601

Tel: (562) 946-7545

Fax: (562) 949-5707

St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:

07-23-0023R2

PAGE NO.:

5 OF 26

CLIENT:

POPEYES

ADDRESS

NE Cmn of Mannheim &
W Higgins Rd.
Des Plaines, IL 60018

Approval Signature

DATE:

07/18/2023

PROJECT MANAGER

Dave P.

DESIGNER:

ED

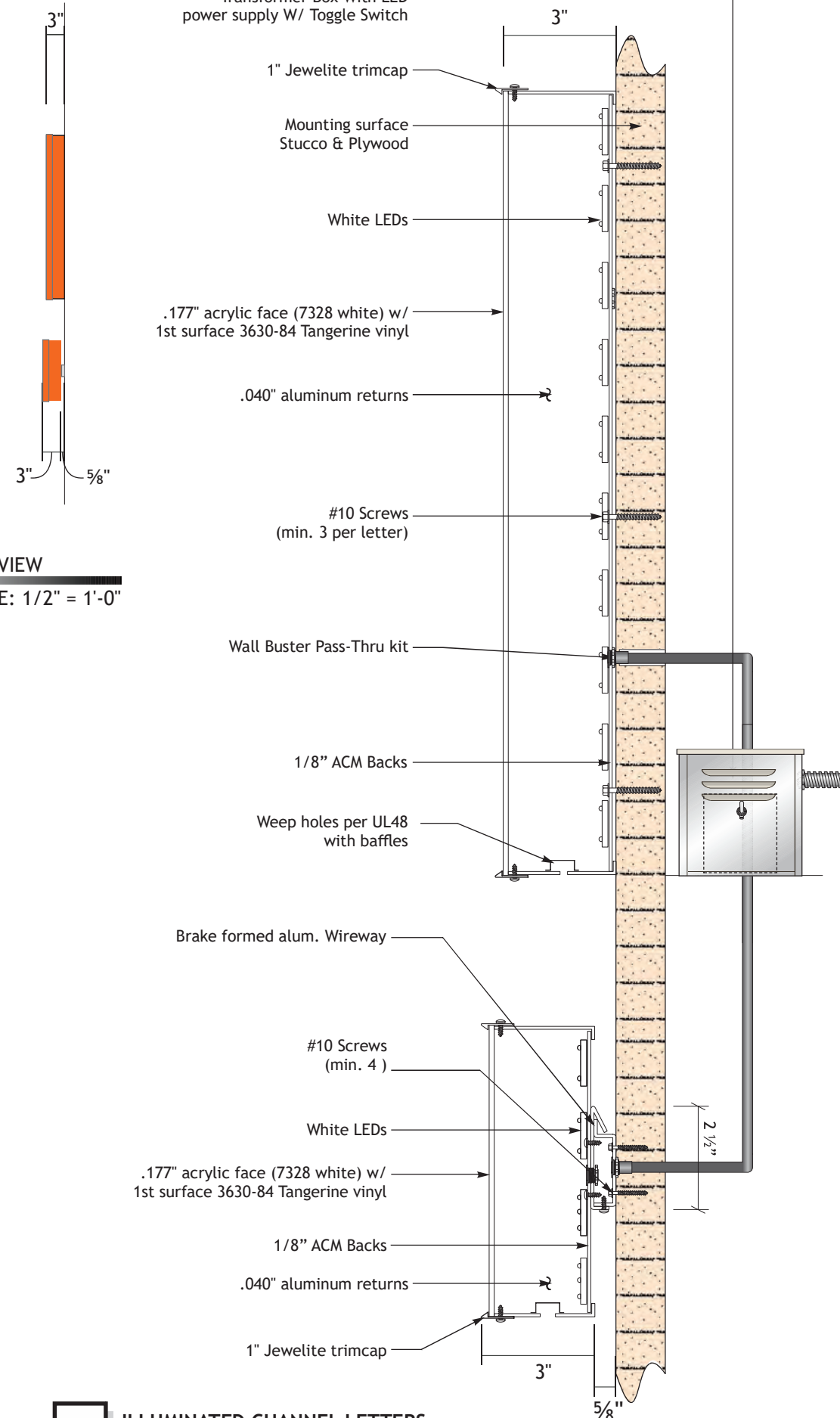
REVISION DATE:

08/25/2023

REVISION BY:

Raul D.

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N1 ILLUMINATED CHANNEL LETTERS AREA: 52.55 SQ FT SCALE: 1/2" = 1'-0"
 FRONT VIEW SIDE VIEW SCALE: 1/2" = 1'-0"

SPECIFICATIONS:
LETTERS: POPEYES
 FACES:..... .177" #7328 WHITE ACRYLIC FACES
 w/ 1ST SURFACE VINYL
 3M 3630-84 TANGERINE
 RETURNS:..... .040" X 3.0 ALUMINUM COIL PAINTED
 TANGERINE PMS 3564C
 BACKS:..... 1/8" WHITE ACM BACKS
 TRIM CAP:..... 1" JEWELITE TRIMCAP TANGERINE
 ILLUMINATION:.. WHITE LED'S

SPECIFICATIONS:
LETTERS: LOUISIANA KITCHEN
 FACES:..... .177" #7328 WHITE ACRYLIC FACES
 w/ 1ST SURFACE VINYL
 3M 3630-84 TANGERINE
 RETURNS:..... .040" X 3.0 ALUMINUM COIL PAINTED
 TANGERINE PMS 3564C
 BACKS:..... 1/8" WHITE ACM BACKS
 TRIM CAP:..... 1" JEWELITE TRIMCAP TANGERINE
 ILLUMINATION:.. WHITE LED'S
 WIREWAY:..... .090" BRAKE FORMED ALUM.

COLOR SPECIFICATIONS:
 PMS 3564C TANGERINE
 3M 3630-84 TANGERINE

2 ILLUMINATED CHANNEL LETTERS SCALE: NTS
 SIDE SECTION VIEW



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07-23-0023R2

PAGE NO.:
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CLIENT:
POPEYES

ADDRESS
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 Des Plaines, IL 60018

Approval Signature

DATE:
07/18/2023

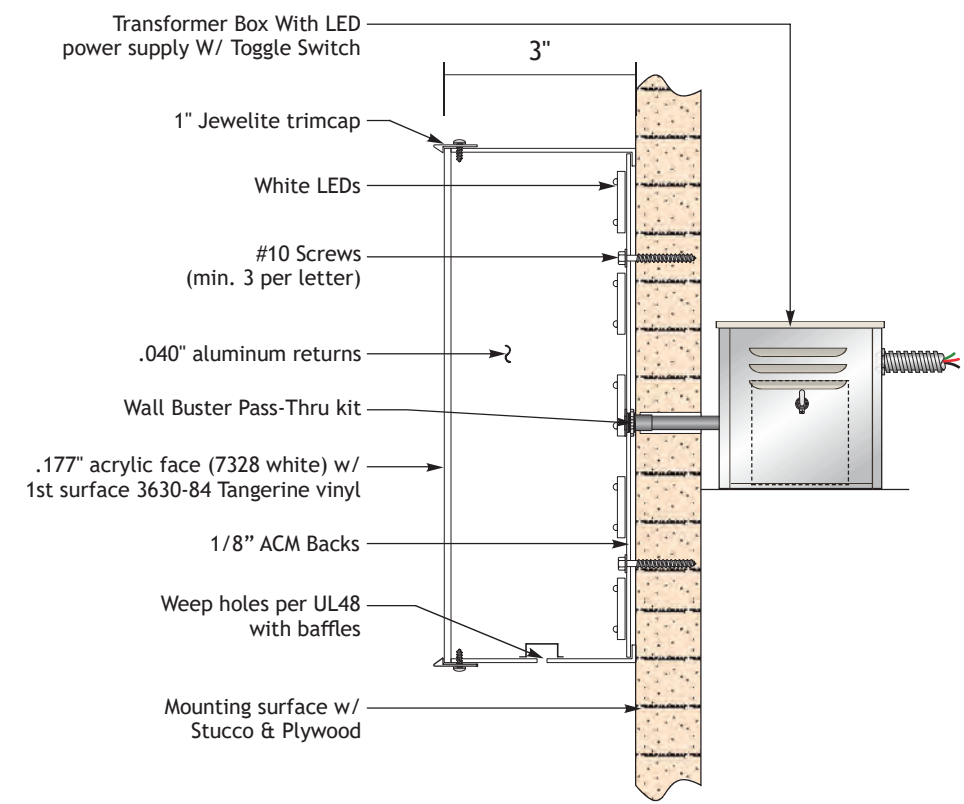
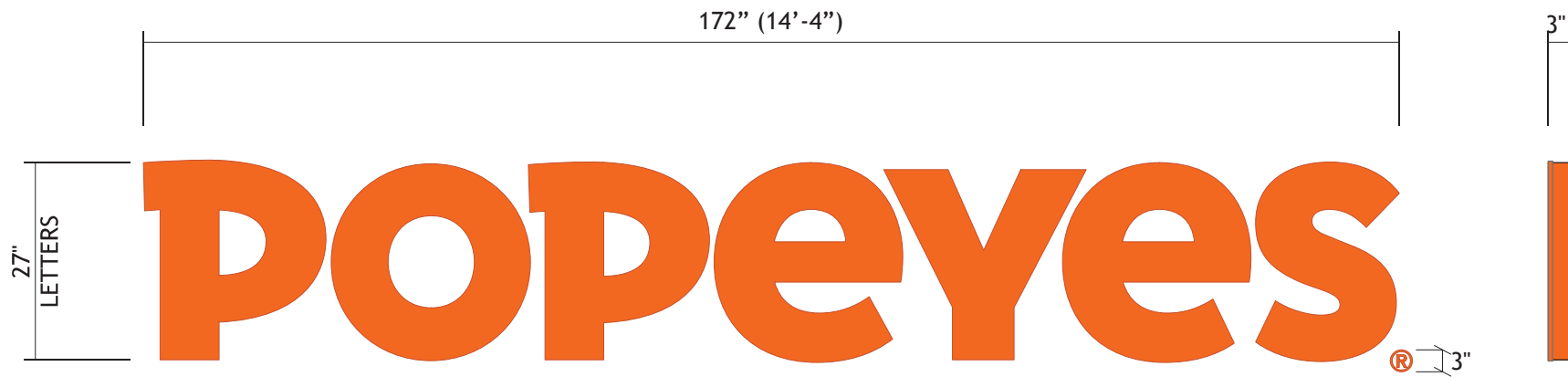
PROJECT MANAGER
Dave P.

DESIGNER:
ED

REVISION DATE:
08/25/2023

REVISION BY:
Raul D.

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N2 ILLUMINATED CHANNEL LETTERS
 FRONT VIEW
 AREA: 32.25 SQ FT
 SCALE: 1/2" = 1'-0"

SIDE VIEW
 SCALE: 1/2" = 1'-0"

2 ILLUMINATED CHANNEL LETTERS
 SIDE SECTION VIEW
 SCALE: NTS

SPECIFICATIONS:
LETTERS: POPEYES
 FACES:..... .177" #7328 WHITE ACRYLIC FACES
 w/ 1ST SURFACE VINYL
 3M 3630-84 TANGERINE
 RETURNS:..... .040" X 3.0 ALUMINUM COIL PAINTED
 TANGERINE PMS 3564C
 BACKS:..... 1/8" WHITE ACM BACKS
 TRIM CAP:..... 1" JEWELITE TRIMCAP TANGERINE
 ILLUMINATION:.. WHITE LED'S

COLOR SPECIFICATIONS:
 PMS 3564C TANGERINE
 3M 3630-84 TANGERINE



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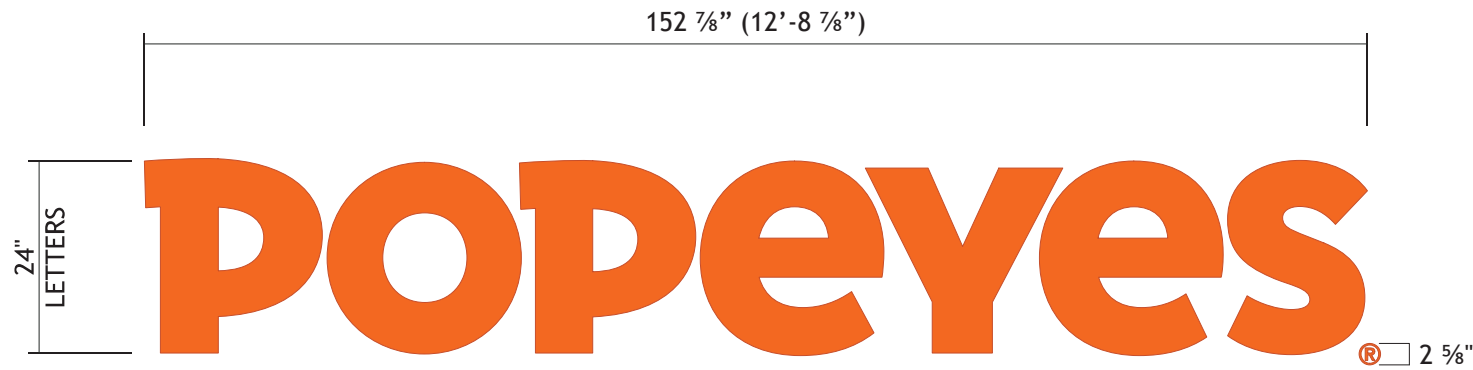
PROJECT MANAGER
Dave P.

DESIGNER:
ED

REVISION DATE:
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REVISION BY:
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N3 N4 ILLUMINATED CHANNEL LETTERS
FRONT VIEW

AREA: 25.3 SQ FT
SCALE: 1/2" = 1'-0"

SPECIFICATIONS:

LETTERS: POPEYES

- FACES:..... .177" #7328 WHITE ACRYLIC FACES
w/ 1ST SURFACE VINYL
3M 3630-84 TANGERINE
- RETURNS:..... .040" X 3.0 ALUMINUM COIL PAINTED
TANGERINE PMS 3564C
- BACKS:..... 1/8" WHITE ACM BACKS
- TRIM CAP:..... 1" JEWELITE TRIMCAP TANGERINE
- ILLUMINATION:.. WHITE LED'S

COLOR SPECIFICATIONS:

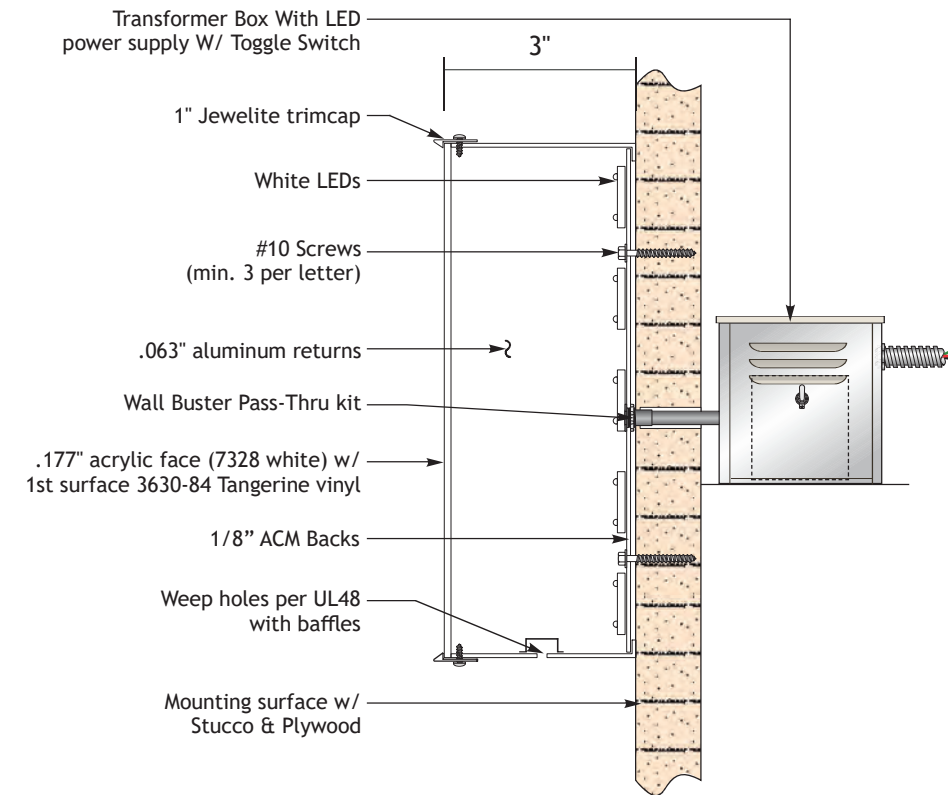
- PMS 3564C TANGERINE
- 3M 3630-84 TANGERINE

3"

SIDE VIEW
SCALE: 1/2" = 1'-0"

2 ILLUMINATED CHANNEL LETTERS
SIDE SECTION VIEW

SCALE: NTS



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PAGE NO.:
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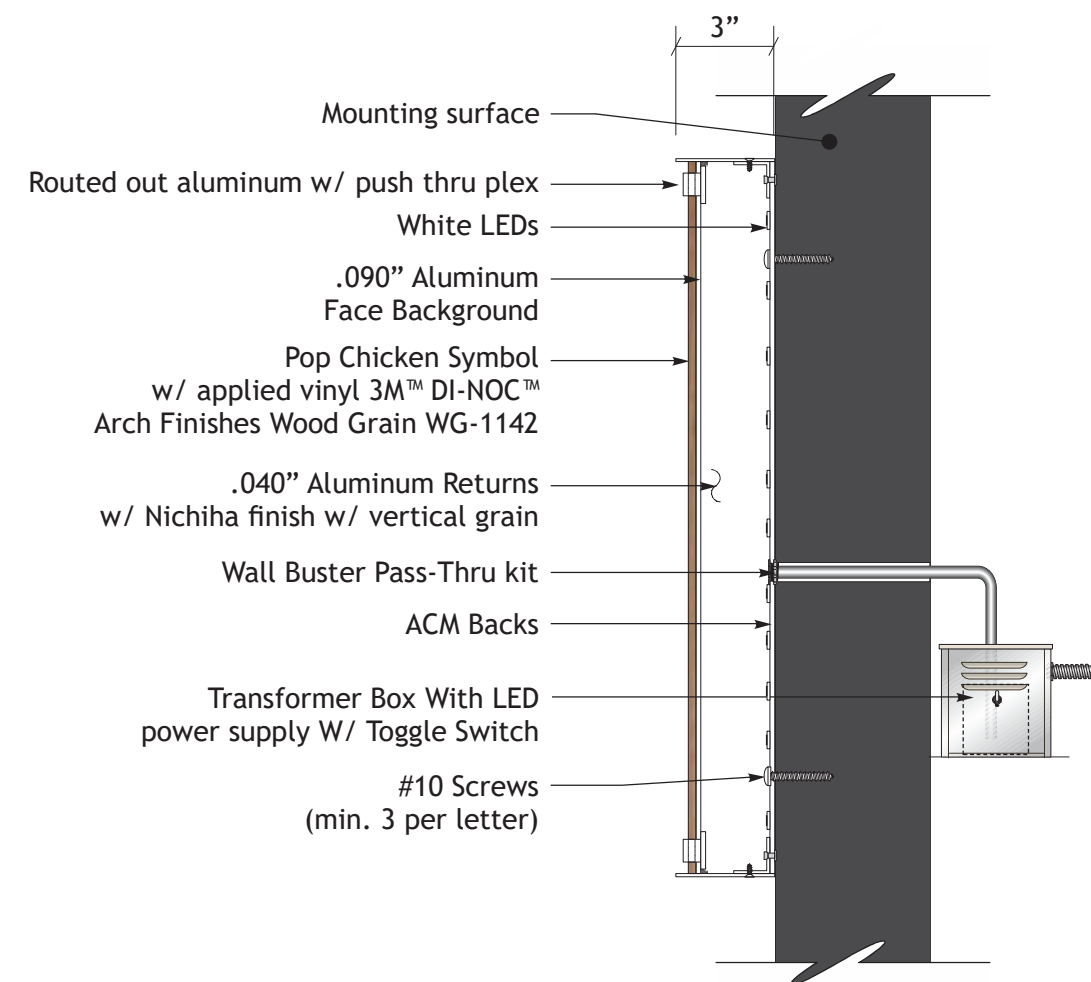
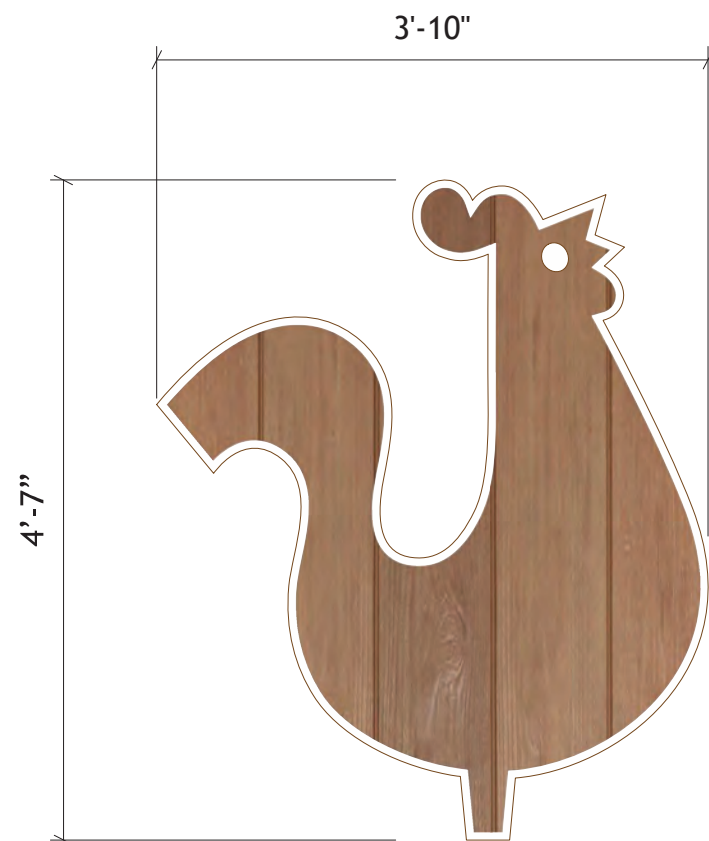
PROJECT MANAGER
Dave P.

DESIGNER:
ED

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N5 "CHICKEN SYMBOL" CABINET W/ ROUTED OUT PUSH THRU ACRYLIC AREA: 17.54 SQ. FT. Scale: 3/4" = 1'-0"

CHICKEN SYMBOL SPECIFICATIONS:

1. RETURNS - 3" X .063" ALUMINUM, w/3M™ DI-NOC™ ARCH FINISHES WOOD GRAIN WG-1142
2. FACES BACKGROUND - .90" ALUM. w/3M™ DI-NOC™ ARCH FINISHES WOOD GRAIN WG-1142
3. LOGO - ROUTED OUT ALUMINUM W/ WHITE ACRYLIC PUSH THRU
4. BACKS - ACM
5. LEDS- WHITE LED W/ 12V 60W POWER SUPPLY

ILLUMINATED BUILDING SEAL SIDE SECTION VIEW SCALE: NTS

NOTES:
ELECTRICAL COMPONENTS TO BE UL LISTED AND INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE (NEC)



ALL WIRING SHALL BE 12 GA

(1) 20 AMP-120V CIRCUIT TO BE BROUGHT TO JOB SITE BY LICENCED ELECTRICIAN.

ALL SIGNAGE WILL BE UL2161 COMPLIANT AND CARRY UL LABELS.



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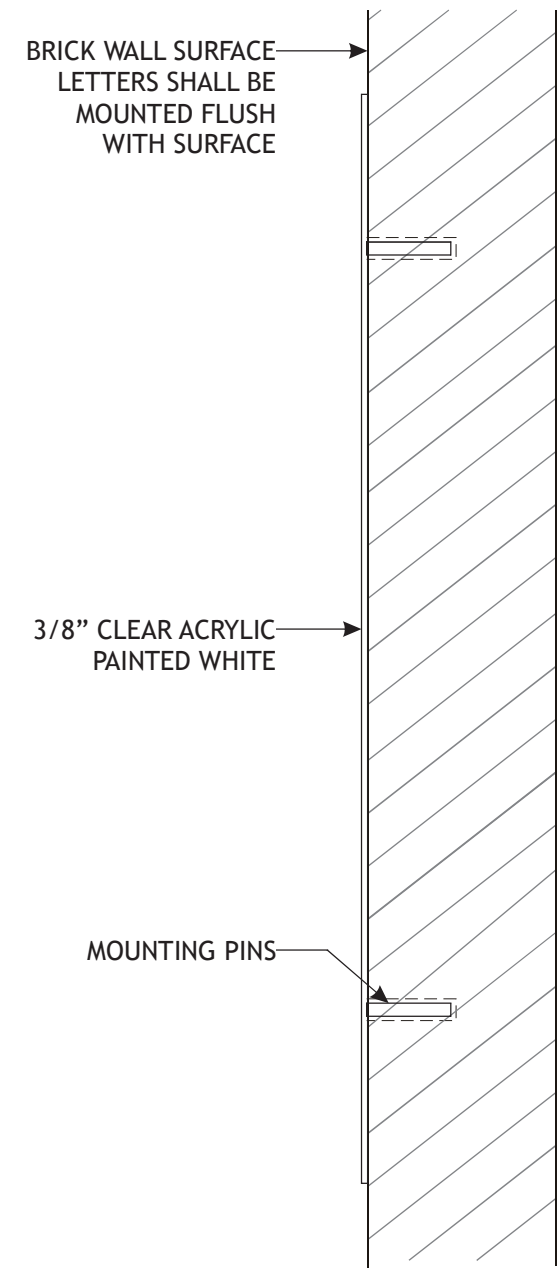
PROJECT MANAGER
Dave P.

DESIGNER:
ED

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DESIGNER:
ED

REVISION DATE:
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REVISION BY:
Raul D.

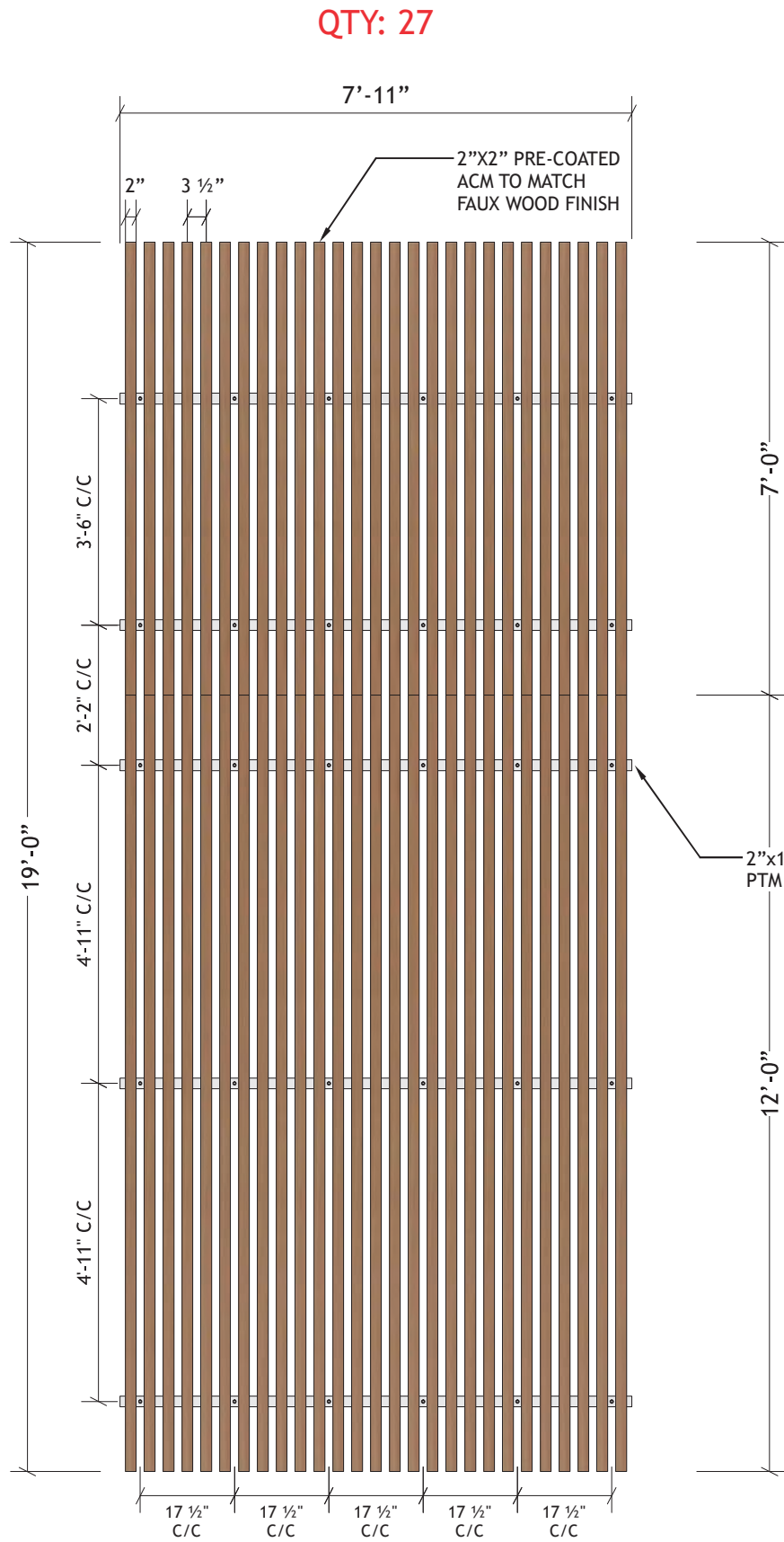
N6

"LOVE THAT CHICKEN" NON-ILLUMINATED FCO LETTERS

AREA: 94.92 SQ FT

Scale: 3/4" = 1'-0"

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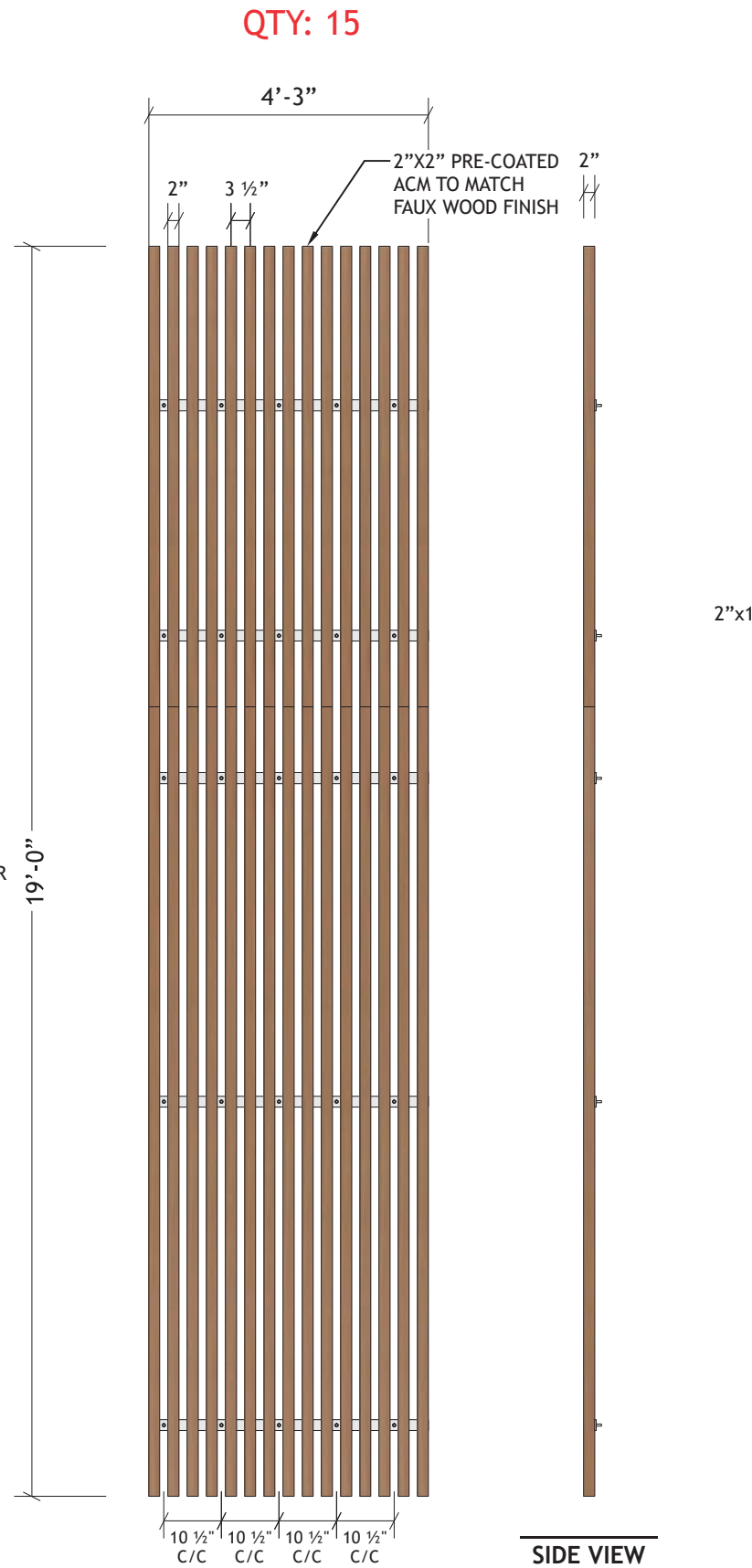


N7 VERTICAL WALL SLATS

FRONT VIEW & SIDE VIEW

Scale: 3/8" = 1'-0"

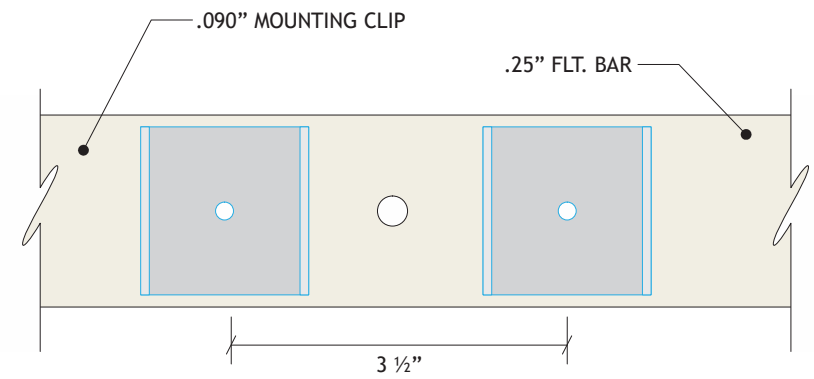
Exhibit B



N8 VERTICAL WALL SLATS

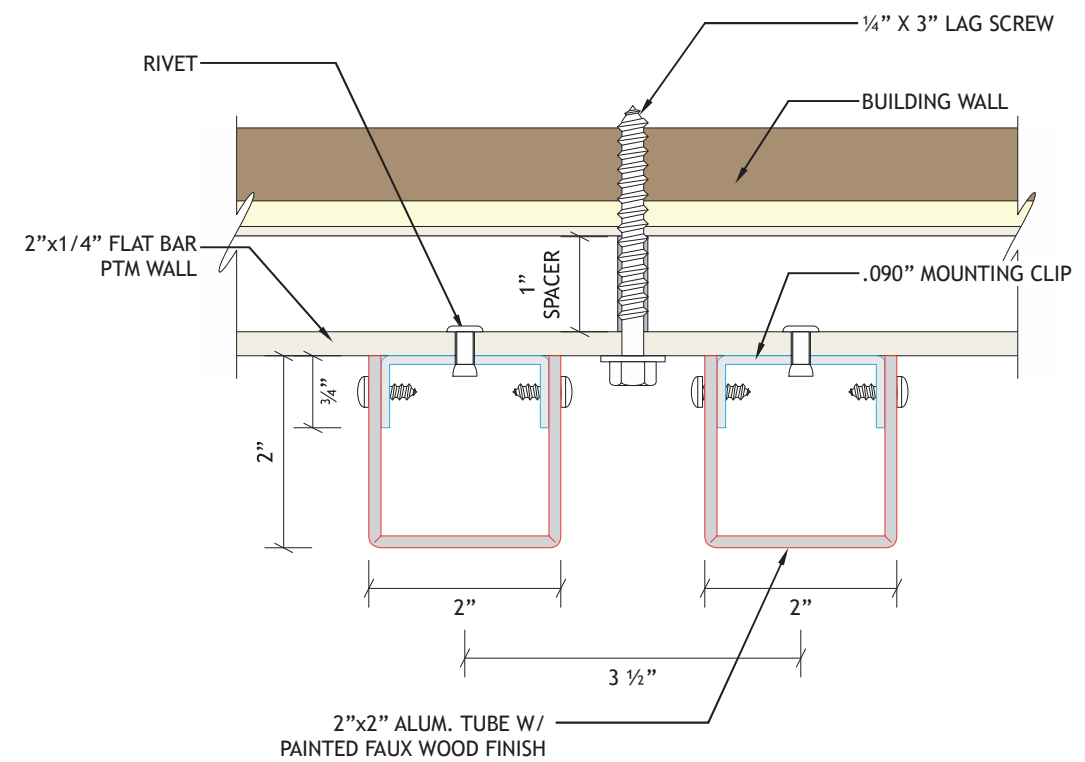
FRONT VIEW & SIDE VIEW

Scale: 3/8" = 1'-0"



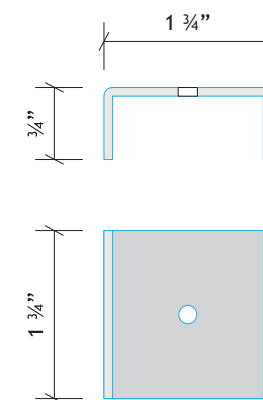
FRONT VIEW OF FLAT BAR W/CLIPS

SCALE: 1:2



SECTION DETAIL

Scale: 1:2



.090" MOUNTING CLIP

SCALE: 1:2



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PROJECT MANAGER

Dave P.

DESIGNER:

ED

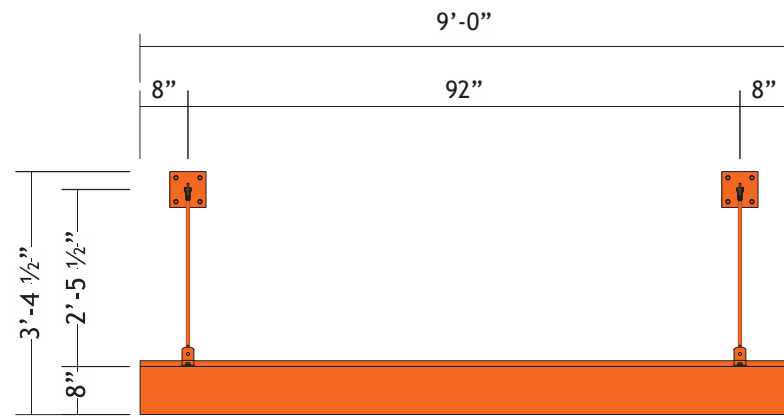
REVISION DATE:

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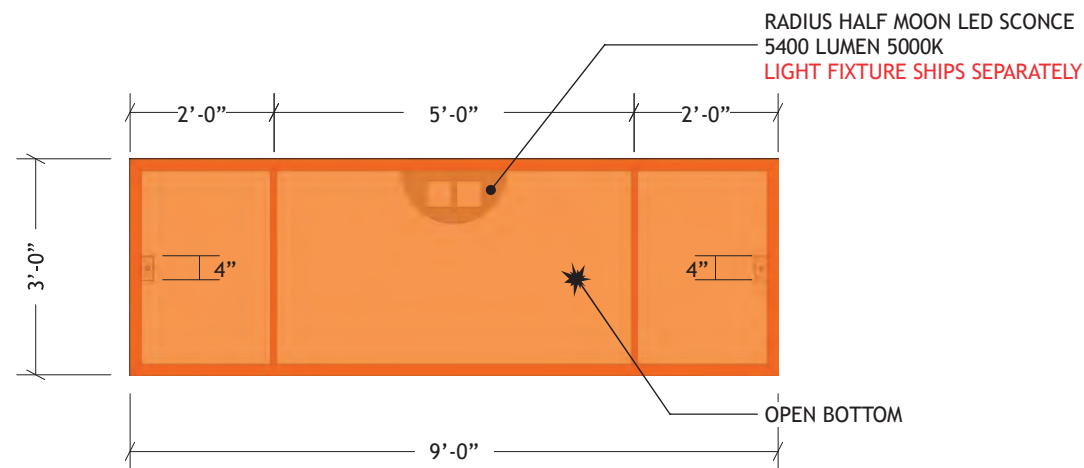
REVISION BY:

Raul D.

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N9 OPEN BOTTOM CANOPY(with SAGRODS) **QTY: 2**
SCALE: 3/8" = 1'-0"



2 OPEN BOTTOM CANOPY SCALE: 3/8" = 1'-0"

SPECIFICATIONS:

1. 2" X 8" ALUMINUM RECT. TUBE CANOPY FRAME
2. .090" ALUMINUM CANOPY TOP LIDS
3. PAINT: - EXT. RECT. CANOPY STRUCTURE PTM - PMS 3564 C ORANGE
- REINFORCED ACM STRUCTURE PTM WOOD GRAIN FINISH
- ALUMINUM ROOF PANEL PTM - PMS 3564 C ORANGE
4. LIGHTING - USLED
RADIUS HALF MOON LED SCONCE 5400 LUMEN 5000K
KONTECH DOWNLIGHT
#KON-WS-40-DN LED LIGHT FIXTURE

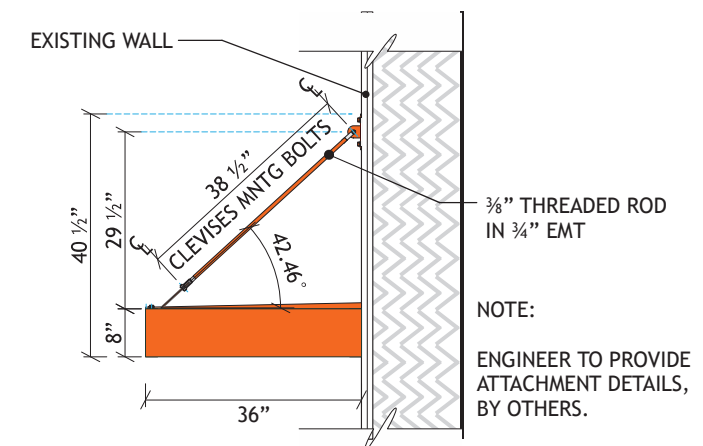
NOTES:

ELECTRICAL COMPONENTS TO BE UL LISTED AND INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE (NEC)
ALL WIRING SHALL BE 12 GA
(1) 20 AMP-120V CIRCUIT TO BE BROUGHT TO JOB SITE BY LICENCED ELECTRICIAN.
ALL SIGNAGE WILL BE UL2161 COMPLIANT AND CARRY UL LABELS.

COLOR

PMS 3564 C ORANGE

NOTE: ADD SILICONE SEALANT TO ALL SEAMS ON TOP OF THE CANOPIES.



3 CANOPY SCALE: 3/8" = 1'-0"

	THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES.
ELECTRIC SIGN SECTION	THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



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CLIENT:
POPEYES

ADDRESS
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W Higgins Rd.
Des Plaines, IL 60018

Approval Signature

DATE:
07/18/2023

PROJECT MANAGER
Dave P.

DESIGNER:
ED

REVISION DATE:
08/25/2023

REVISION BY:
Raul D.

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REVISION BY:
Raul D.

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COLOR

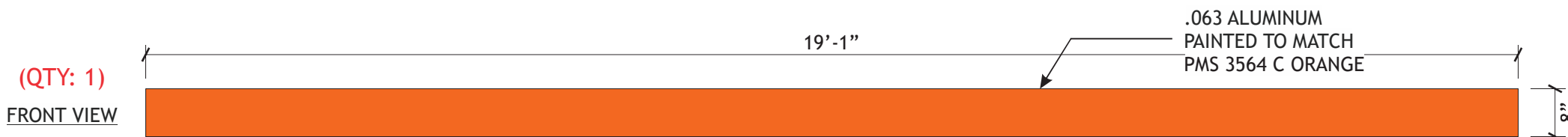
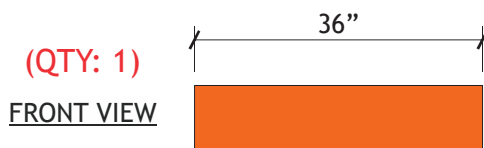
 **PMS 3564 C ORANGE**

NOTE

SITE VERIFY WALL DIMENSION

NOTE

EXACT LENGTHS TO BE CUT IN THE FIELD BY INSTALLER



N10

NON-ILLUMINATED 8" TALL BUILDING FASCIA BAND (SIMPLE DESIGN)

Scale: 1/2"=1'-0"

.063 ALUMINUM
PAINTED TO MATCH
PMS 3564 C ORANGE

24GA GALVALUM
PMS 3564 C ORANGE
BACK SUPPORT

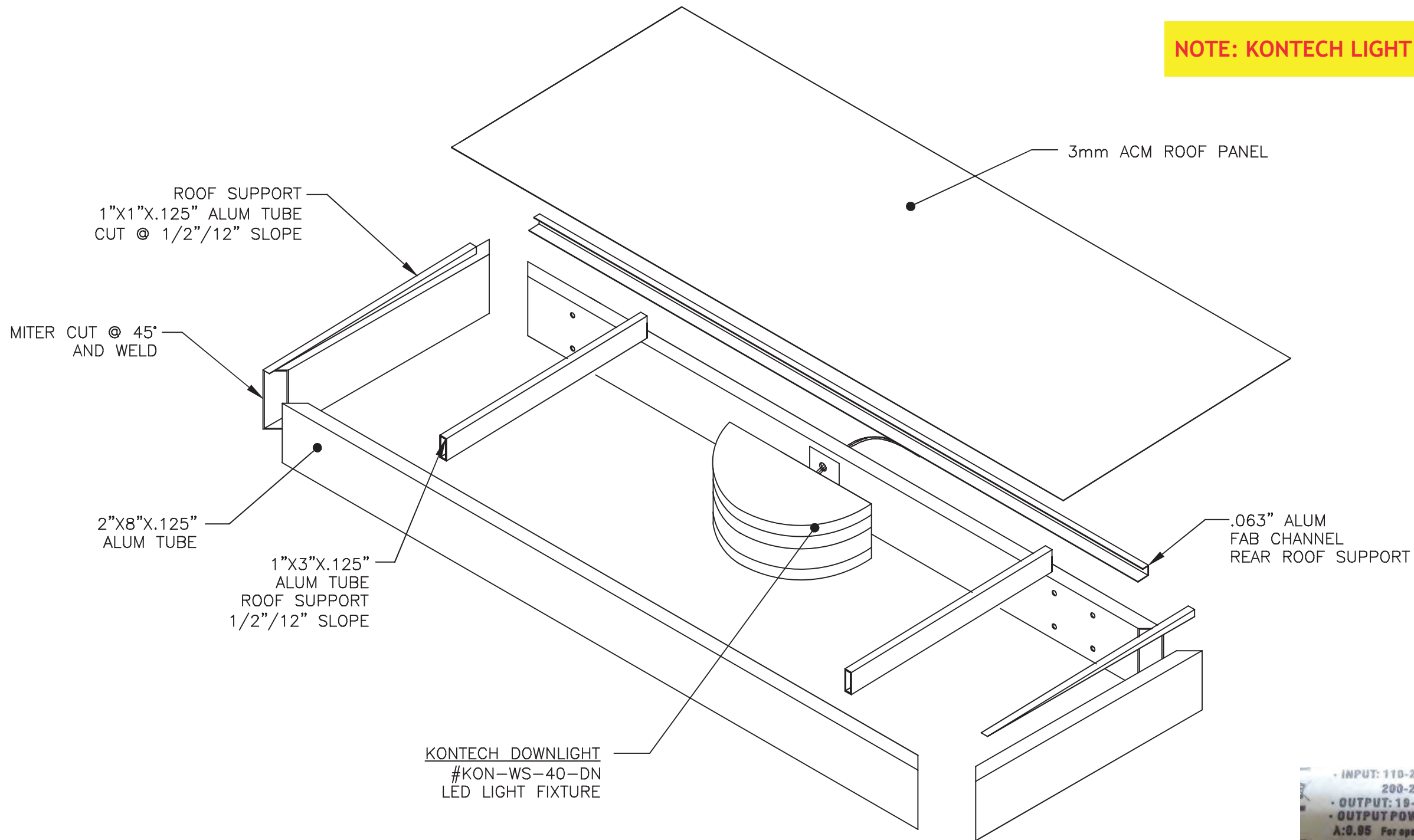
3/8"X3 1/2"
LAG SCREWS
4' OC

EXT. WALL

SECTION DETAIL

Scale: NTS

NOTE: KONTECH LIGHT TO SHIP SEPARATELY.

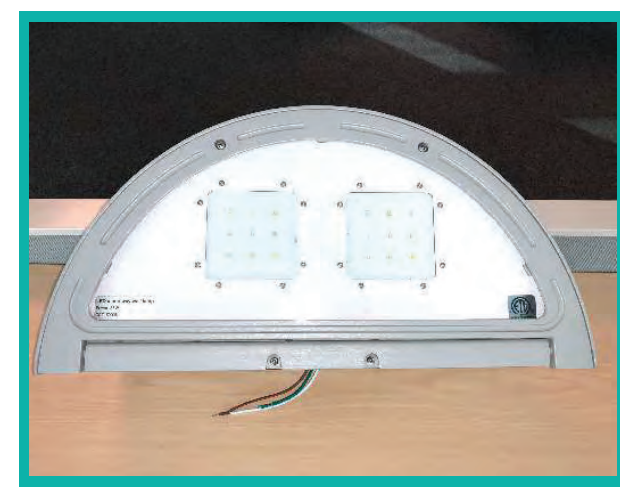
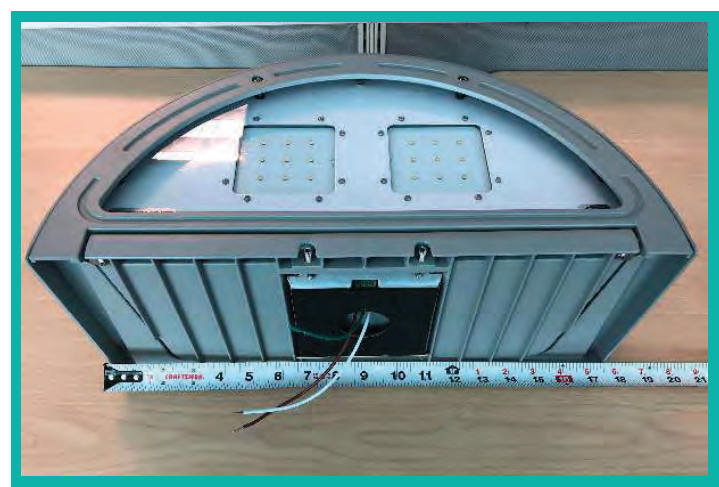


LIGHTING:

RADIUS HALF MOON LED SCONCE
5400 LUMEN
5000K

9" DEEP 17½" WIDTH X 7" HEIGHT
PAINT TO MATCH PMS 3564C ORANGE

POWER REQUIREMENT 110-240 VAC .5AMP (TOTAL 3 AMP)



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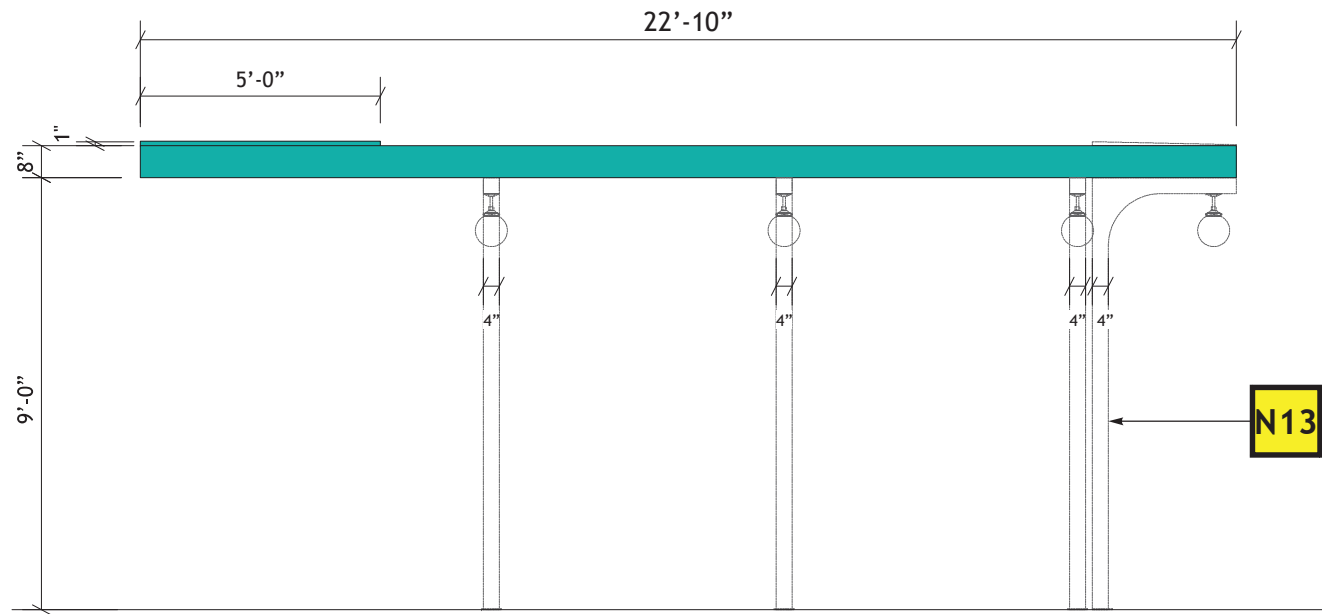
PROJECT MANAGER
Dave P.

DESIGNER:
ED

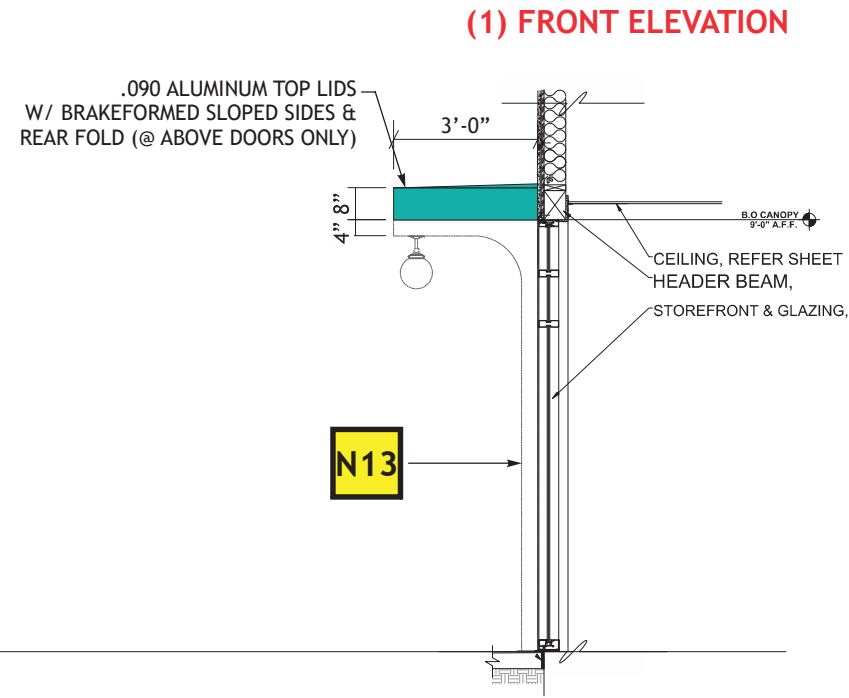
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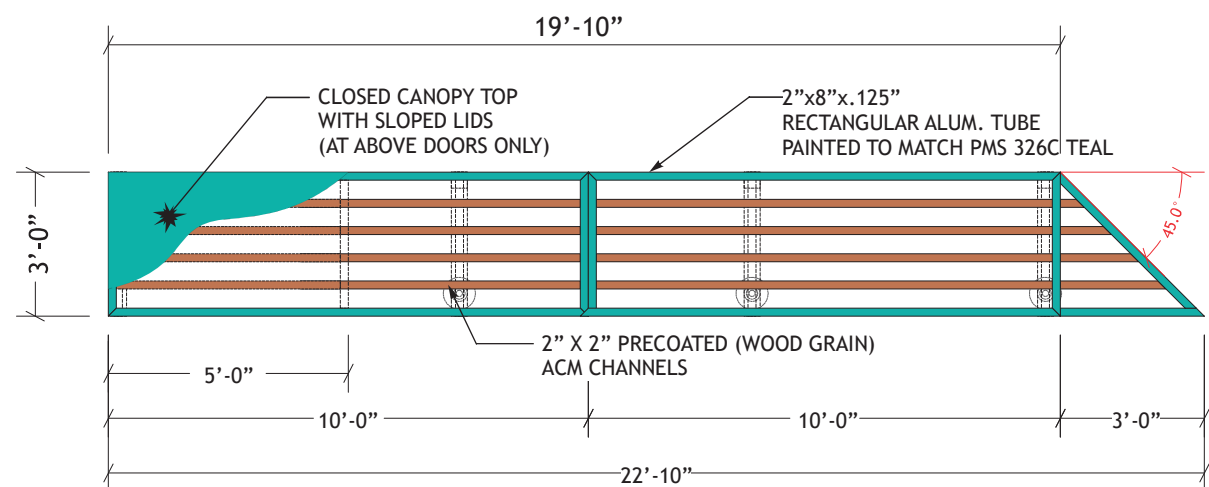
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N11 OPEN SLAT CANOPY FRONT VIEW **QTY: 1**
SCALE: 1/4" = 1'-0"



2 CANOPY END VIEW SCALE: 1/4" = 1'-0"



3 OPEN SLAT CANOPY TOP VIEW SCALE: 1/4" = 1'-0"

SPECIFICATIONS:

1. 2" X 8" ALUMINUM RECT. TUBE CANOPY FRAME
2. .090" ALUMINUM CANOPY TOP LIDS
3. PAINT: - EXT. RECT. CANOPY STRUCTURE PTM - PMS 326 C TEAL
- ALUMINUM ROOF PANEL PTM - PMS 326 C TEAL
4. LIGHTING - 8" 4000K LED LIGHT GLOBE FIXTURE

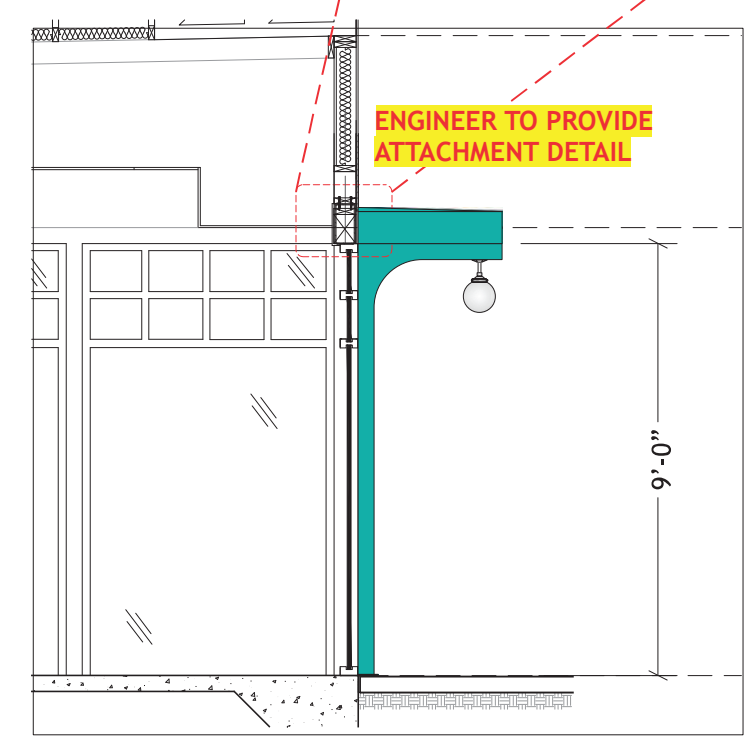
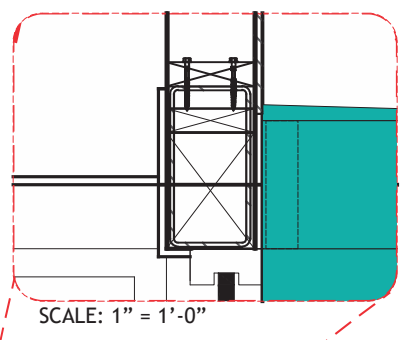
NOTES:

ELECTRICAL COMPONENTS TO BE UL LISTED AND INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE (NEC)
ALL WIRING SHALL BE 12 GA
(1) 20 AMP-120V CIRCUIT TO BE BROUGHT TO JOB SITE BY LICENCED ELECTRICIAN.
ALL SIGNAGE WILL BE UL2161 COMPLIANT AND CARRY UL LABELS.

COLOR

PMS 326 C TEAL

NOTE: ADD SILICONE SEALANT TO ALL SEAMS ON TOP OF THE CANOPIES.



4 CANOPY (SHOWN ATTACHED ON BUILDING SECTION) END VIEW SCALE: 1/4" = 1'-0"

	THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES.
ELECTRIC SIGN SECTION	THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



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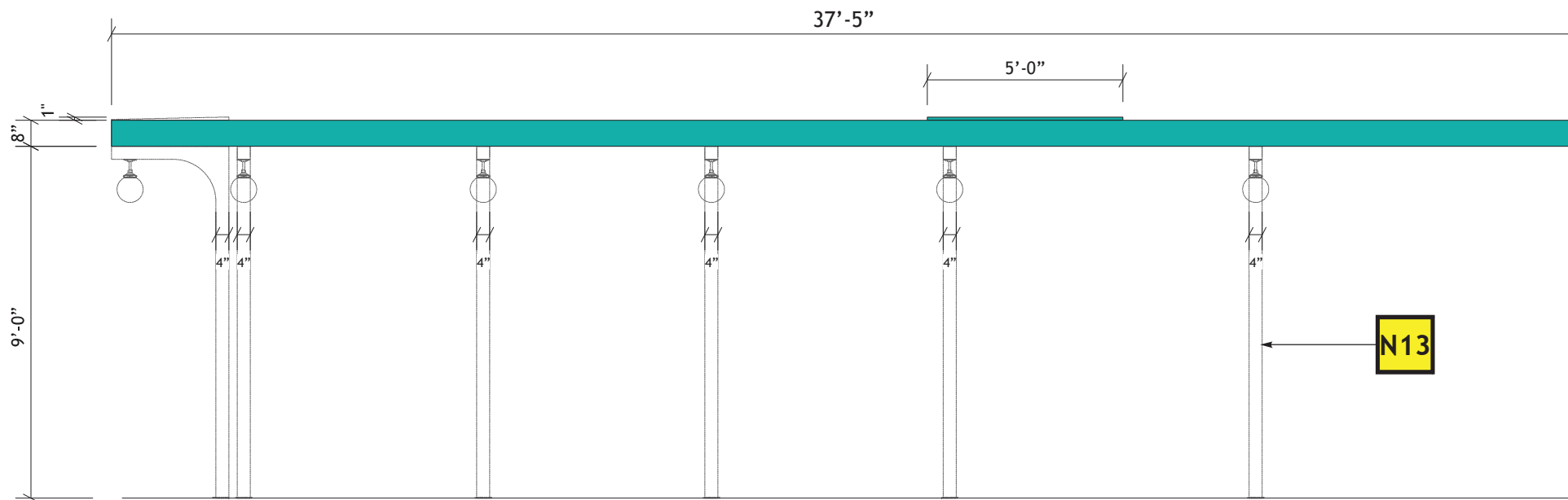
PROJECT MANAGER
Dave P.

DESIGNER:
ED

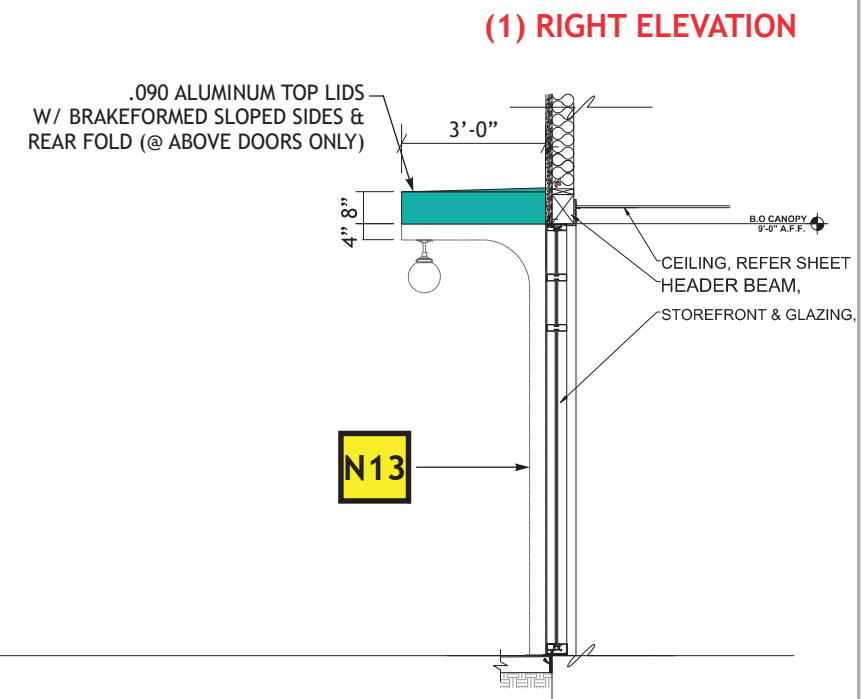
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Raul D.

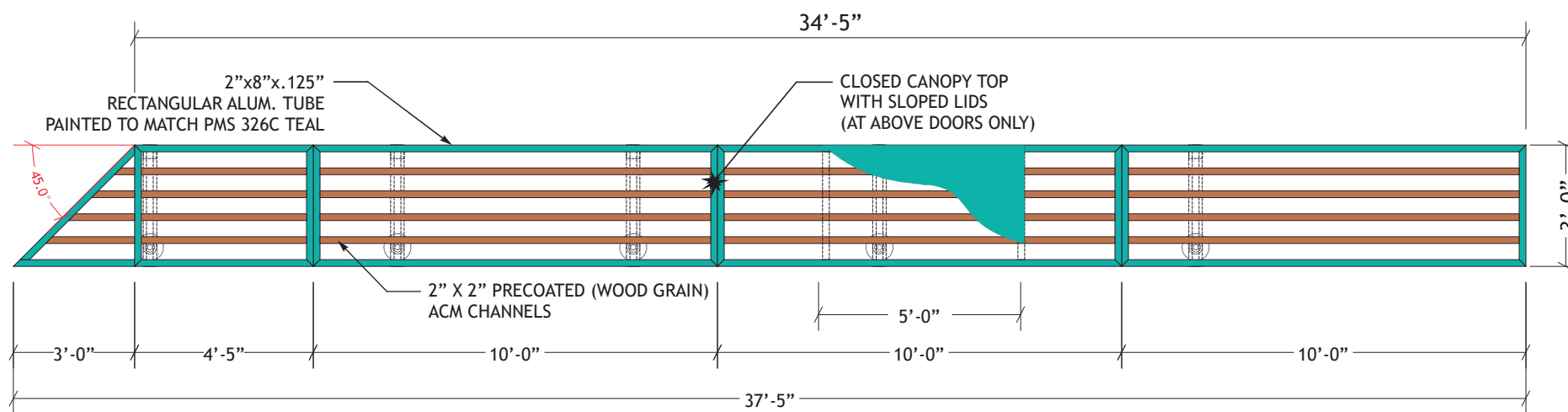
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N12 OPEN SLAT CANOPY FRONT VIEW QTY: 1 SCALE: 1/4" = 1'-0"



2 CANOPY END VIEW SCALE: 1/4" = 1'-0"



3 OPEN SLAT CANOPY TOP VIEW SCALE: 1/4" = 1'-0"

SPECIFICATIONS

- 2" X 8" ALUMINUM RECT. TUBE CANOPY FRAME
- .090" ALUMINUM CANOPY TOP LIDS
- PAINT: - EXT. RECT. CANOPY STRUCTURE PTM - PMS 326 C TEAL
- ALUMINUM ROOF PANEL PTM - PMS 326 C TEAL
- LIGHTING - 8" 4000K LED LIGHT GLOBE FIXTURE

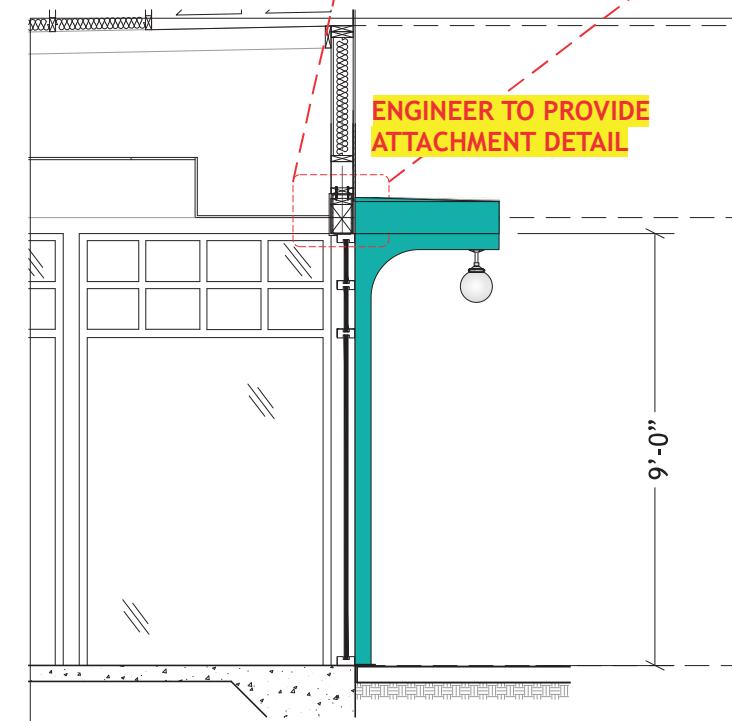
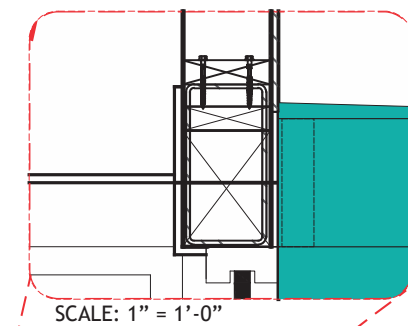
NOTES:

ELECTRICAL COMPONENTS TO BE UL LISTED AND INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE (NEC)
ALL WIRING SHALL BE 12 GA
(1) 20 AMP-120V CIRCUIT TO BE BROUGHT TO JOB SITE BY LICENCED ELECTRICIAN.
ALL SIGNAGE WILL BE UL2161 COMPLIANT AND CARRY UL LABELS.

COLOR

PMS 326 C TEAL

NOTE: ADD SILICONE SEALANT TO ALL SEAMS ON TOP OF THE CANOPIES.



4 CANOPY (SHOWN ATTACHED ON BUILDING SECTION) END VIEW SCALE: 1/4" = 1'-0"



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W Higgins Rd.
Des Plaines, IL 60018

Approval Signature

DATE:

07/18/2023

PROJECT MANAGER

Dave P.

DESIGNER:

ED

REVISION DATE:

08/25/2023

REVISION BY:

Raul D.



ELECTRIC SIGN SECTION

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES.

THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

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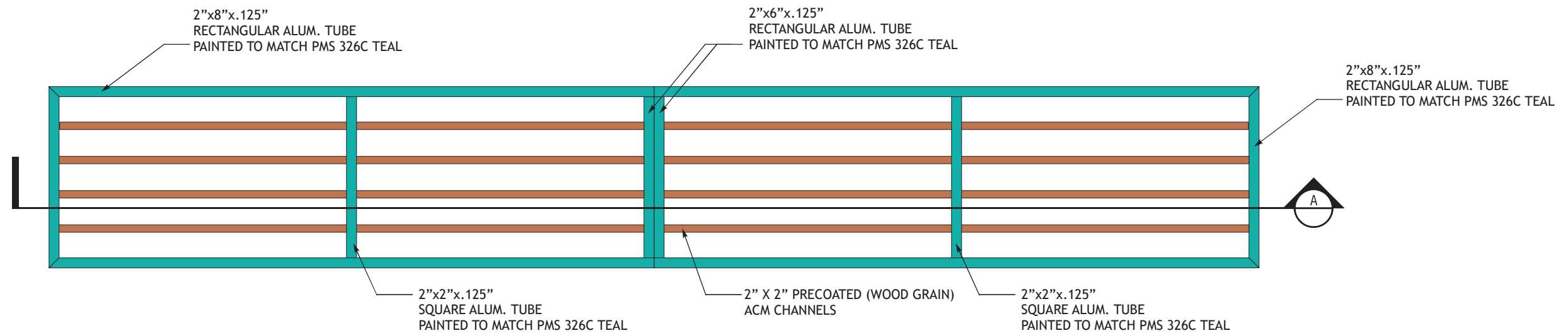
REVISION DATE:

08/25/2023

REVISION BY:

Raul D.

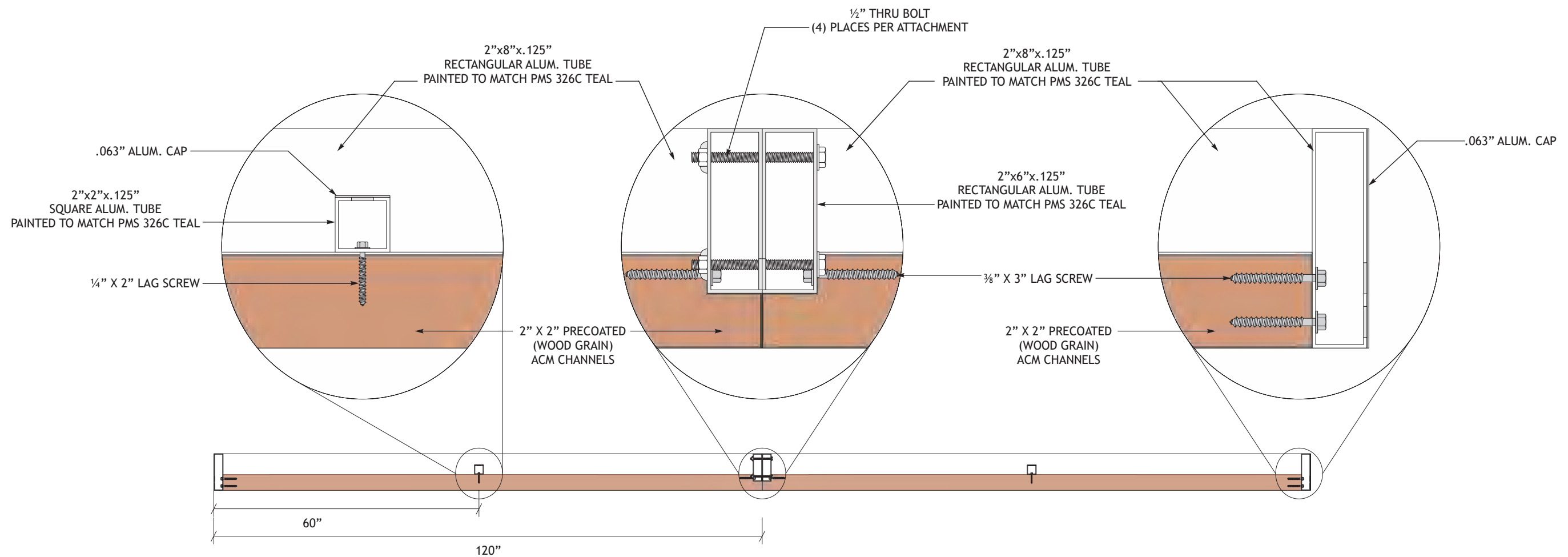
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OPEN SLAT CANOPY DETAIL

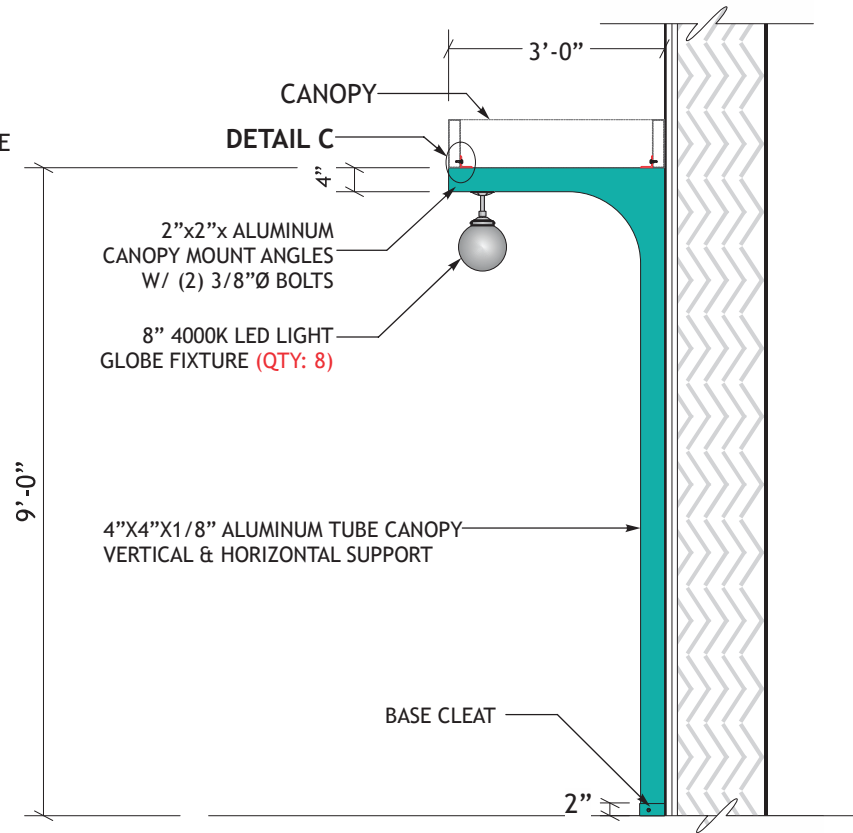
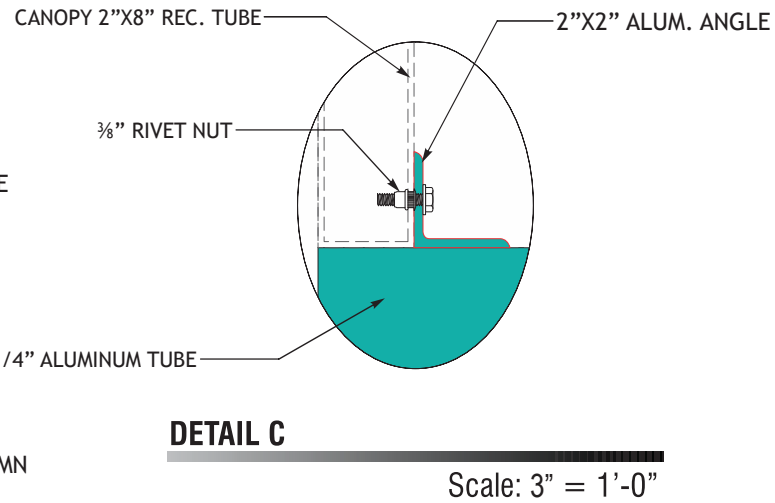
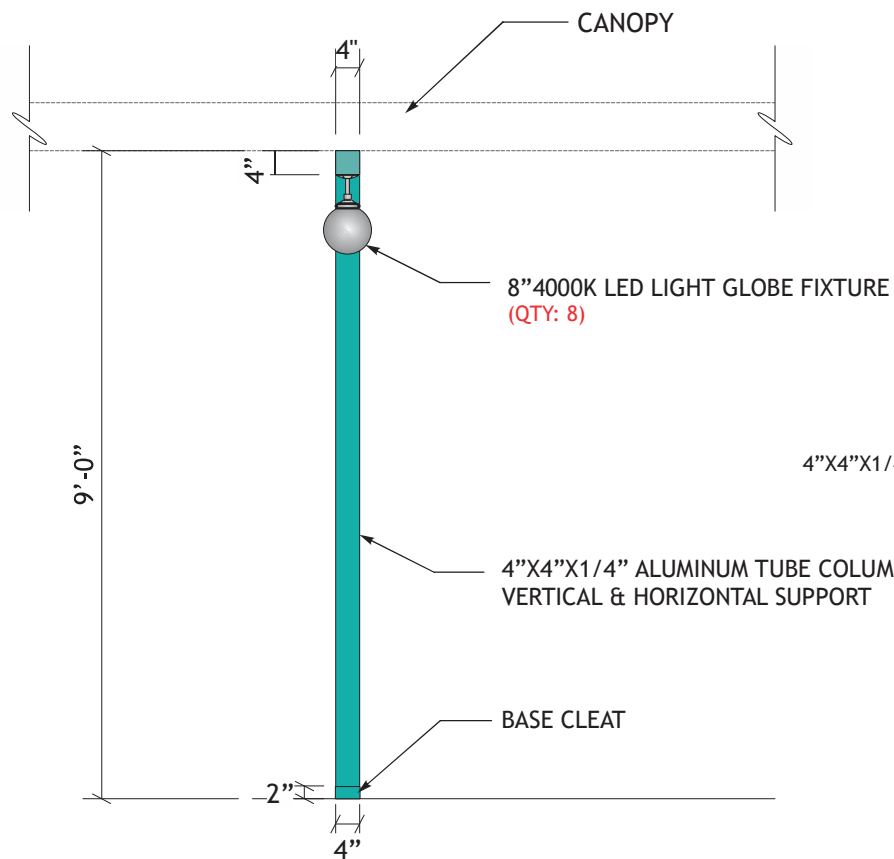
TOP VIEW

SCALE: 1/2" = 1'-0"



SECTION DETAIL

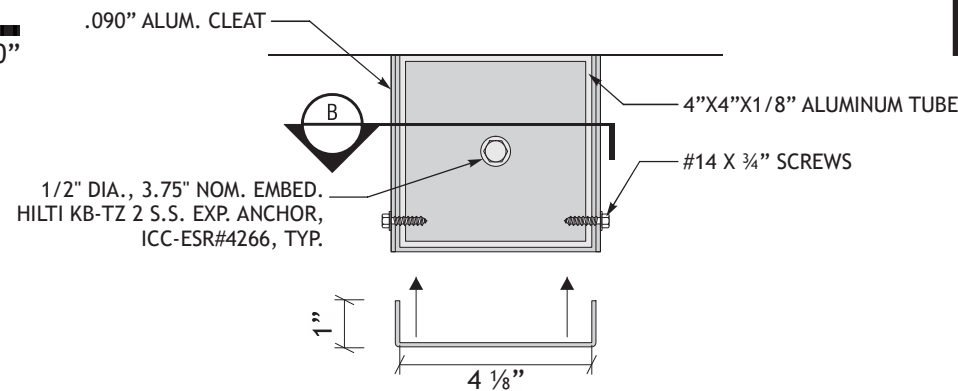
Scale: 1/2" = 1'-0"



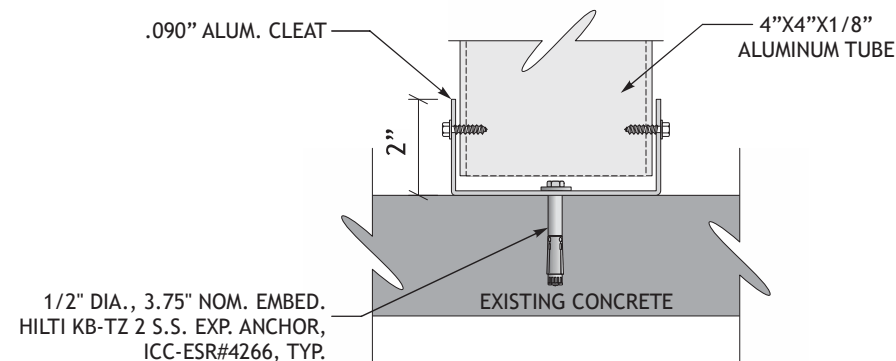
N13 CANOPY VERTICAL & HORIZONTAL SUPPORT
 FRONT VIEW QTY: 8 TOTAL SCALE: 3/8" = 1'-0"

2 CANOPY VERTICAL & HORIZONTAL SUPPORT
 END VIEW SCALE: 3/8" = 1'-0"

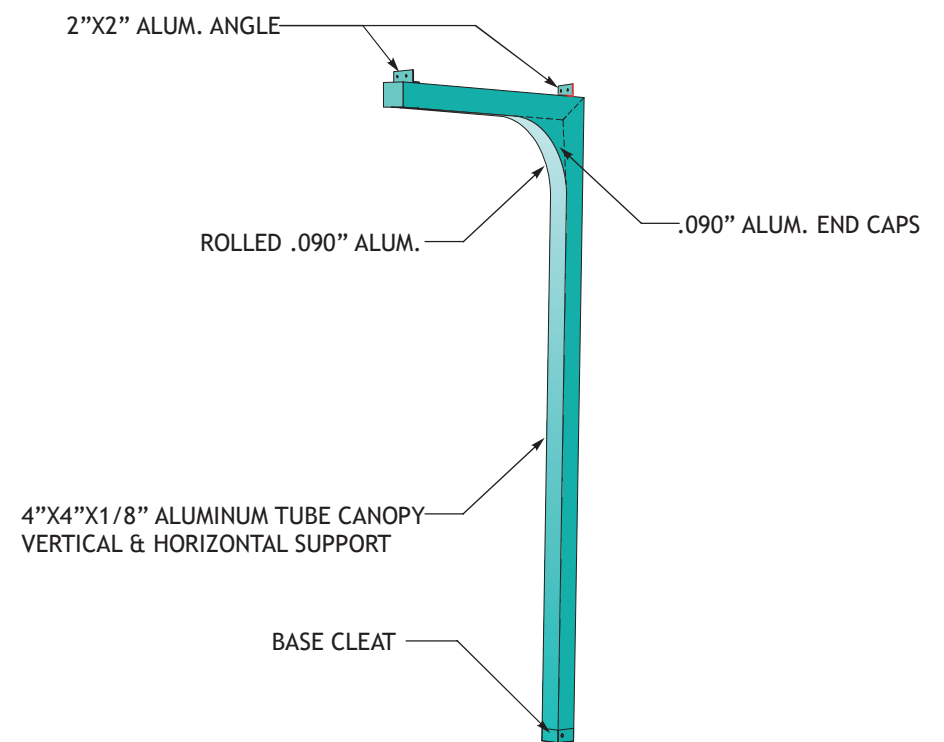
COLOR
 PMS 326 C TEAL



A SECTION DETAIL (BASE CLEAT)
 Scale: 3" = 1'-0"



B SECTION DETAIL (BASE CLEAT)
 Scale: 3" = 1'-0"



ISOMETRIC VIEW



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DESIGNER:

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REVISION BY:

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NOTE: WHITE SPACES ARE VOIDS.



N14 N17

.090" Pop Chicken Symbol w/ applied vinyl 3M™ DI-NOC™ Arch Finishes Wood Grain WG-1142

N15 N18

1" x 1" x 1/8" aluminum square tubing frame paint to match PMS 3564 C

N16

COLOR SPECIFICATIONS:

 PMS 3564 C - 3M 3630-84 TANGERINE

SCOPE OF WORK:

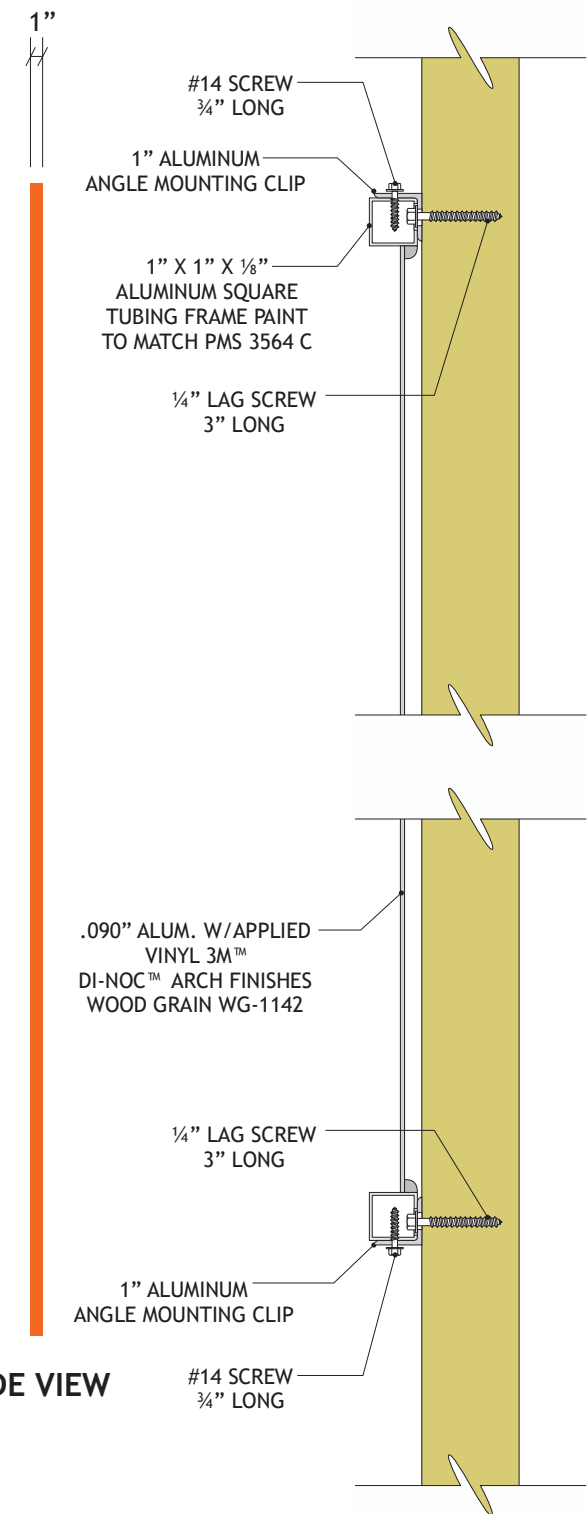
MANUFACTURE AND INSTALL (3) ABSTRACT POPPY WALL PANELS
1" X 1" X 1/8" ALUMINUM SQUARE TUBING FRAME
W/ VINYL 3M™ DI-NOC™ ARCH FINISHES WOOD GRAIN WG-1142

 **DECORATIVE SHUTTERS (WOOD GRAIN)**

FRONT VIEW & SIDE VIEW

Exhibit B

SIDE VIEW



SECTION DETAIL

Scale: 3" = 1'-0"

AREA: 32 SQ. FT. / EA

Scale: 3/4" = 1'-0"

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DESIGNER:

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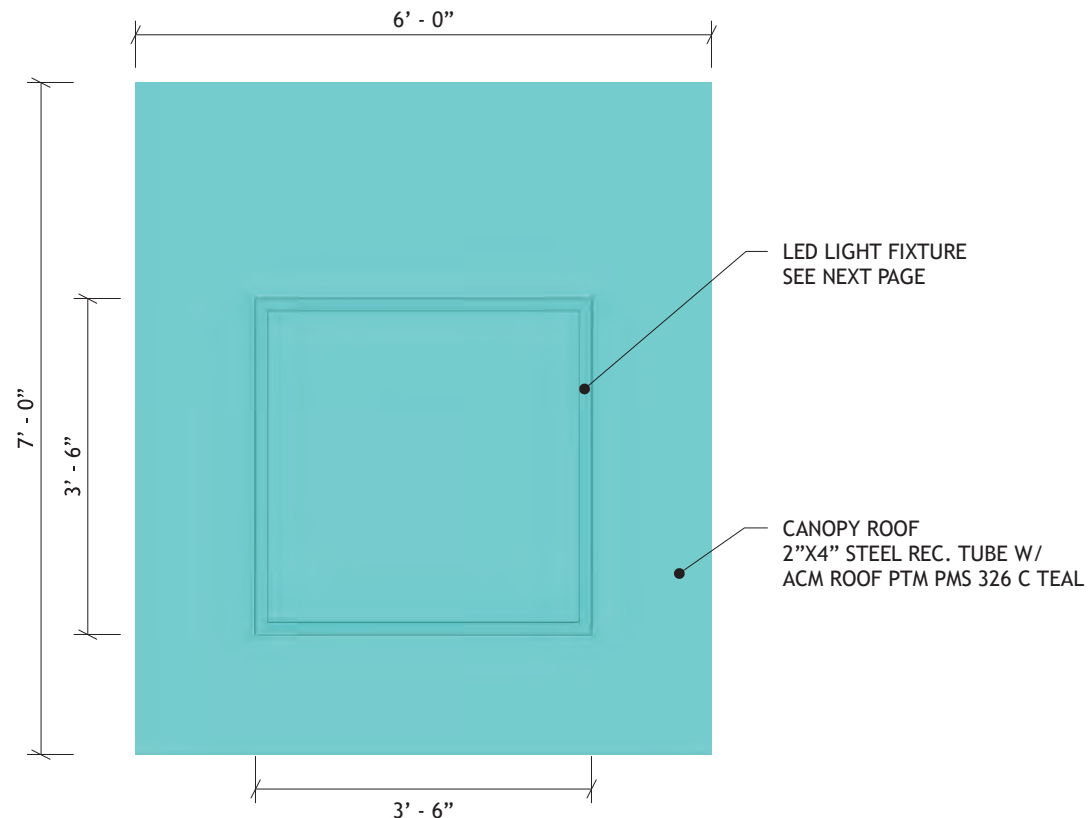
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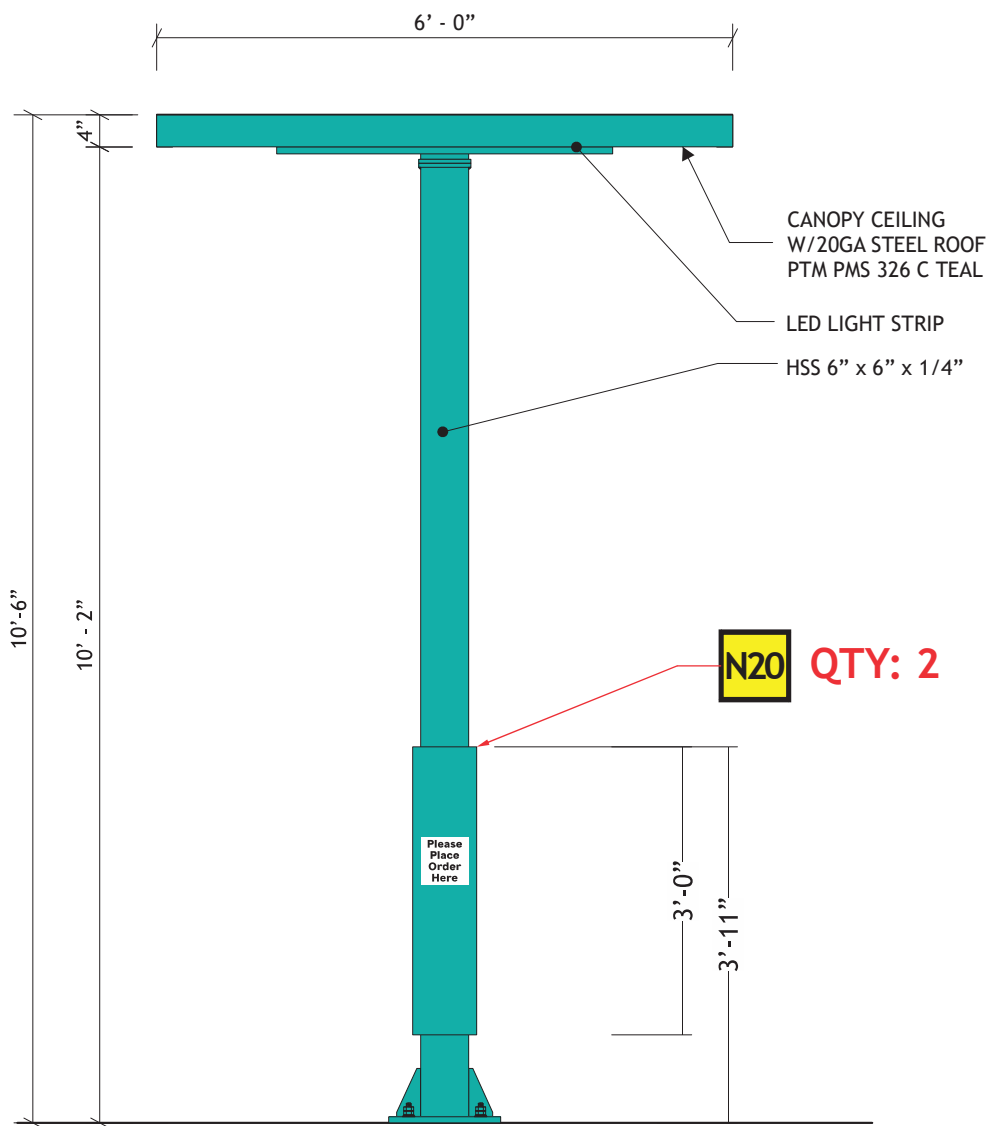
REVISION BY:

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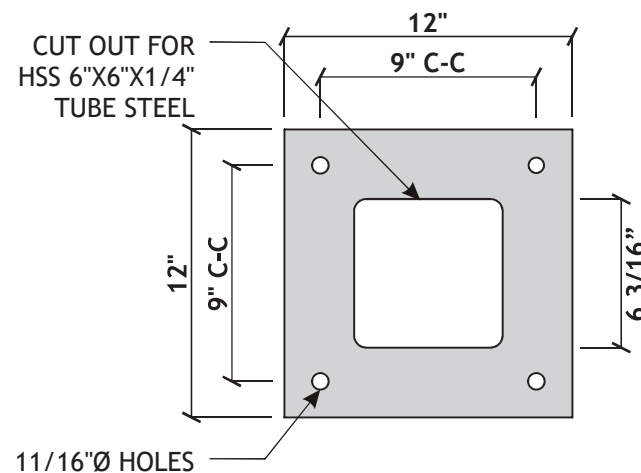
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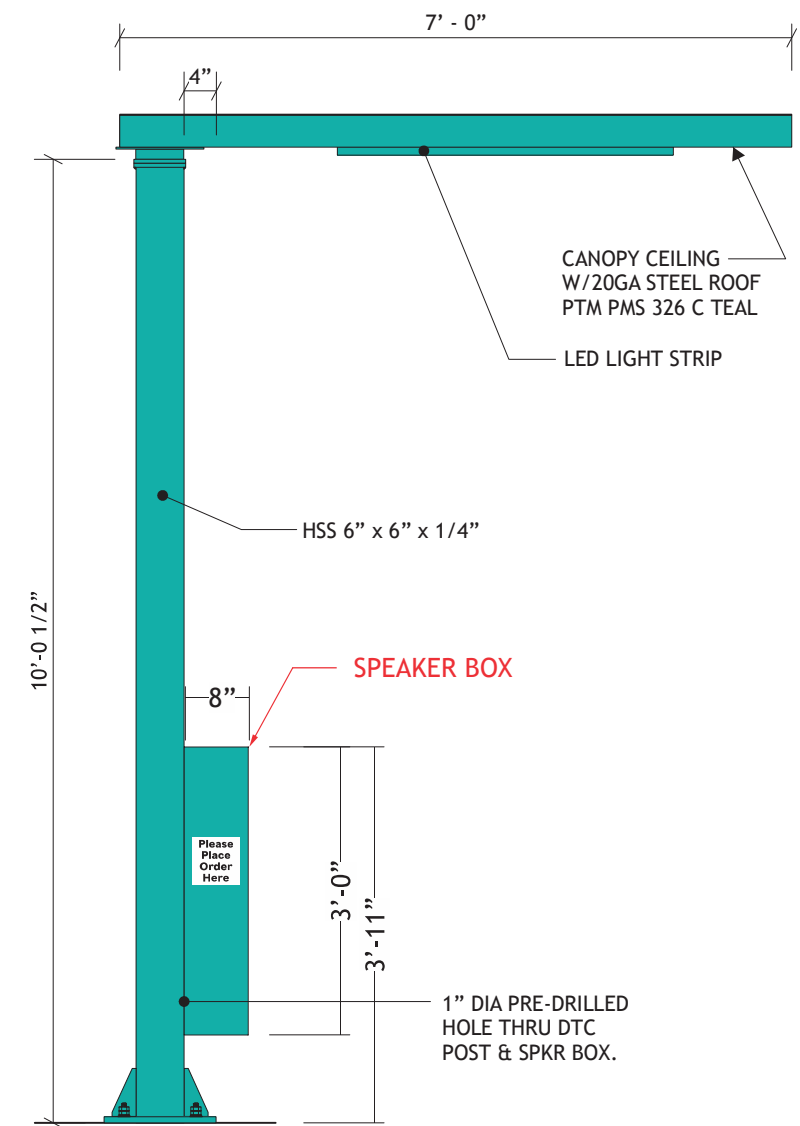
DRIVE-THRU CANOPY
TOP VIEW SCALE: 1/2" = 1'-0"



N19 DRIVE-THRU CANOPY FRONT VIEW QTY: 2
SCALE: 1/2" = 1'-0"
Exhibit B



1 3/4" THICK STEEL BASE PLATE
SCALE: 1 1/2" = 1'-0" (1) REQ'D PER SET



DRIVE-THRU CANOPY
SIDE VIEW SCALE: 1/2" = 1'-0"



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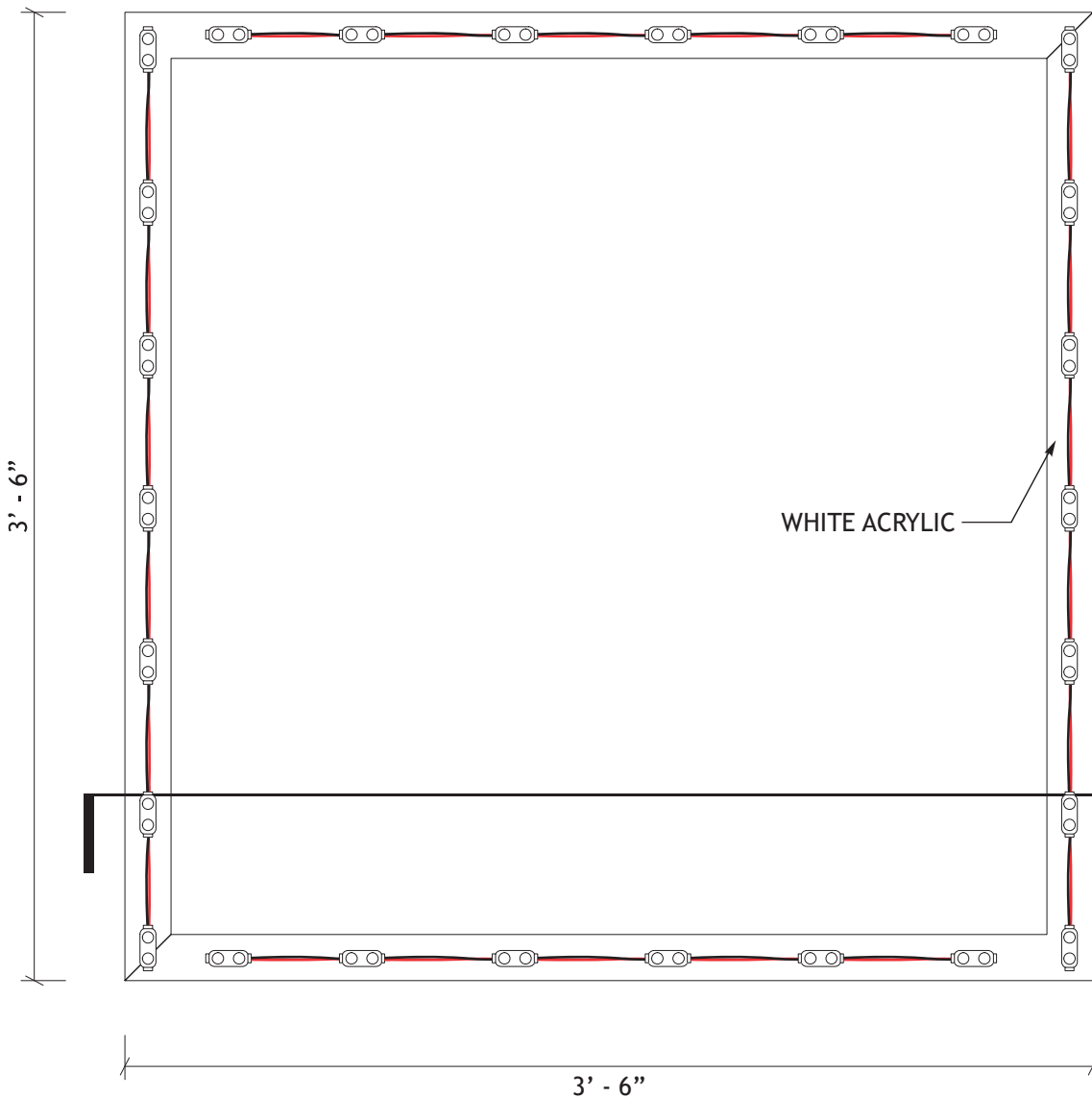
Raul D.

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3"

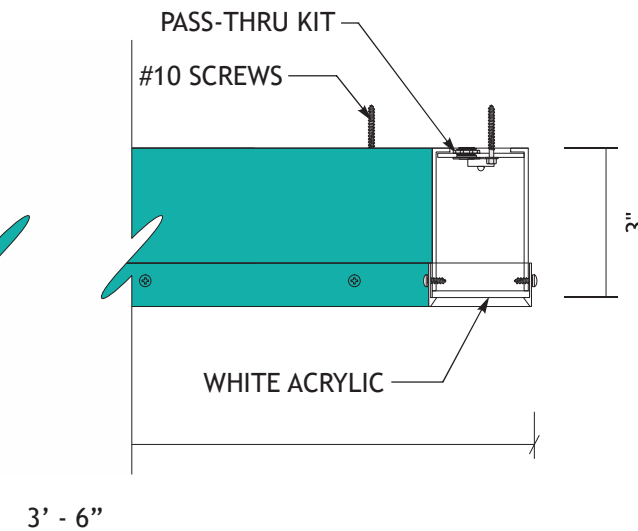
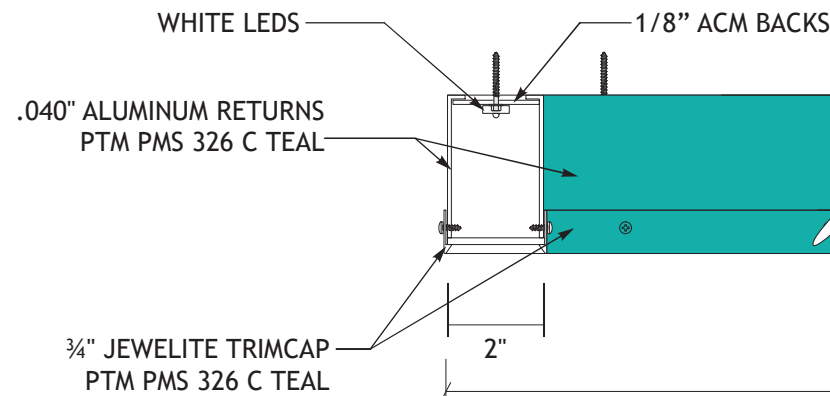
SIDE VIEW



WHITE ACRYLIC

3' - 6"

2"



3' - 6"

SECTION DETAIL

Scale: 3" = 1'-0"

ELECTRICAL SPECIFICATIONS:

(26) WHITE LED MODULES @ 0.72W EA= 18.72 W TOTAL

(1) 12V 35W POWER SUPPLIES @ 1.1 AMPS EA.

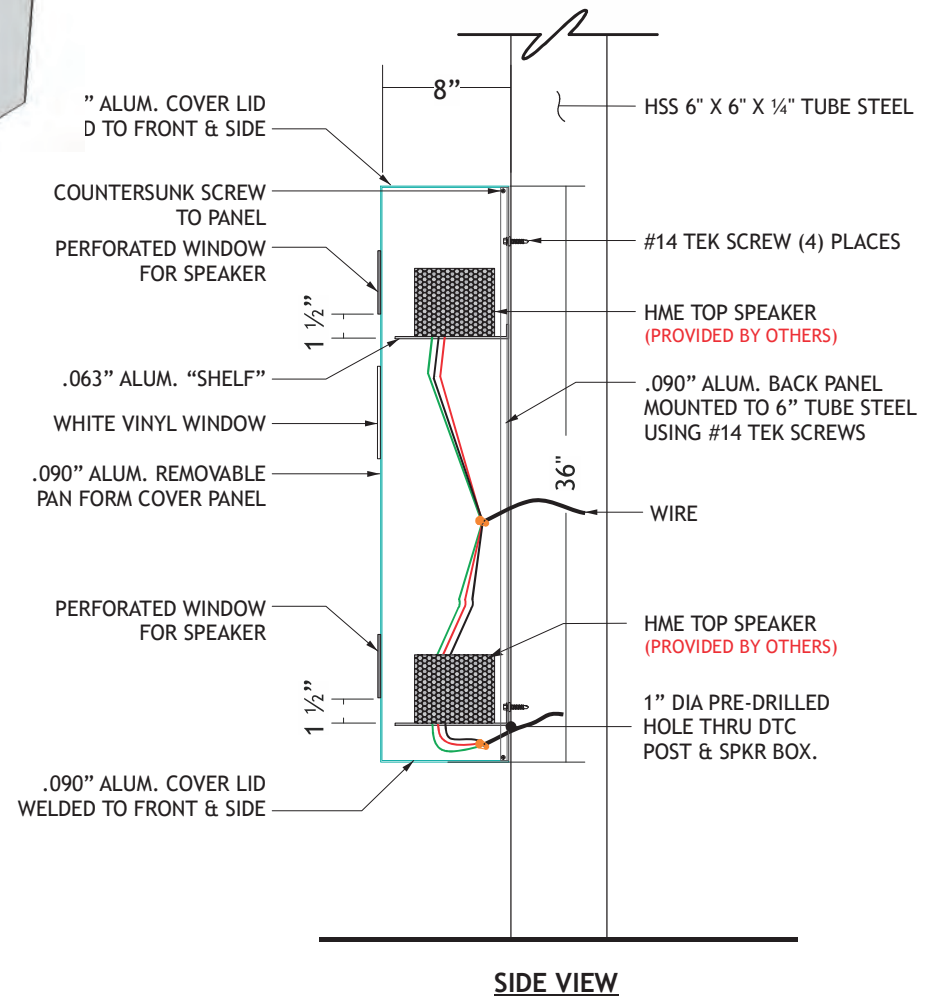
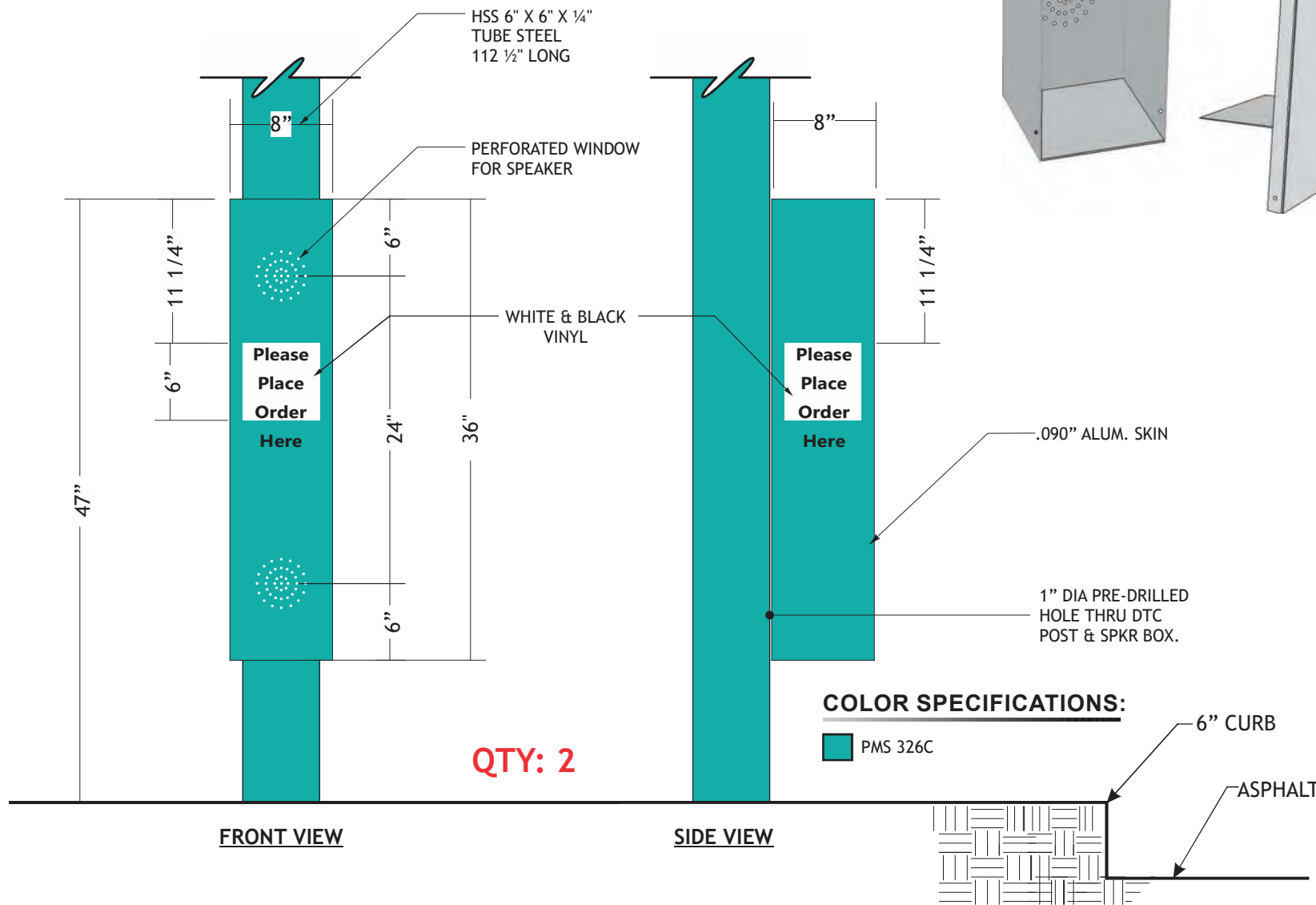
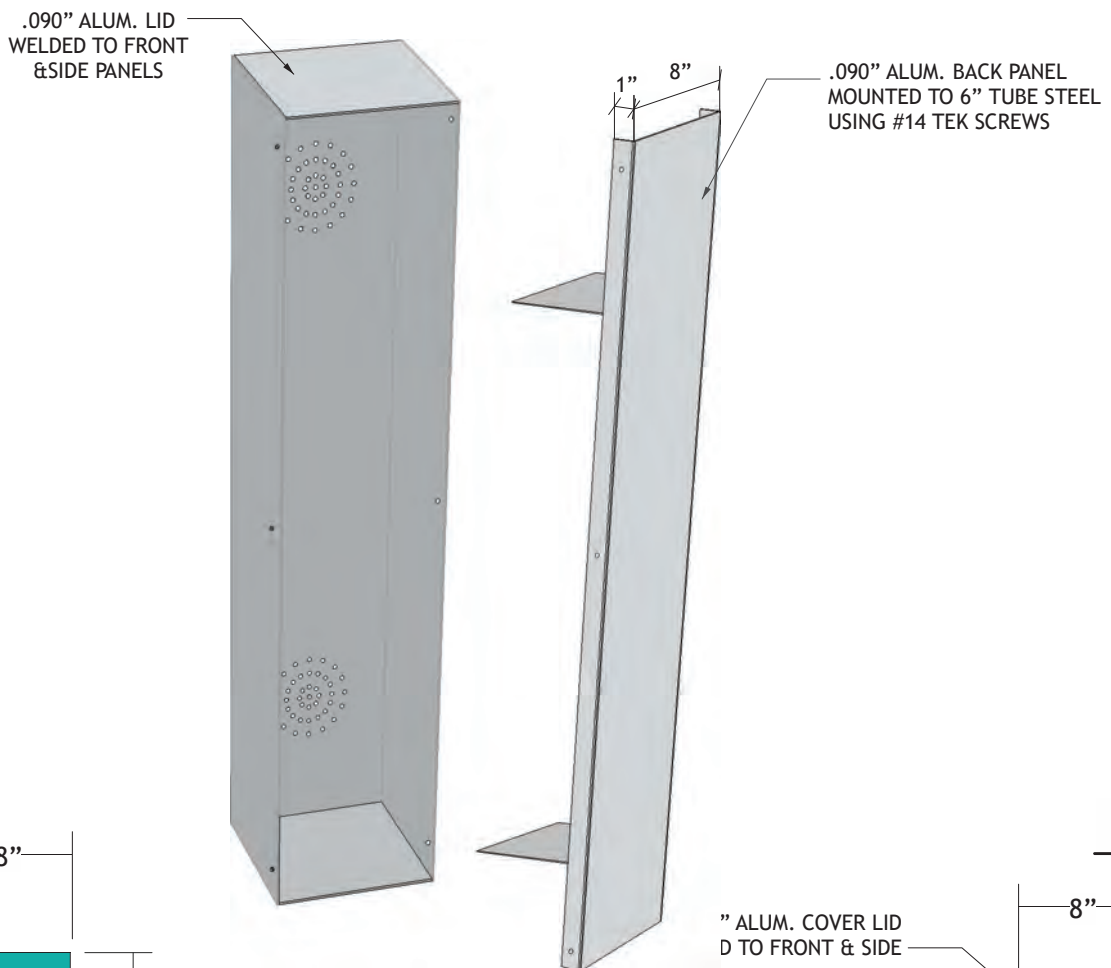
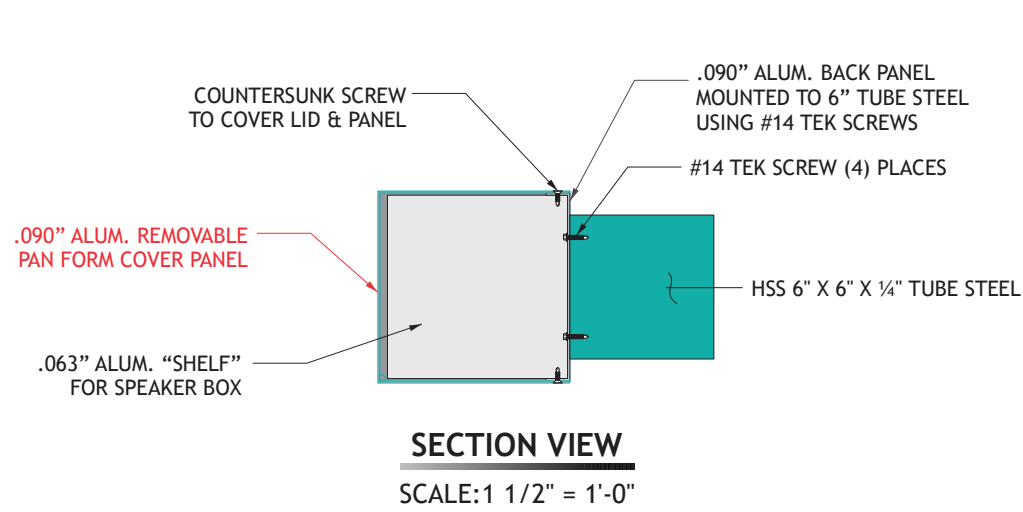
(1) CUSTOMER PROVIDED 120V/20A/60HZ
DEDICATED CIRCUIT REQUIRED

**TOTAL CIRCUIT LOAD:
1.1 AMPS @ 120 VAC**

(26) MODULES @ 110 LUMENS PER MODULE = 2860 LUMENS

DRIVE-THRU CANOPY CHANNEL LETTER LIGHT FIXTURE

SCALE: 1 1/2" = 1'-0"



N20 NON-ILLUMINATED SPEAKER POST

SCALE: 1 1/2" = 1'-0"



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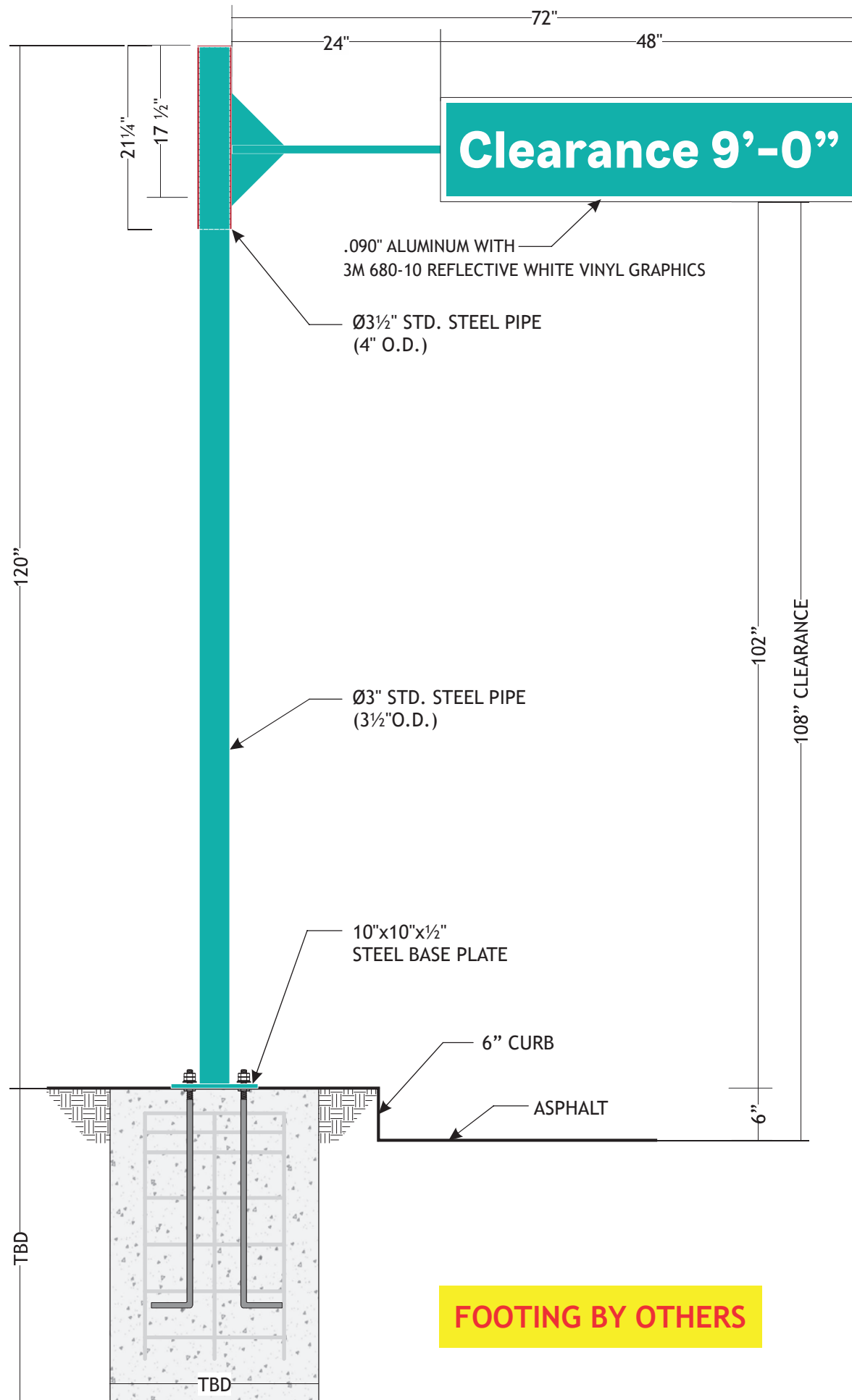
PROJECT MANAGER
Dave P.

DESIGNER:
ED

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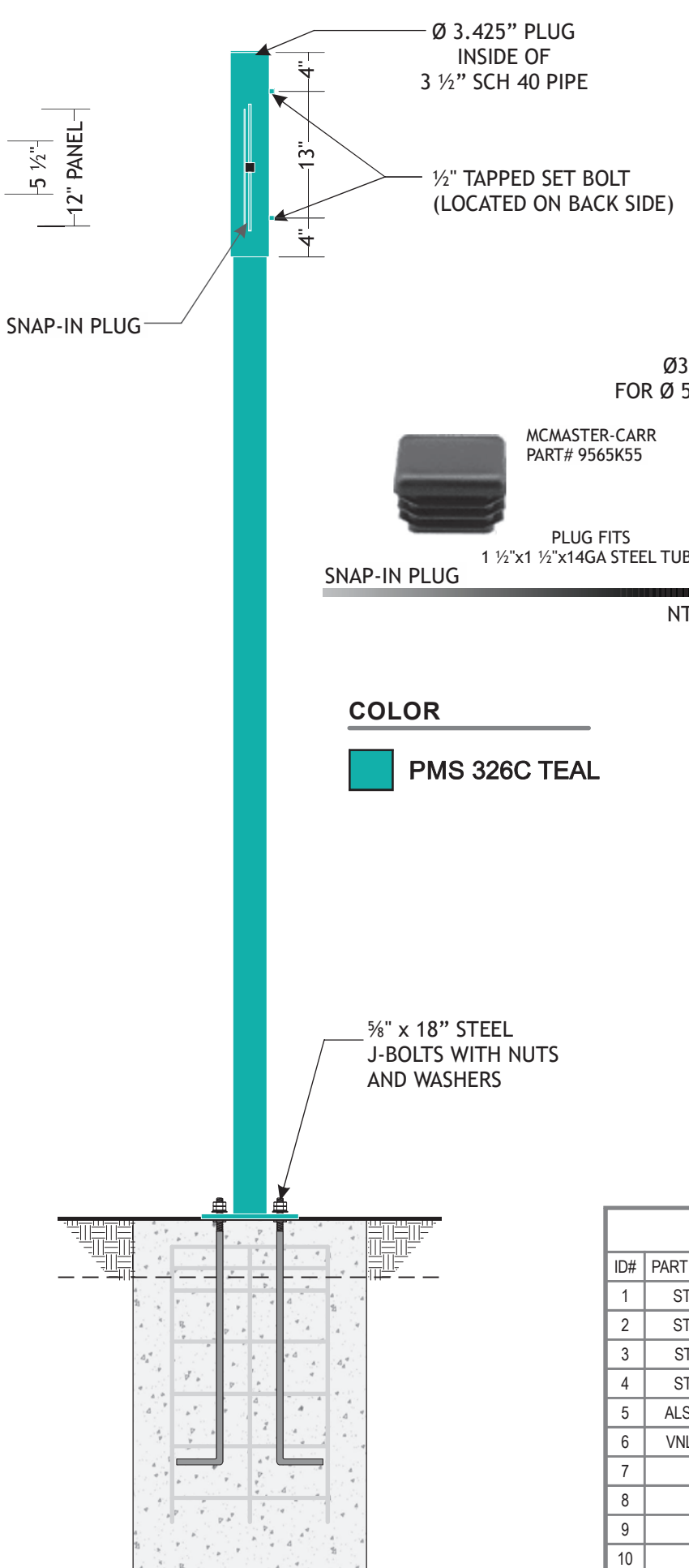
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FOOTING BY OTHERS

QTY: 2

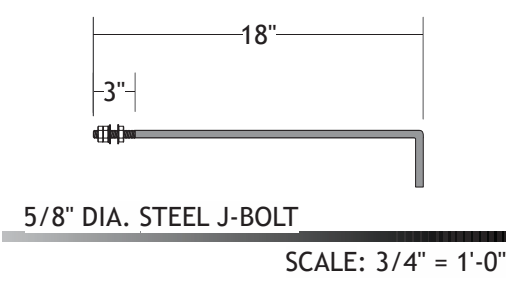
SCALE: 3/4" = 1'-0"



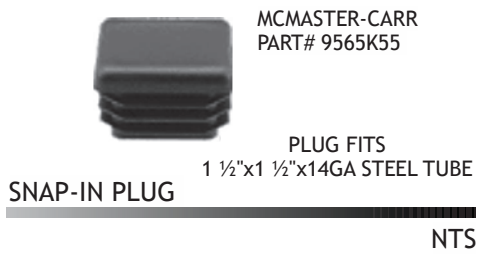
CLEARANCE BAR

SIDE VIEW

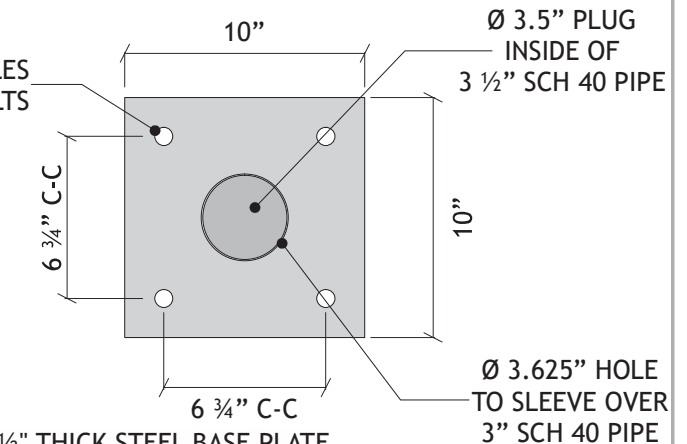
SCALE: 3/4" = 1'-0"



5/8" DIA. STEEL J-BOLT
SCALE: 3/4" = 1'-0"



SNAP-IN PLUG
MCMASTER-CARR PART# 9565K55
PLUG FITS 1 1/2"x1 1/2"x1/4" GA STEEL TUBE
NTS



Ø 3/4" HOLES FOR Ø 5/8" BOLTS
Ø 3.5" PLUG INSIDE OF 3 1/2" SCH 40 PIPE
6 3/4" C-C
10"
10"
6 3/4" C-C
Ø 3.625" HOLE TO SLEEVE OVER 3" SCH 40 PIPE
3
1/2" THICK STEEL BASE PLATE PATTERN
SCALE: 1 1/2" = 1'-0"

COLOR
PMS 326C TEAL

- SPECIFICATIONS:**
1. PANEL .090" ALUMINUM WITH 3M 680-10 REFLECTIVE WHITE VINYL GRAPHICS
 2. 1" TUBE STEEL HORIZONTAL ARM
 3. 3 1/2" SCH 40 ROUND PIPE SLEEVE, WITH CAP PLATE
 4. 3" SCH 40 ROUND PIPE MAIN SUPPORT
 5. 1/2"x10"x10" STEEL BASE PLATE
 6. 5/8"x18" STEEL J-BOLTS
 7. PAINT - PMS 326C TEAL

NOTE:
.125" ACM TEMPLATE OF BASE PLATE & J-BOLTS TO SHIP AHEAD OF PIPE.

BILL OF MATERIALS				
ID#	PART NUMBER	MATERIAL DESCRIPTION	QTY	UOM
1	STRP-13	3-1/2" Round Pipe, Schedule 40 X 20'	2	FT
2	STRP-03	3" Round Pipe, Schedule 40 X 20'	10	FT
3	STPL-04	1/2" X 48" X 96" Steel Plate	1	SF
4	STTS-02	1" Sq Tube Steel, Galvanized x 16GA x 20'	5	FT
5	ALS-090.02	.090" X 48" X 120" Mill Aluminum Sheet	4	SF
6	VNL-3M-41	680-10 X 48" Reflective White Vinyl	4	FT
7		5/8" X 18" STEEL J-BOLT	4	EA
8		5/8" SAE WASHER	8	EA
9		5/8" STEEL HEX NUT	8	EA
10		PAINT	0.10	GA



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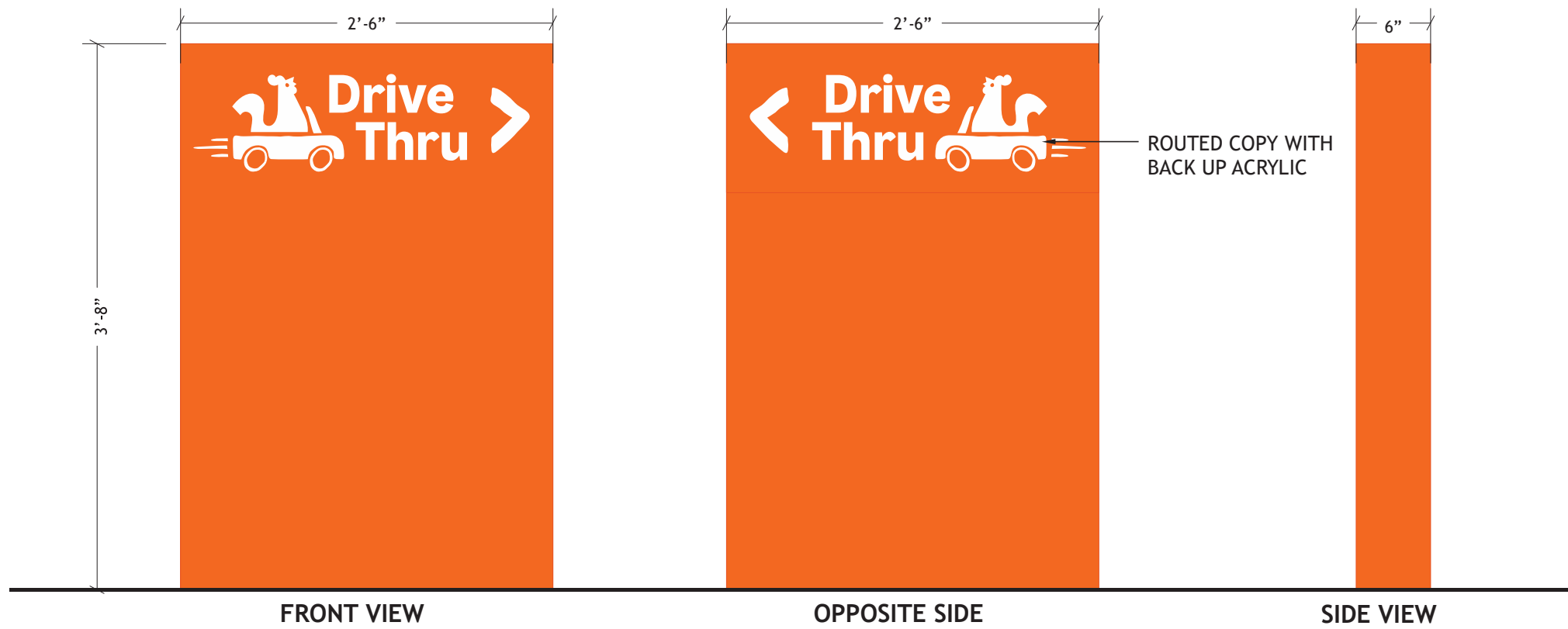
PROJECT MANAGER
Dave P.

DESIGNER:
ED

REVISION DATE:
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COLOR SPECIFICATIONS:

- PMS 3564 C - 3M 3630-84 TANGERINE
- WHITE - BACK SPRAYED PAINT

SPECIFICATIONS:

1. MONOLITHIC ALUMINUM LED ILLUMINATED CABINET PAINTED PMS 3564C - ORANGE. ROUTED OUT COPY W/ BACK UP ACRYLIC.
2. LIGHTING - WHITE LED



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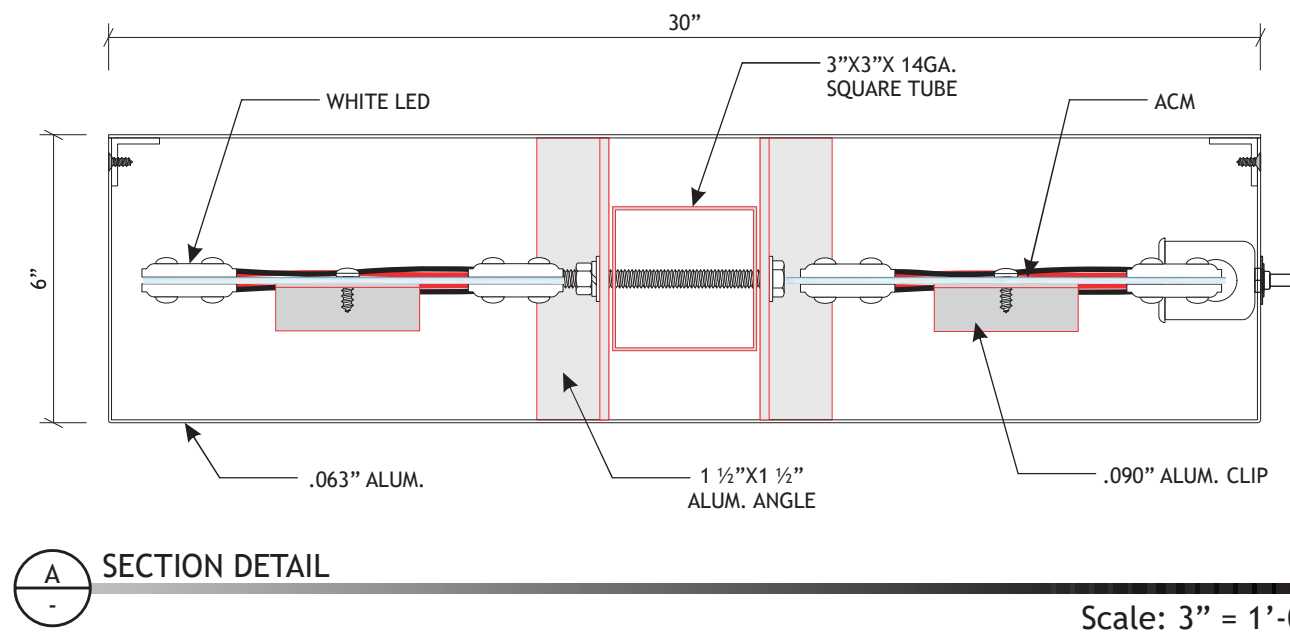
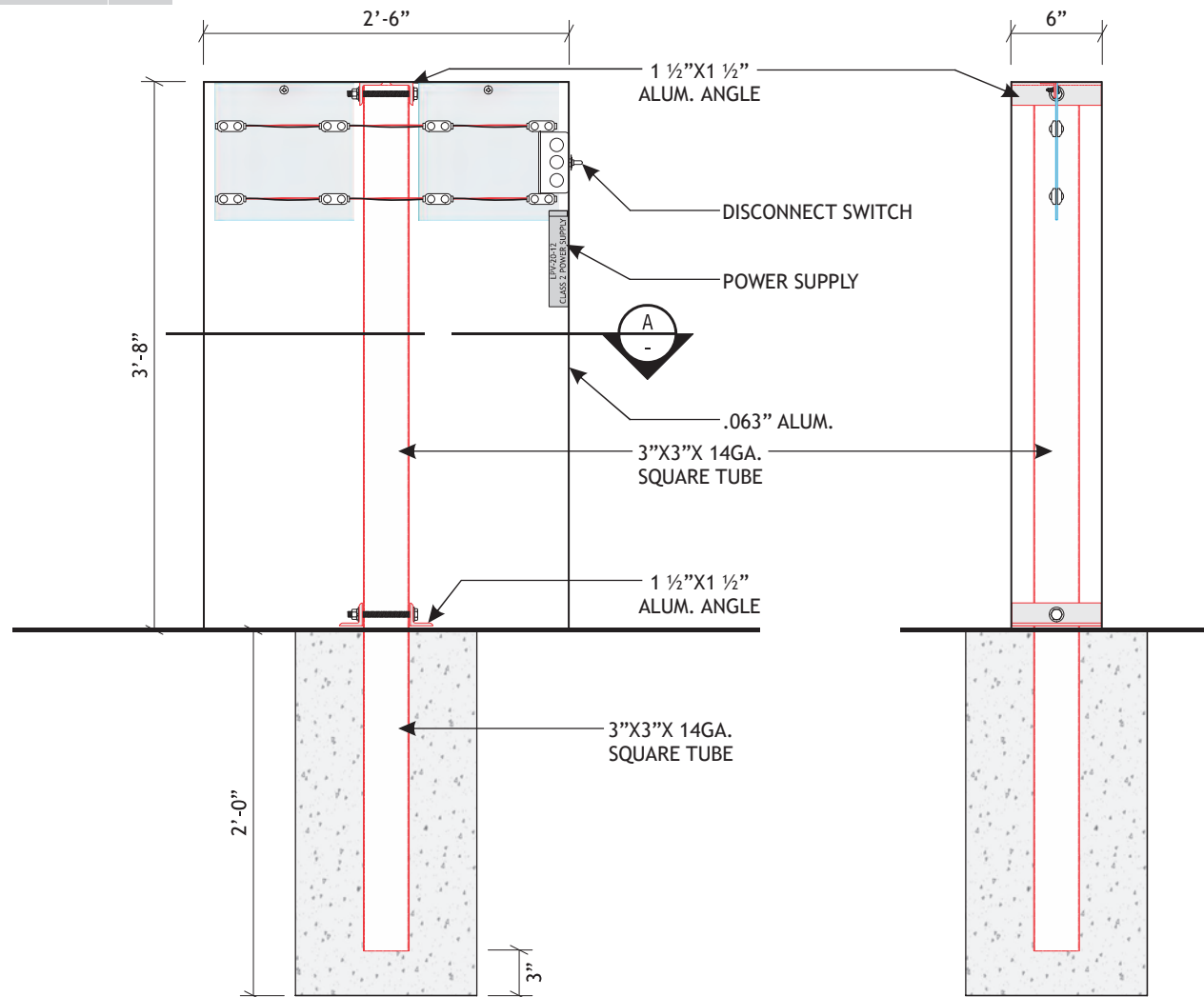
ILLUMINATED DIRECTIONAL SIGN

N22 N23 N24

QTY:(3)

SIGN AREA= 9.17 SQ.FT./EA

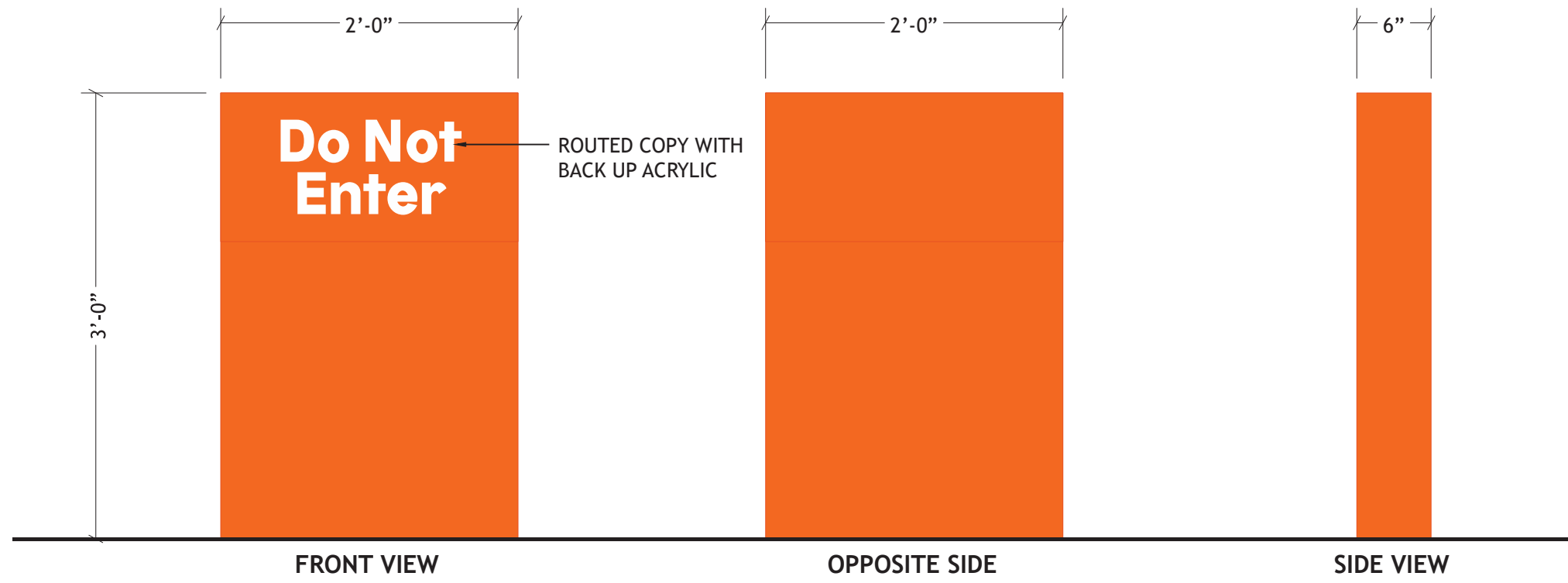
SCALE: 1" = 1'-0"



Scale: 3" = 1'-0"

ELECTRICAL SPECIFICATIONS:

- (16) WHITE LED MODULES @ 0.72W EA= 11.52W TOTAL
 - (1) 12V 20W POWER SUPPLIES @ .55 AMPS EA.
 - (1) CUSTOMER PROVIDED 120V/20A/60HZ DEDICATED CIRCUIT REQUIRED
- TOTAL CIRCUIT LOAD:
.55 AMPS @ 120 VAC**



COLOR SPECIFICATIONS:

- PMS 3564 C - 3M 3630-84 TANGERINE
- WHITE - BACK SPRAYED PAINT

SPECIFICATIONS:

1. MONOLITHIC ALUMINUM LED ILLUMINATED CABINET PAINTED PMS 3564C - ORANGE. ROUTED OUT COPY W/ BACK UP ACRYLIC.
2. LIGHTING - WHITE LED



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DESIGNER:

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REVISION DATE:

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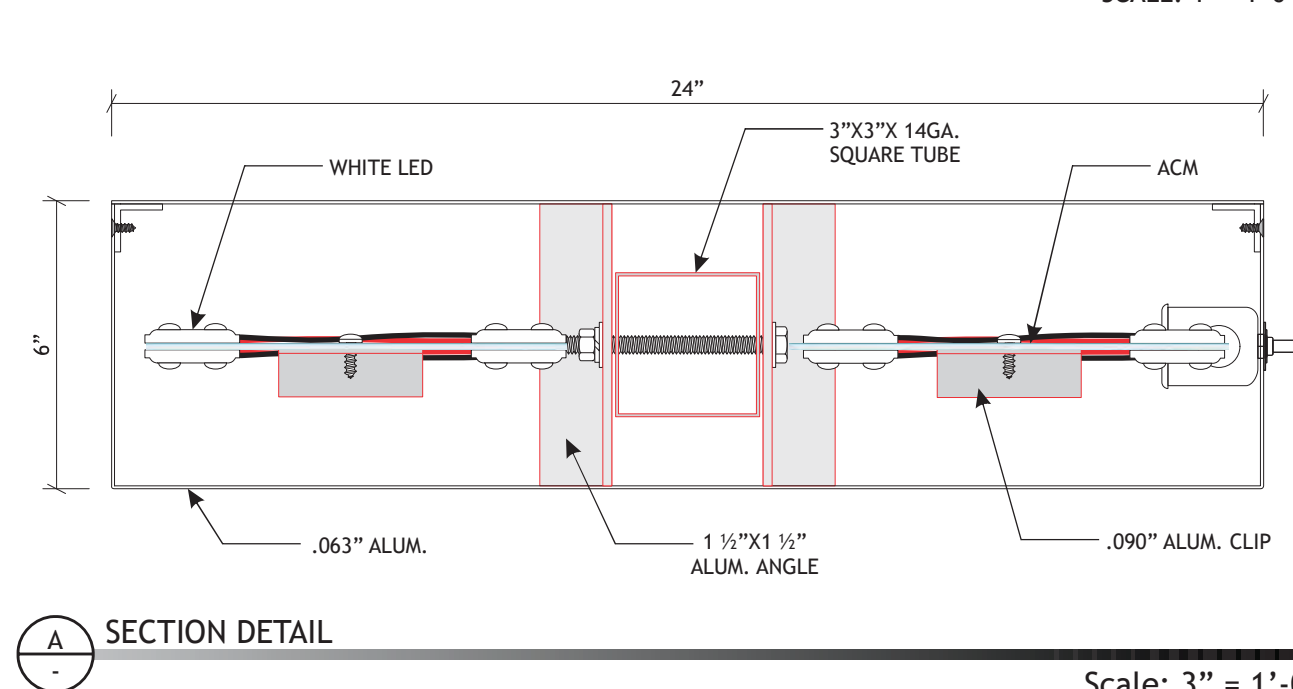
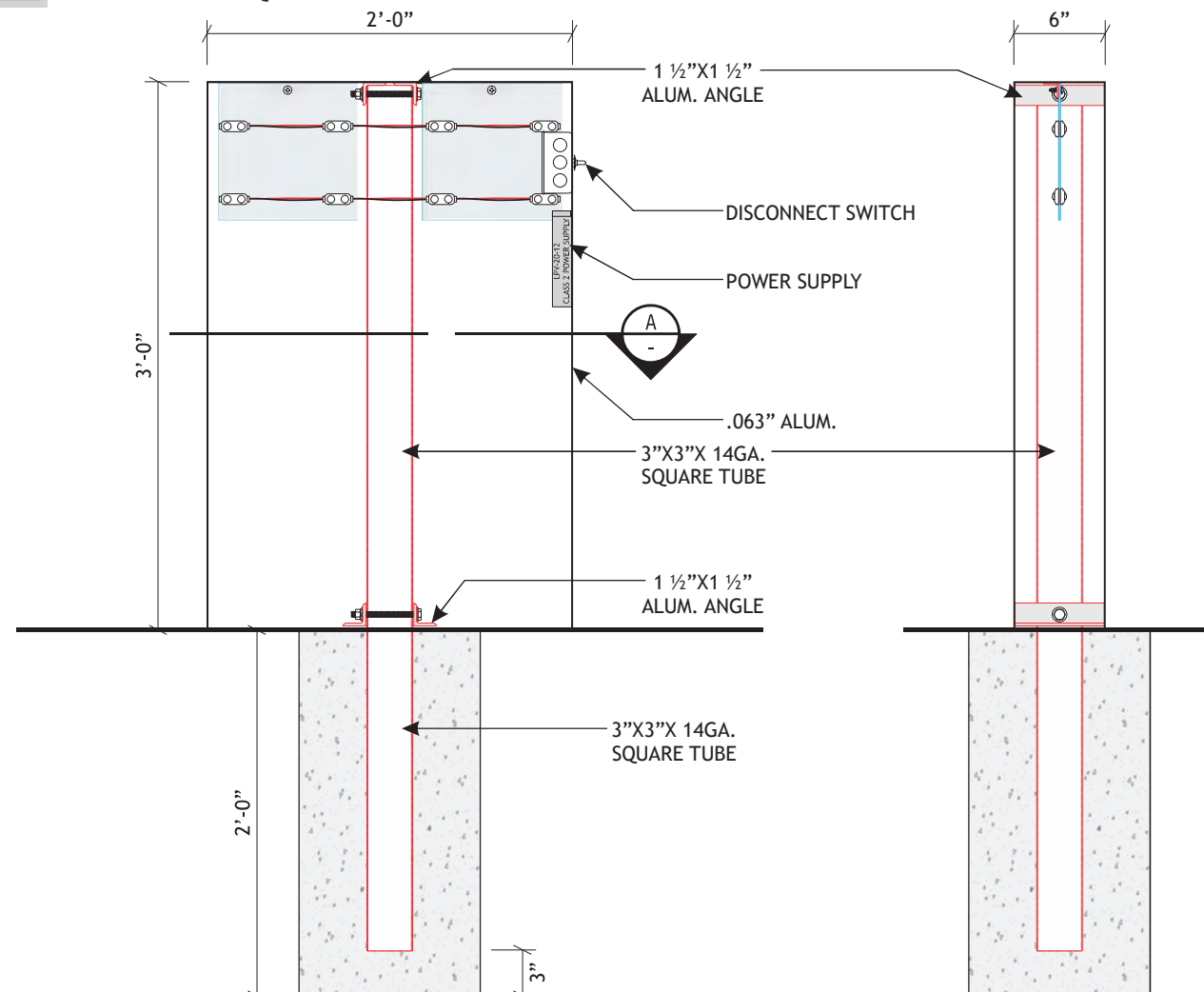
REVISION BY:

Raul D.

N25 ILLUMINATED DIRECTIONAL SIGN

SIGN AREA= 6.0 SQ.FT./EA

SCALE: 1" = 1'-0"



ELECTRICAL SPECIFICATIONS:

- (16) WHITE LED MODULES @ 0.72W EA= 11.52W TOTAL
- (1) 12V 20W POWER SUPPLIES @ .55 AMPS EA.
- (1) CUSTOMER PROVIDED 120V/20A/60HZ DEDICATED CIRCUIT REQUIRED

**TOTAL CIRCUIT LOAD:
.55 AMPS @ 120 VAC**

ILLUMINATED DIRECTIONAL SIGN

SCALE: 1" = 1'-0"

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QTY: 4

WHITE PLEXIGLASS FACE W/
DIGITAL PRINTED GRAPHICS
APPLIED 1ST SURFACE

N26 N27 D/F ILLUMINATED MONUMENT SIGN - TENANT PANELS

QTY: 4

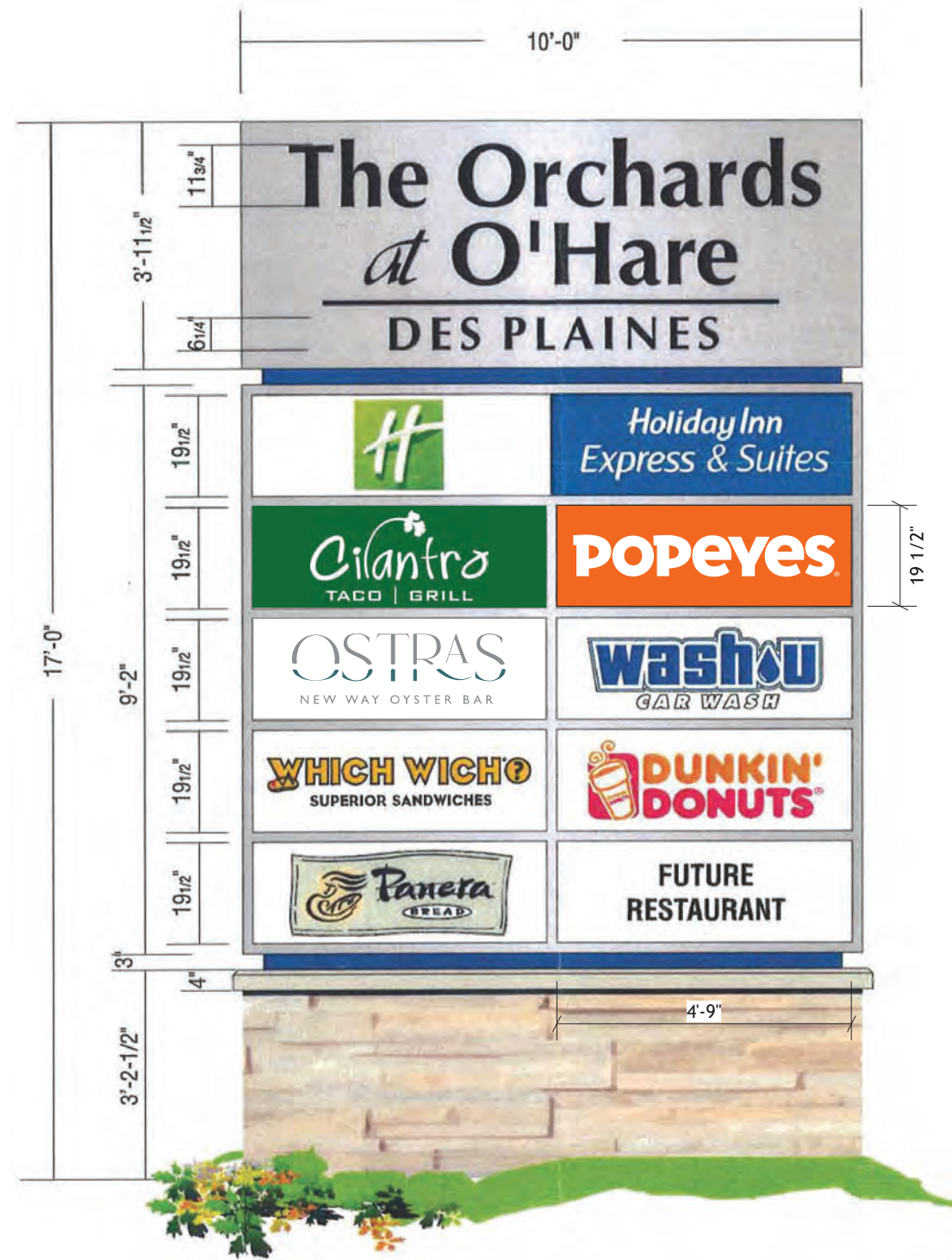
Scale: 1" = 1'-0"

COLOR SPECIFICATIONS:

- PMS 3564C - 3M 3630-84 TANGERINE
- WHITE PLEXIGLASS

NOTE

SIZES TO BE CONFIRMED VIA SITE SURVEY.
NOT READY FOR PRODUCTION



PROPOSED

SCALE: 3/8" = 1'-0"



LOREN

LOREN INDUSTRIES

12226 Coast Drive
Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:

07-23-0023R2

PAGE NO.:

26 OF 26

CLIENT:

POPEYES

ADDRESS

NE Crrr of Mannheim &
W Higgins Rd.
Des Plaines, IL 60018

Approval Signature

DATE:

07/18/2023

PROJECT MANAGER

Dave P.

DESIGNER:

ED

REVISION DATE:

08/25/2023

REVISION BY:

Raul D.

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LOT 5 - RESTAURANT PARCEL
MANNHEIM ROAD MODIFIED MULTI-TENANT MONUMENT SIGN
(REVISIONS TO TENANT PANELS ONLY)



(2) 1'-7 1/2" x 4'-9" Polycarbonate Tenant Panels

Panels: 3/16" thick White polycarbonate
Graphics: 3M 3630-76 Holly Green translucent w/ logo reversed out
Mounting: in existing double face monument sign



(2) 1'-7 1/2" x 4'-9" Polycarbonate Tenant Panels

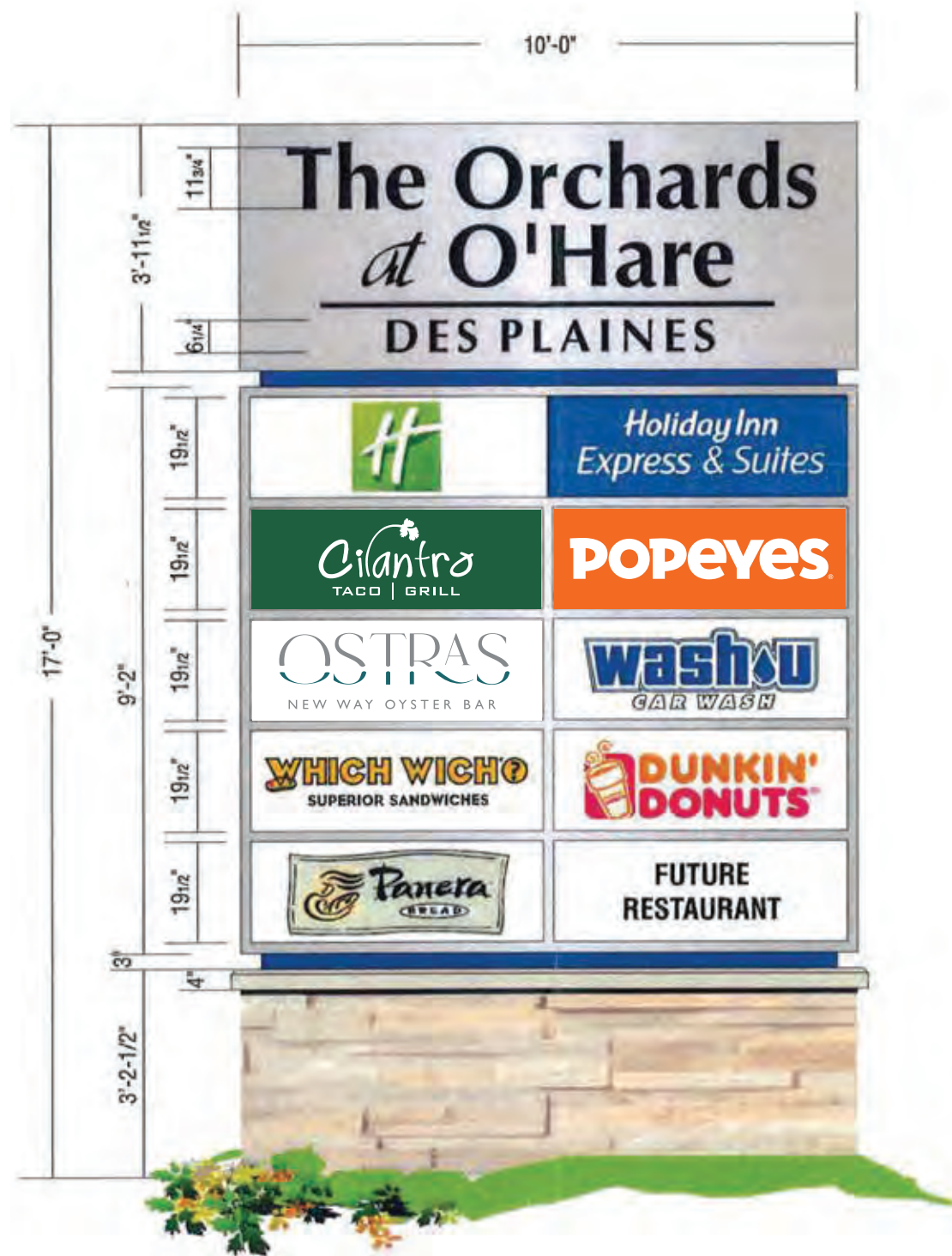
Panels: 3/16" thick White polycarbonate
Graphics: full-color digital print on translucent White vinyl, applied
Mounting: in existing double face monument sign



(2) 1'-7 1/2" x 4'-9" Polycarbonate Tenant Panels

Panels: 3/16" thick White polycarbonate
Graphics: 3M 3630-86 Tangerine translucent w/ logo reversed out
Mounting: in existing double face monument sign

TENANT PANELS for MONUMENT SIGN



Design • Fabrication • Installation • Maintenance
 165 Tubeway Drive • Carol Stream • Illinois 60188
 Tel/630-510-2020 • Fax/630-510-2074
 e-mail/signs@parvinclauss.com
 www.parvinclauss.com

PROJECT:

Cilantro Enterprise LLC

3001 S. Mannheim Rd.
 Des Plaines, IL 60018

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE
 Dan Olson / KZ

DRAWN BY
 Bill Goodwyn

DATE
 8.23.23

SCALE
 1" = 1'

SHEET NO.
 4 of 7

ESTIMATE / JOB NUMBER
 13087

FILE NAME
 CILE13087

REVISIONS:

- 1 8.24.23 - popeyes
- 2
- 3
- 4
- 5
- 6
- 7
- 8

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



This sign is built to UL Standards for operation in North America.

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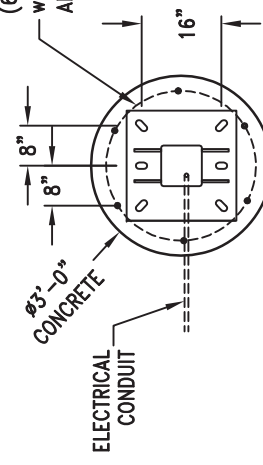
LOT 6

GAS STATION/MART PARCEL

- MANNHEIM ROAD BP FUEL SIGN
(AS APPROVED BY CITY OF DES PLAINES BUILDING DEPARTMENT ON 10/16/2018)
- BP FUEL CANOPY
(DOCUMENTATION OF THE EXISTING BP CANOPY)
- MART/DUNKIN DONUTS SIGNAGE
(PER ORDINANCE Z-18-18)
- DUNKIN DONUTS EXISTING SIGNAGE
(NOT INCLUDED IN ORDINANCE Z-18-18)
 - Menu Board
 - CLEARANCE BAR
 - DRIVE THRU WINDOW AWNING

LOT 6 – GAS STATION/MART PARCEL
MANNHEIM ROAD BP FUEL SIGN

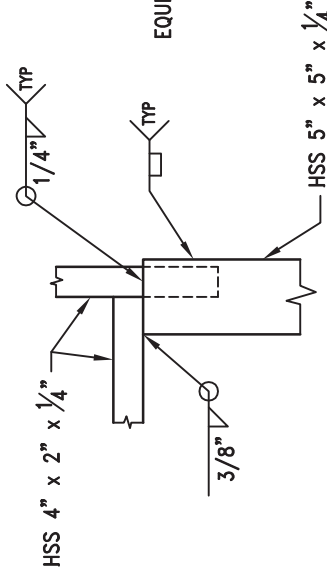
(AS APPROVED BY CITY OF DES PLAINES BUILDING DEPARTMENT ON 10/16/2018)



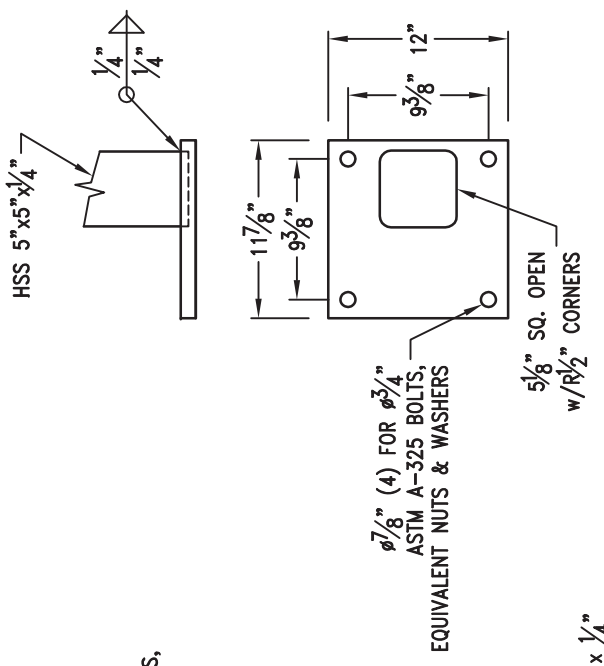
PLAN VIEW:

QTY. CONCRETE: 2.2 CU. YDS.

(6) #6 REBAR x 8'-0" LG. EQUALLY SPACED ON 30" CIRCLE w/(10) #3 REBAR TIES: TOP (3) IN FIRST 5" (4) ON 9" CENTERS, AND LAST (3) ON 18" CENTERS.

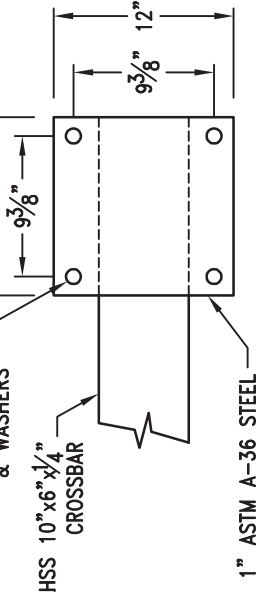


UPPER FRAME CONSTRUCTION

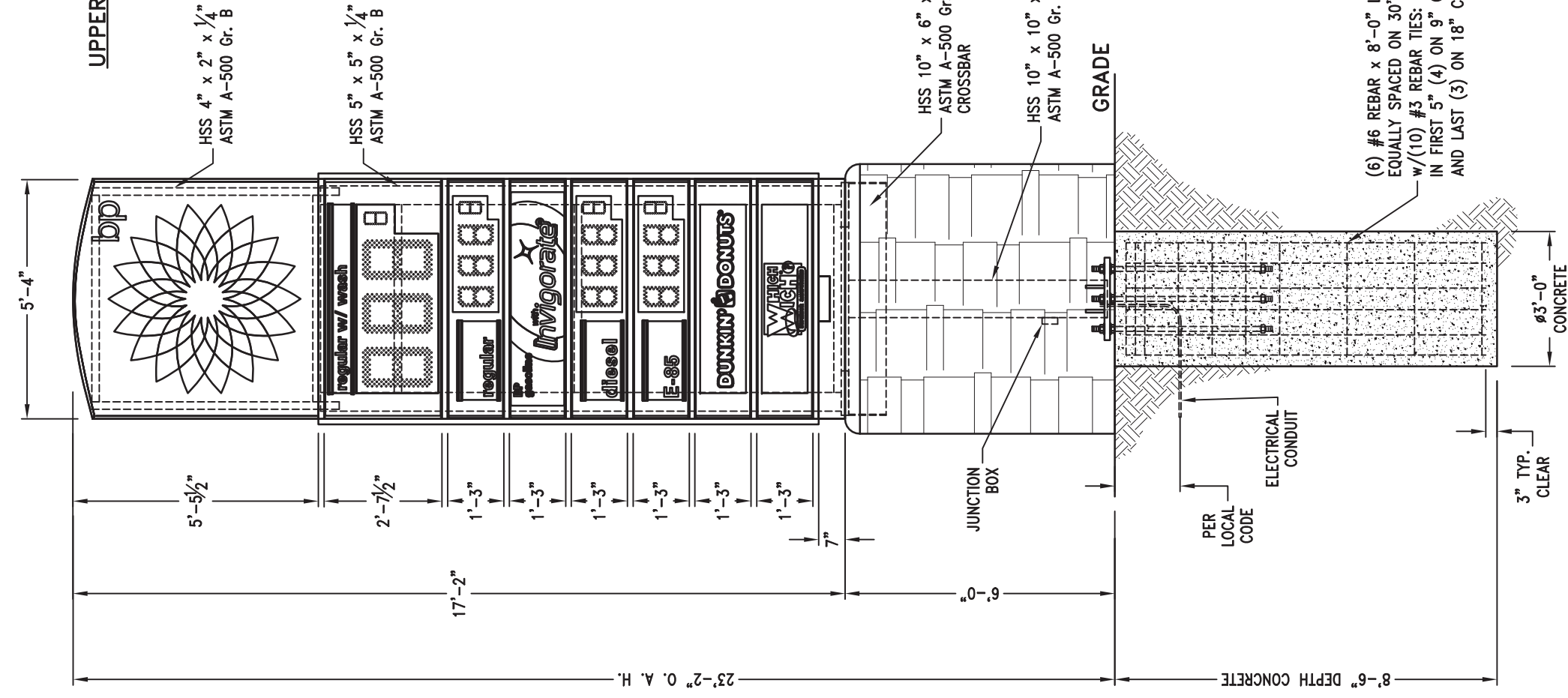
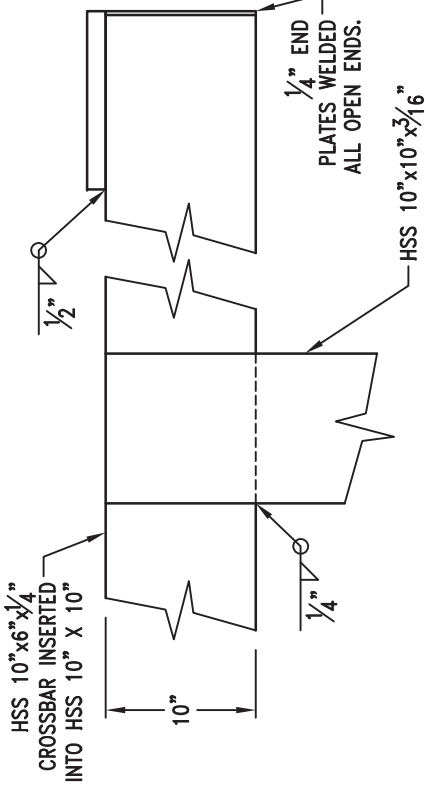


MODULE MOUNTING PLATE DETAIL
1" ASTM A-36 STEEL

7/8" (4) FOR 3/4" ASTM A-325 BOLTS, EQUIVALENT NUTS & WASHERS



CROSSBAR/MOUNTING PLATE DETAIL
1" ASTM A-36 STEEL



ELEVATION VIEW

DESIGN WIND LOAD:
Based on the 2012 International Building Code (ASCE 7-10) using Risk Category II, Exposure C and 115 mph wind speed

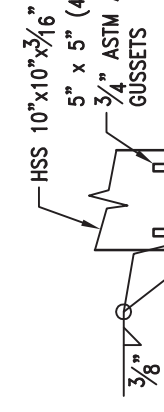
DESIGN NOTES:

- Concrete shall have a minimum compressive strength of 3000 PSI at 28 days.
- Reinforcing steel shall be ASTM A-615 Gr. 60.
- Caisson footing designed using a soil bearing force of 250 PSF per foot Lateral. If this soil condition does not exist, it is the Erector's responsibility to have a new base designed for the existing soil conditions by a Licensed Structural Engineer.
- Anchor bolts shall be ASTM F-1554 Gr. 55.

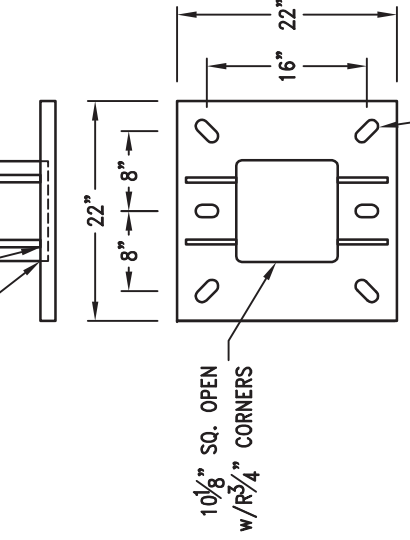
HSS 10" x 6" x 1/4" ASTM A-500 Gr. B CROSSBAR

HSS 10" x 10" x 3/16" ASTM A-500 Gr. B

(6) #6 REBAR x 8'-0" LG. EQUALLY SPACED ON 30" CIRCLE w/(10) #3 REBAR TIES: TOP (3) IN FIRST 5" (4) ON 9" CENTERS, AND LAST (3) ON 18" CENTERS.



BASE PLATE DETAIL
1/2" ASTM A-36 STEEL



ANCHOR BOLT DETAIL
1/4" ASTM F-1554 Gr. 55

SITE:
BP
2995 South Mannheim Road
Des Plaines, Illinois 60018

A	04 Sep 18	RELEASED FOR PERMITTING	J. HOGAN
REV	DATE	DESCRIPTION	APPROVED

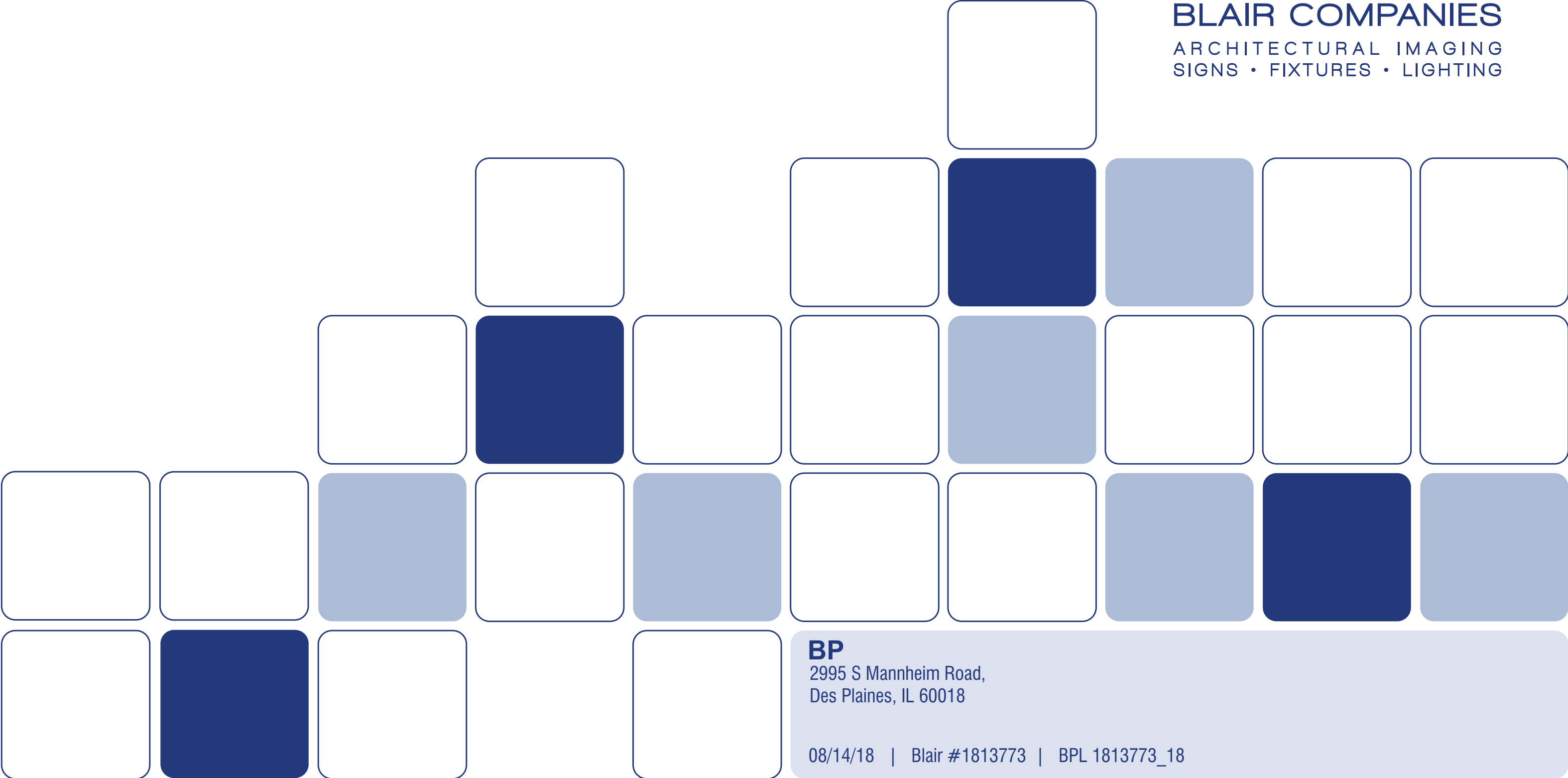
Robert-James & Associates, Inc.
12255 West 187th Street, Mokena Illinois 60448-9737
phone: 708-479-8385 fax: 708-479-8395 email: rja37@comcast.net

TITLE		23'-2" OAH CLADDED SINGLE POLE FOR BP 64" ID AND EIGHT MODULE SIGN	
DRAWN BY	A. KLOTZKE	SCALE	NONE
CHECKED BY	J. HOGAN	DATE	04 Sep 18
DRAWING NUMBER	1808152	SHEET	1 OF 1
REV.			A



BLAIR COMPANIES

ARCHITECTURAL IMAGING
SIGNS • FIXTURES • LIGHTING



BP
2995 S Mannheim Road,
Des Plaines, IL 60018

08/14/18 | Blair #1813773 | BPL 1813773_18

project information

client: **BP**
address: 2995 S Mannheim Road,
Des Plaines, IL 60018
store #:
m number: 1813773
date: 08/14/18
rendered: FD
file name: BPL 1813773_18
category:

revisions

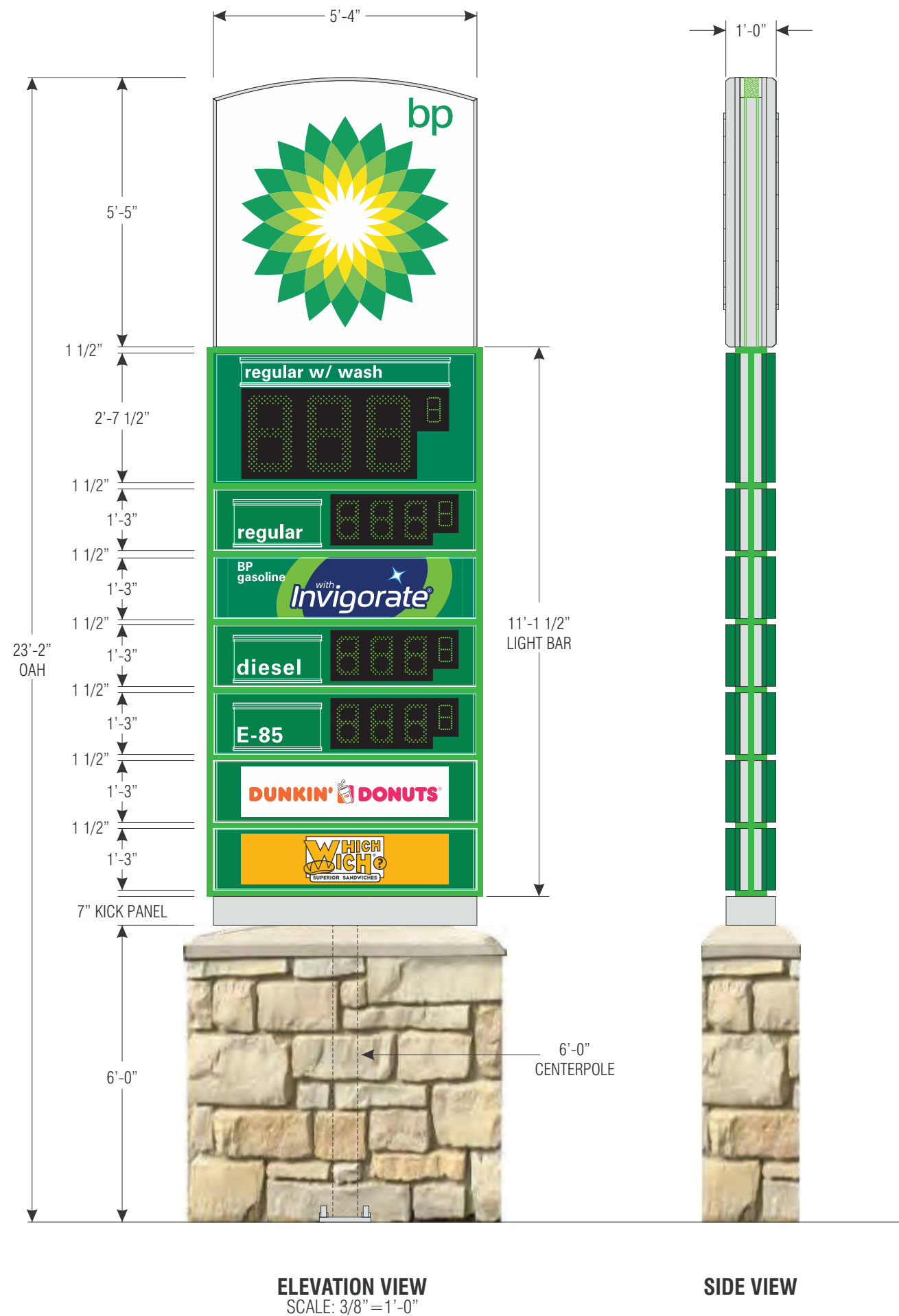
- a.
- b.
- c.

note:

Drawing will expire 90 days after date on cover. If production request is sent in after 90 days 24 hours is required to review approval.

These drawings are not for construction. The information contained herein is intended to express design intent only.

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ELEVATION VIEW
SCALE: 3/8"=1'-0"

SIDE VIEW

ACTION ITEMS NEEDED BEFORE PRODUCTION CAN START

1. NEED ENGINEERING APPROVAL FOR FOUNDATION DESIGN, STAMPED AND SEALED PERMITTING PRINTS.
2. ARTWORK FILE FOR "WHICH WICH" LOGO MUST BE PROVIDED IN .AI OR .EPS FILE FORMAT PRIOR TO FABRICATION.

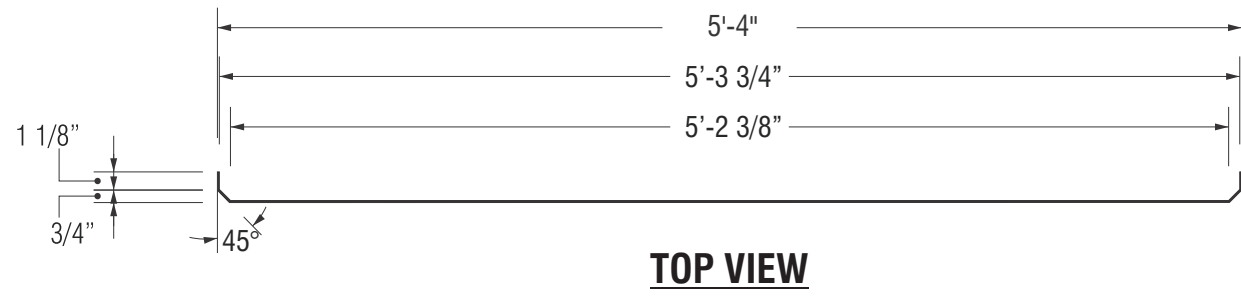
CONCEPTUAL LAYOUT

Exhibit B

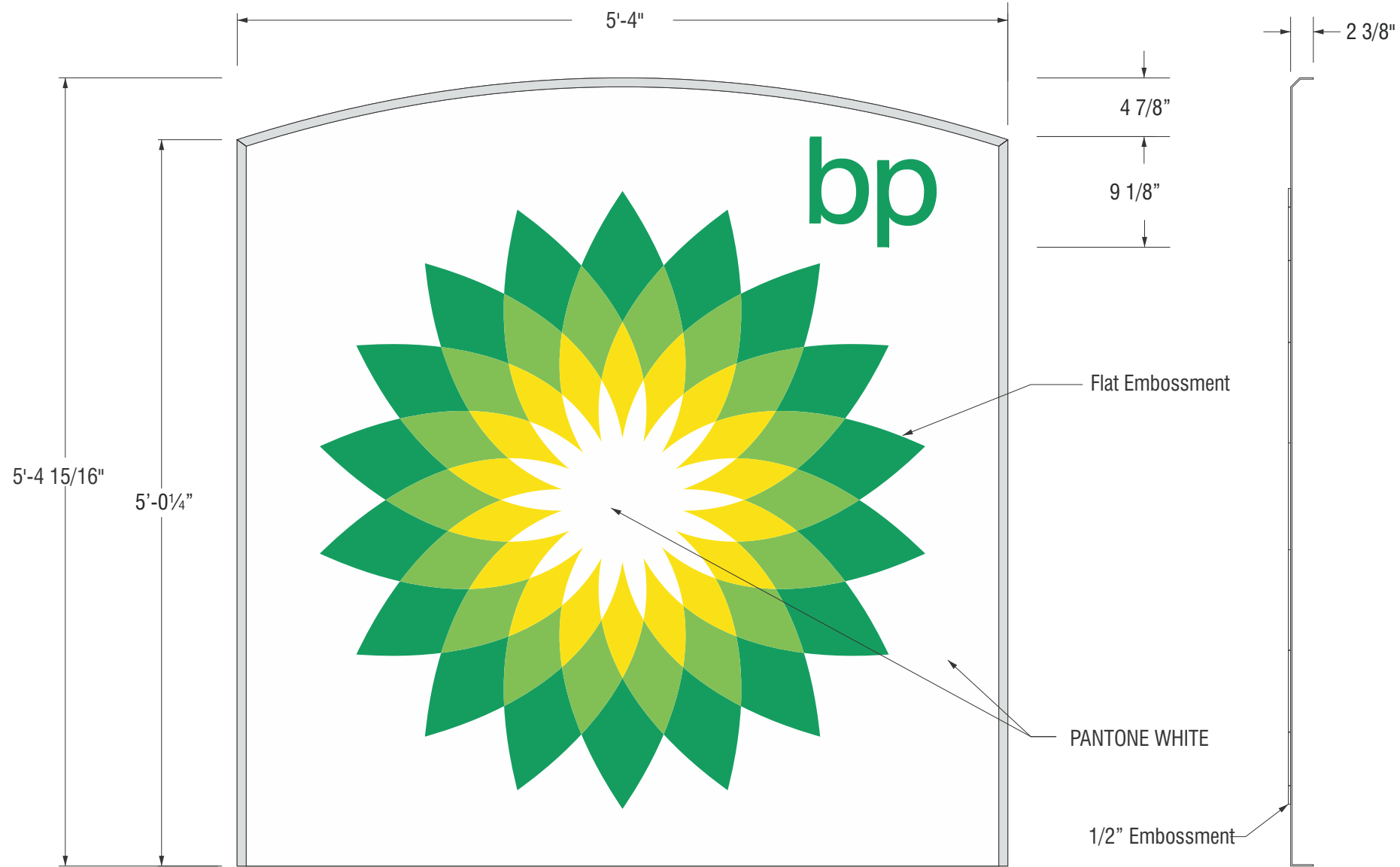
PROPOSED



NIGHT ILLUMINATION VIEW



TOP VIEW



FRONT VIEW

SCALE: 1"=1'-0"

SIDE VIEW

address: 5107 Kissell Avenue
Altoona PA 16601
telephone: 814.949.8287
fax: 814.949.8293
web: blaircompanies.com

project information

client: **BP**
address: 2995 S Mannheim Road,
Des Plaines, IL 60018
store #:
m number: 1813773
date: 08/14/18
rendered: FD
file name: BPL 1813773_18
category:

revisions

- a.
- b.
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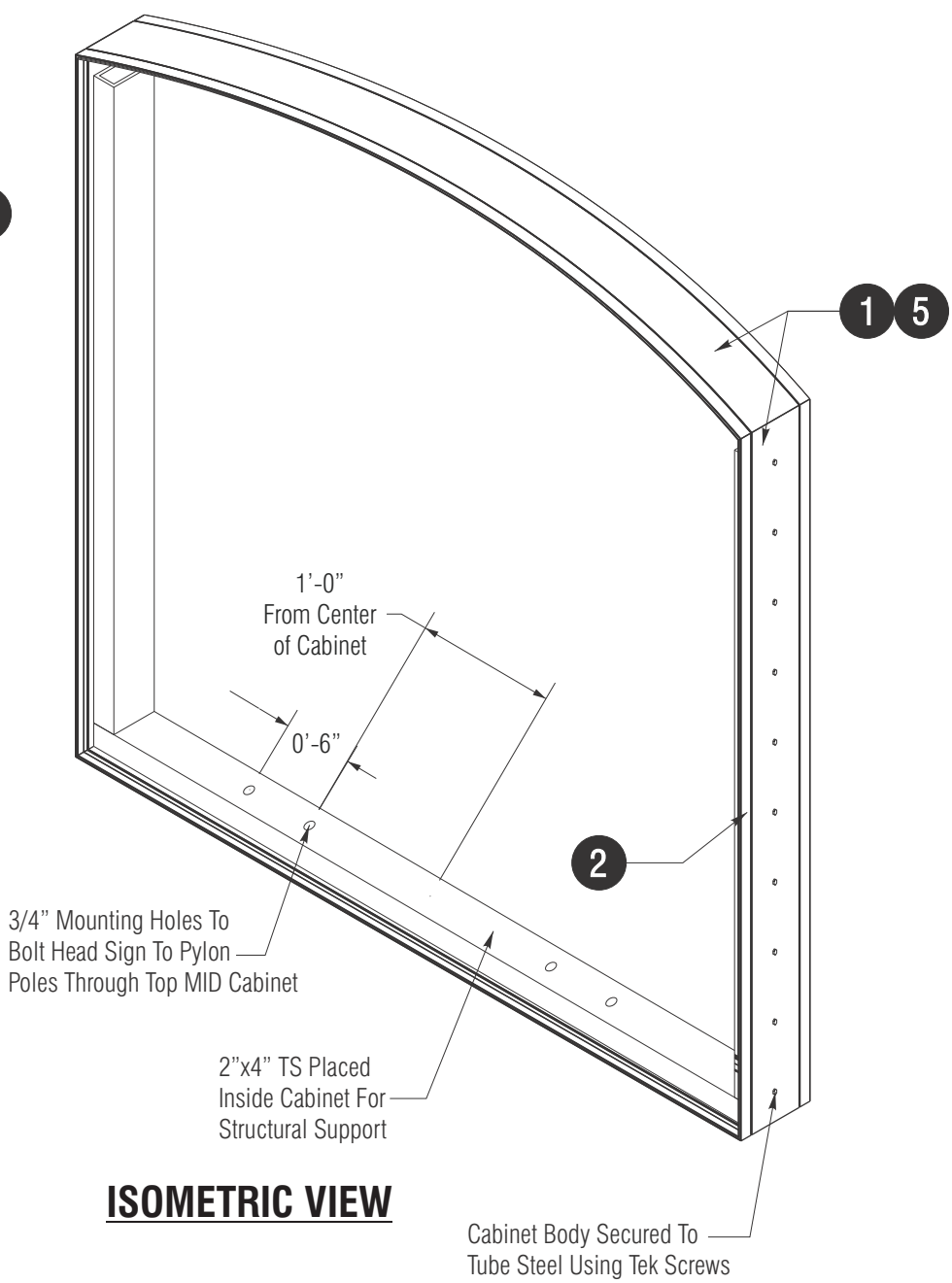
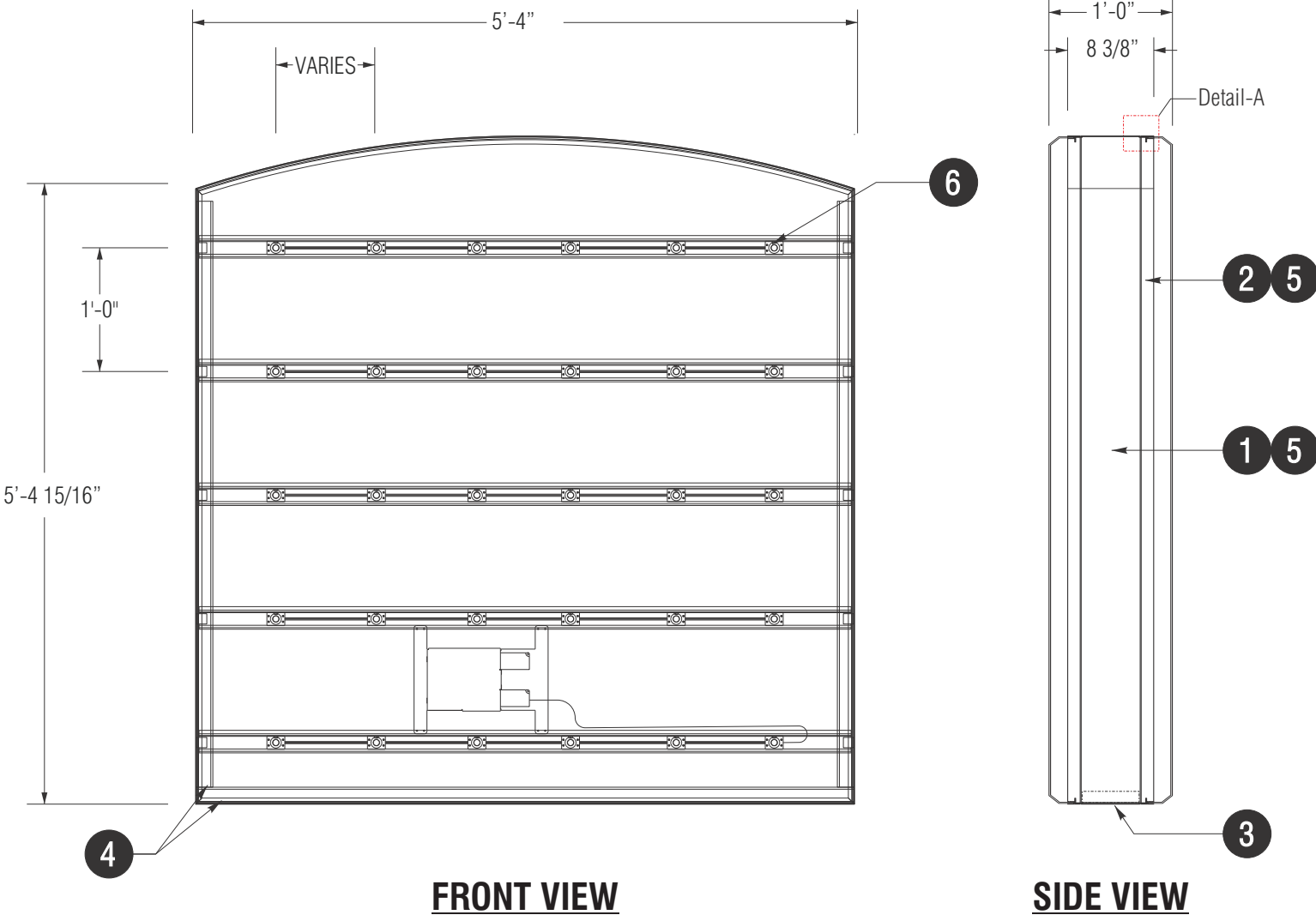
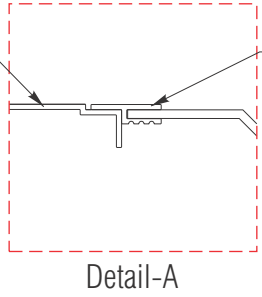
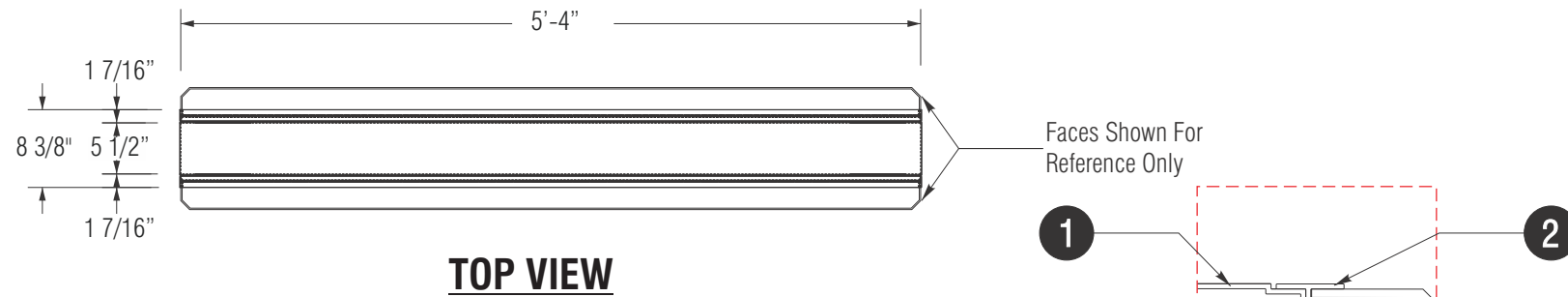
revisions

note:

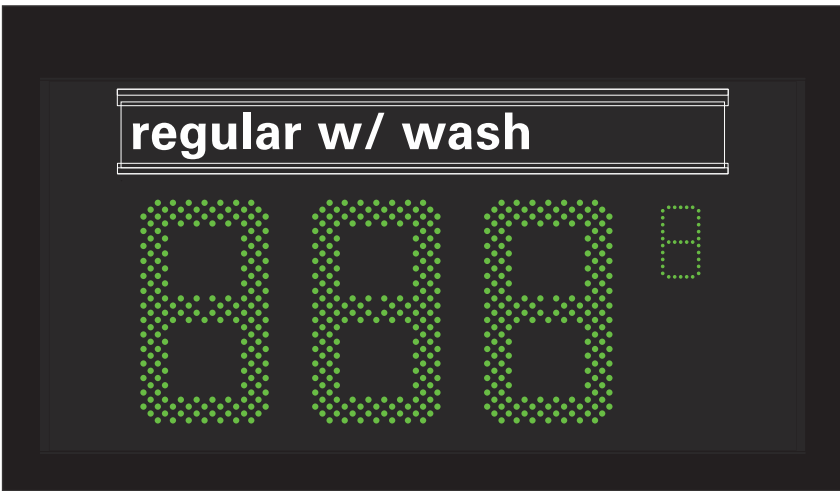
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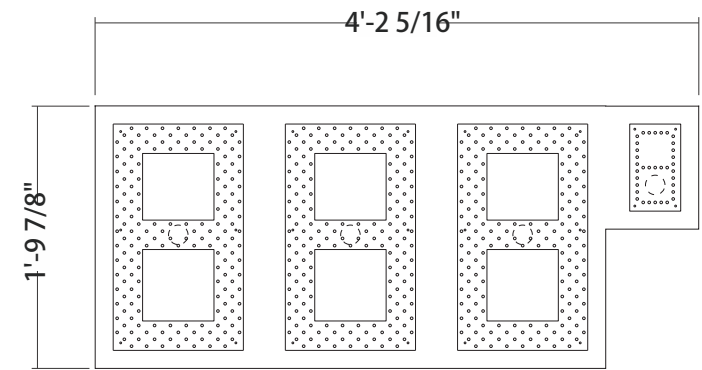
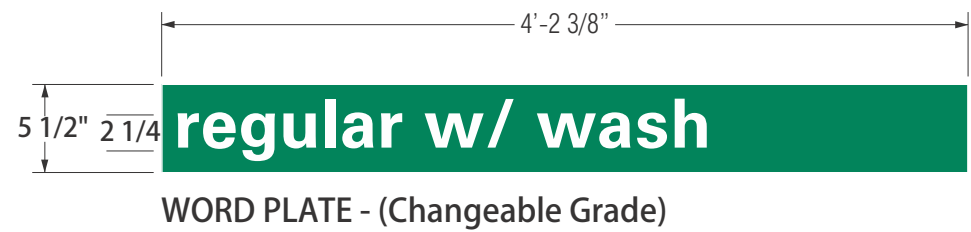
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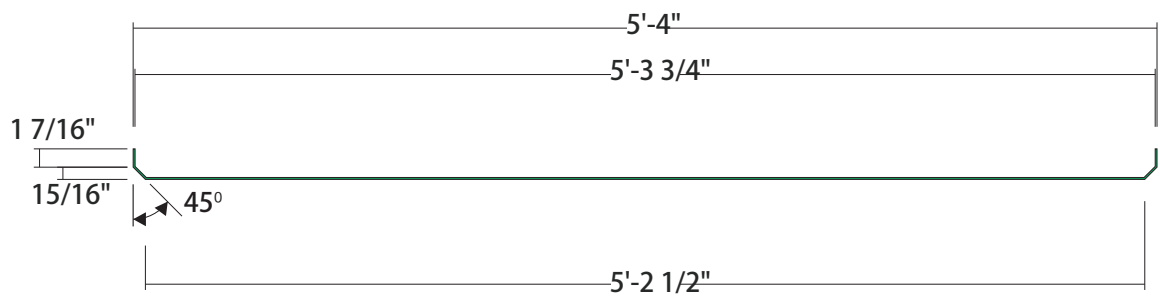
- SPECIFICATION:**
1. EXTRUSION PENNEX #12200-S 7" x *15'-8" DOUBLE FACE BODY
 2. 26' H-1 INTERNAL RETAINER MILL FINISH
 3. ALUMINUM, ANGLE, 1-1/2" X 1-1/2" X 1/8", 25FT LENGTH, 6061, T6 - ** Corner Angles **
 4. STEEL, TUBING, 2" X 4" X 1/4", 40FT LENGTH, A500B
 5. PANTONE WHITE
 6. LEDs



NIGHT ILLUMINATION VIEW



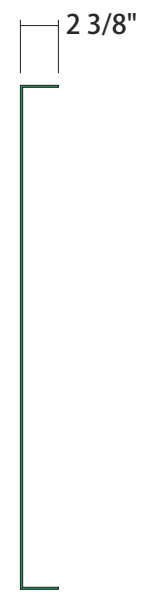
18" LED 3.0 DIGITS
SCALE: 3/4"=1'-0"



TOP VIEW



FRONT VIEW
SCALE: 1" = 1'-0"



SIDE VIEW

project information

client: **BP**
address: 2995 S Mannheim Road,
Des Plaines, IL 60018
store #:
m number: 1813773
date: 08/14/18
rendered: FD
file name: BPL 1813773_18
category:

revisions

- a.
- b.
- c.

note:

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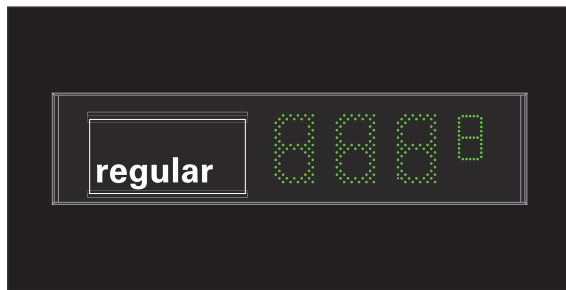
- a.
- b.
- c.

note:

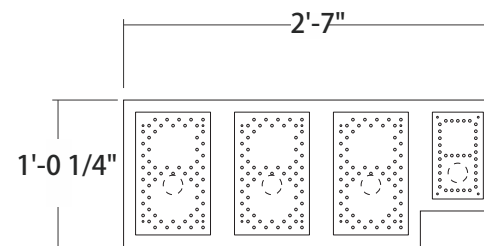
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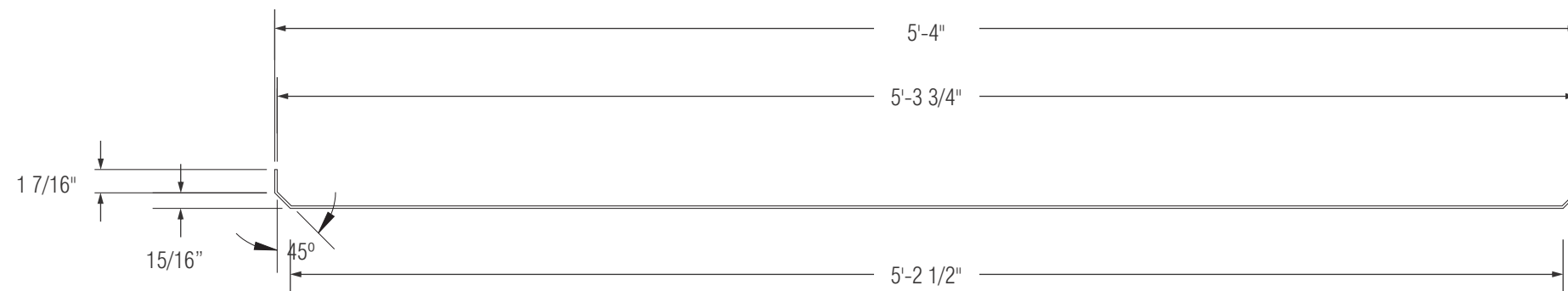
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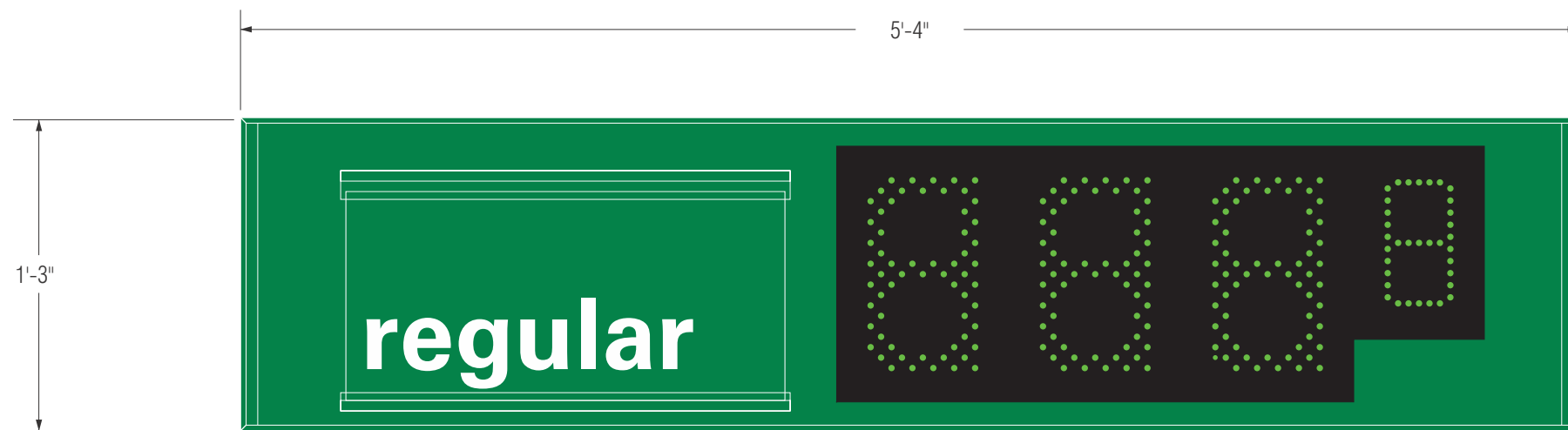
NIGHT ILLUMINATION VIEW



9" EPCU 3.0 DIGITS
SCALE: 3/4"=1'-0"

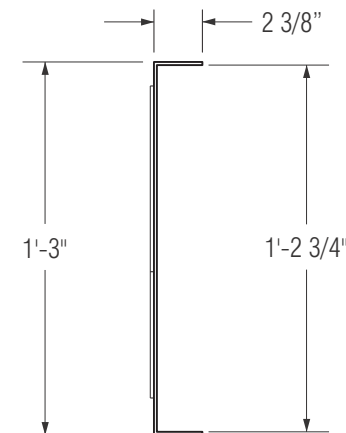


TOP VIEW



FRONT VIEW

SCALE: 1 1/2"=1'-0"



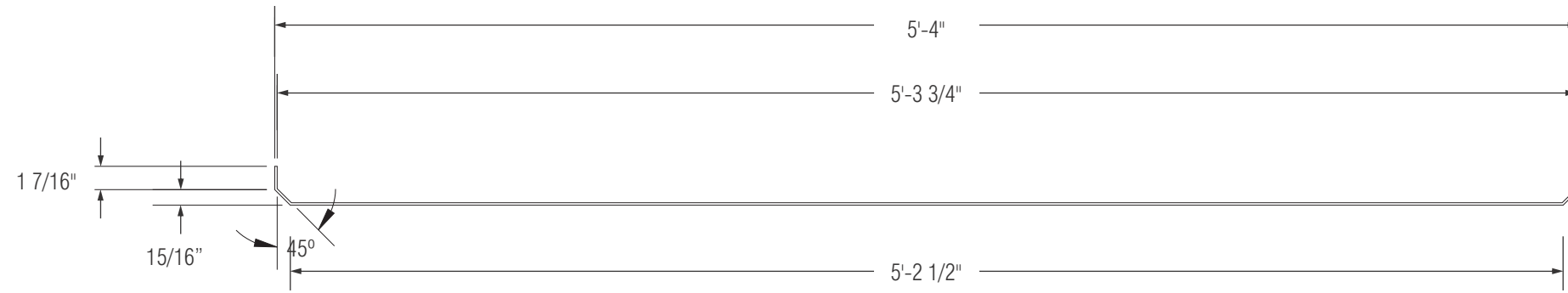
SIDE VIEW



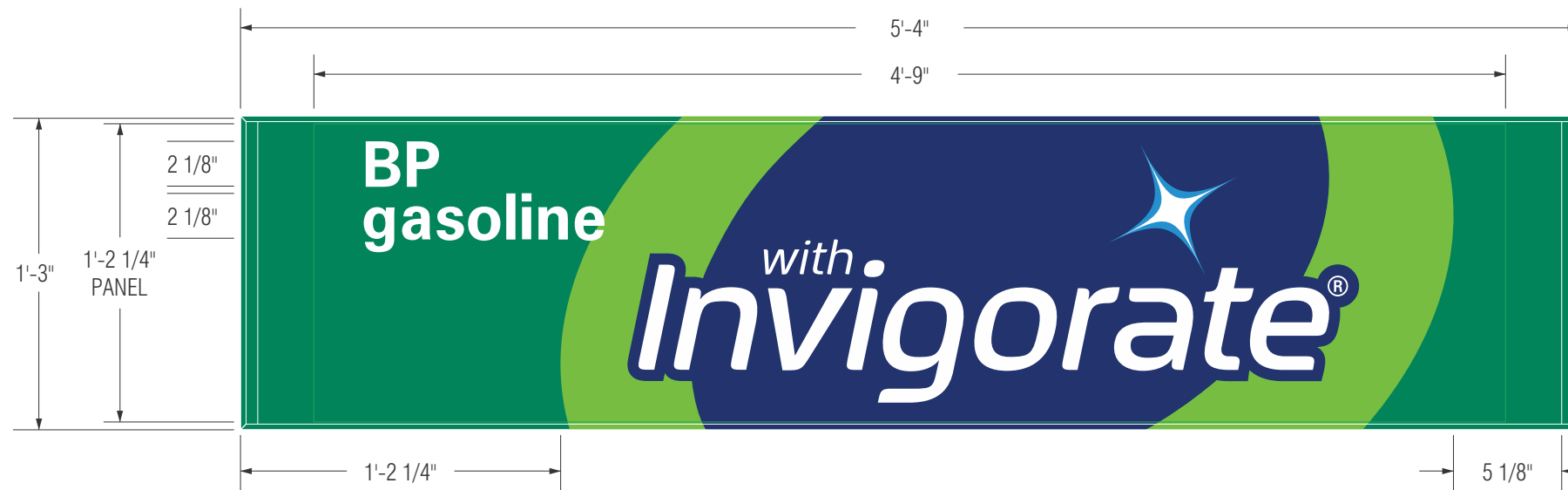
WORD PLATE - (Changeable Grade)



NIGHT ILLUMINATION VIEW

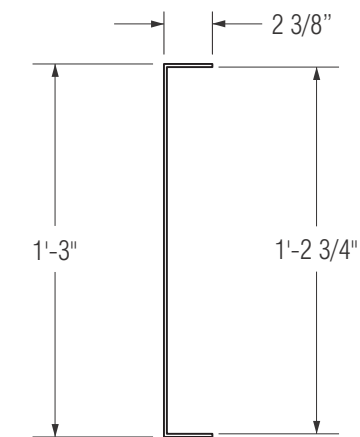


TOP VIEW



FRONT VIEW

SCALE: 1 1/2" = 1'-0"



SIDE VIEW

project information

client: **BP**
address: 2995 S Mannheim Road,
Des Plaines, IL 60018
store #:
m number: 1813773
date: 08/14/18
rendered: FD
file name: BPL 1813773_18
category:

revisions

- a.
- b.
- c.

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- a.
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note:

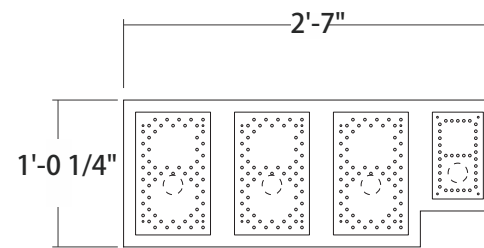
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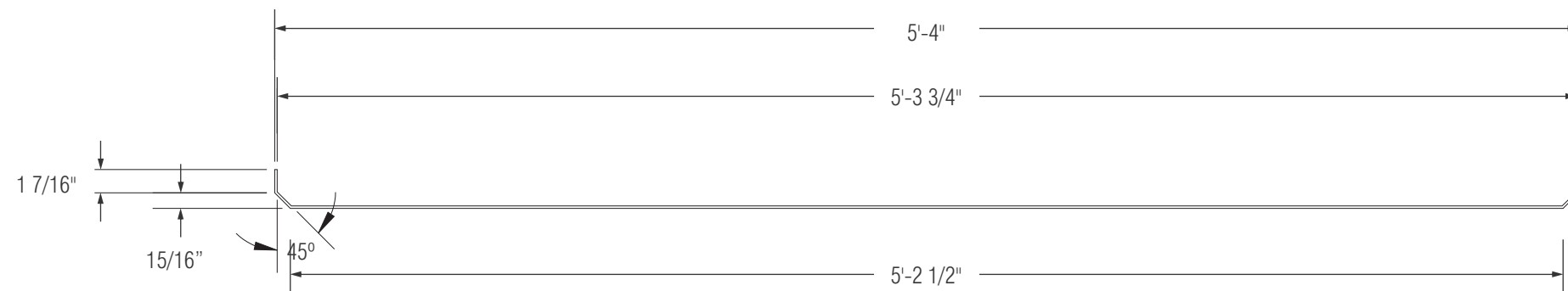
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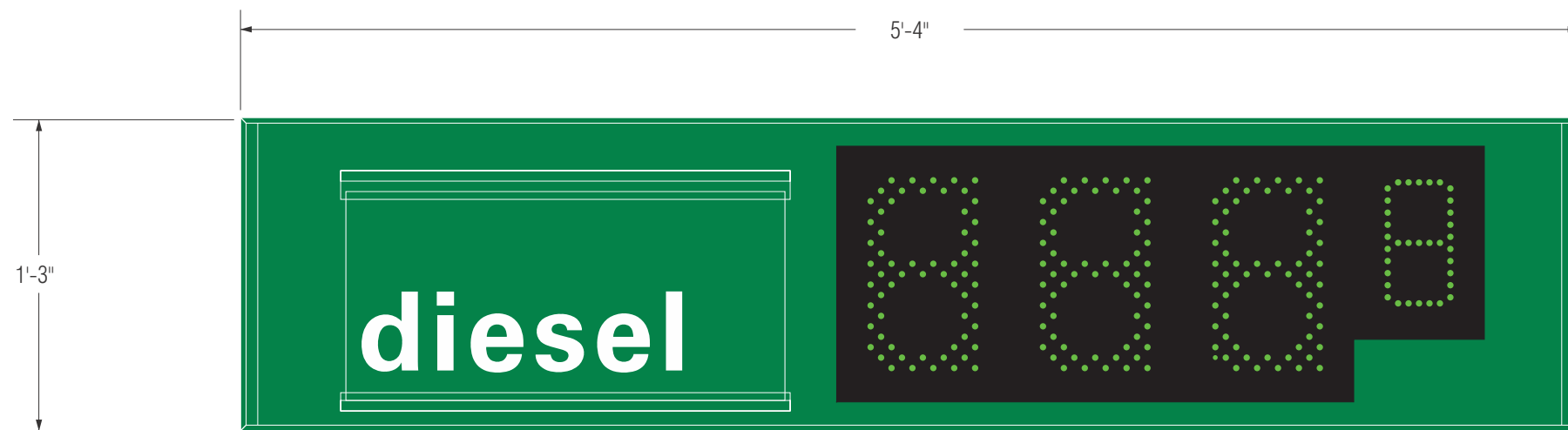
NIGHT ILLUMINATION VIEW



9" EPCU 3.0 DIGITS
SCALE: 3/4"=1'-0"

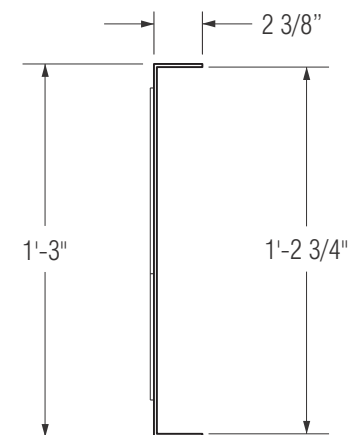


TOP VIEW

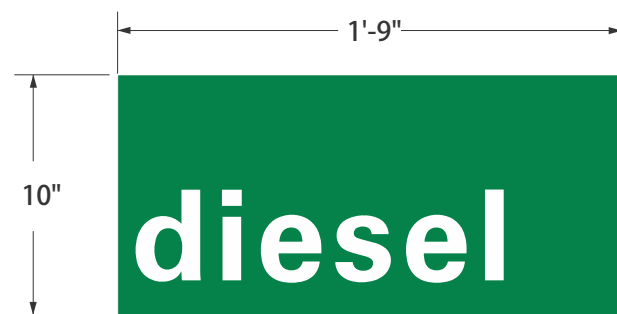


FRONT VIEW

SCALE: 1 1/2"=1'-0"



SIDE VIEW



WORD PLATE - (Changeable Grade)

project information

client: **BP**
address: 2995 S Mannheim Road,
Des Plaines, IL 60018
store #:
m number: 1813773
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rendered: FD
file name: BPL 1813773_18
category:

revisions

- a.
- b.
- c.

note:

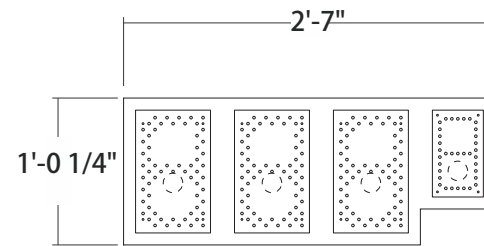
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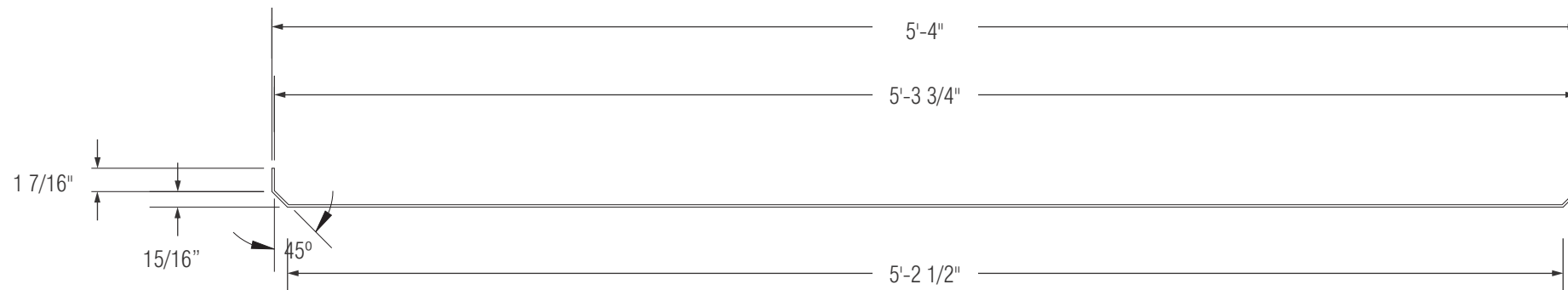
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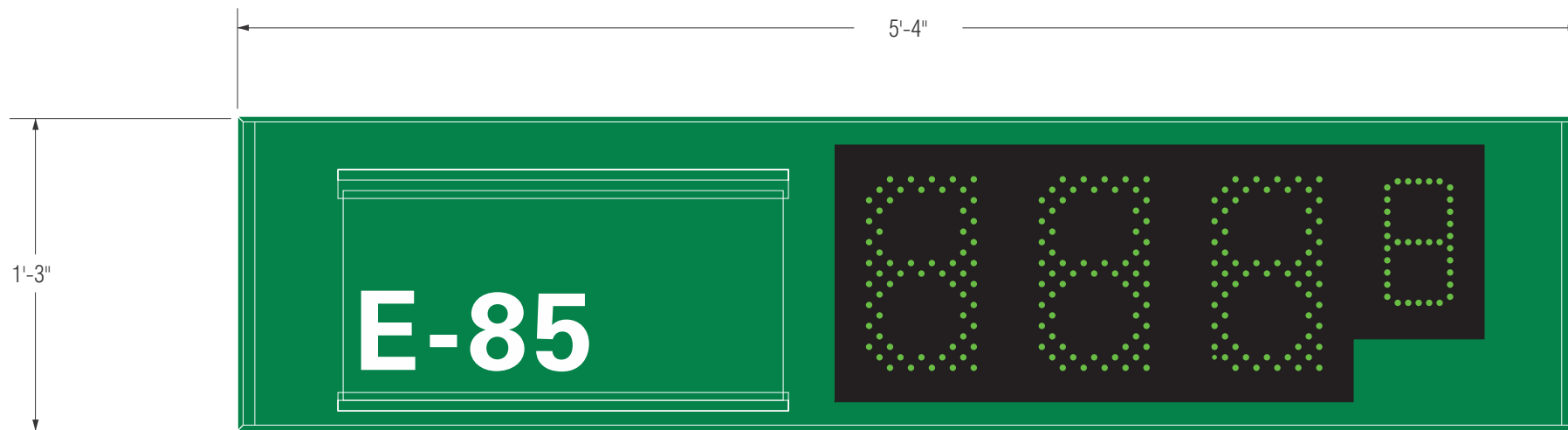
NIGHT ILLUMINATION VIEW



9" EPCU 3.0 DIGITS
SCALE: 3/4"=1'-0"

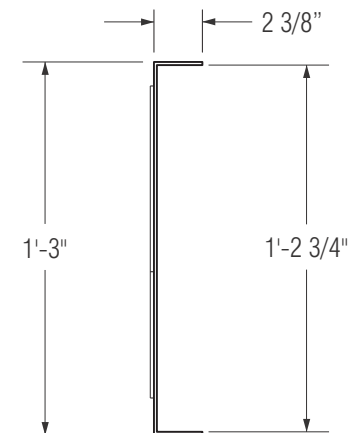


TOP VIEW

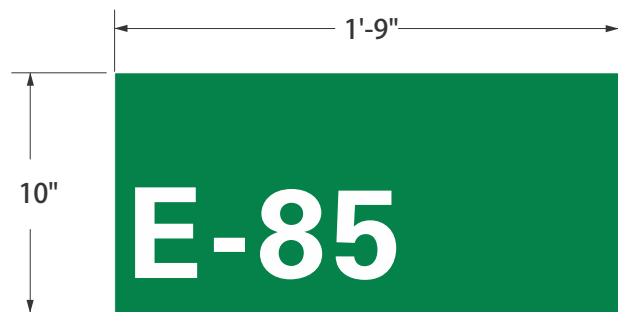


FRONT VIEW

SCALE: 1 1/2"=1'-0"



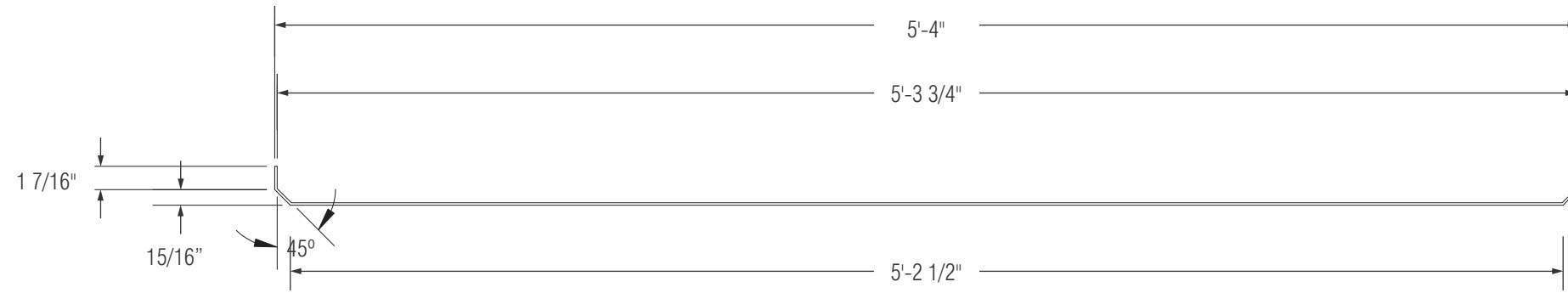
SIDE VIEW



WORD PLATE - (Changeable Grade)



NIGHT ILLUMINATION VIEW

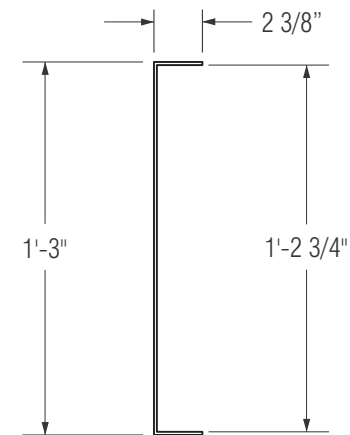


TOP VIEW



FRONT VIEW

SCALE: 1/2" = 1'-0"



SIDE VIEW

address: 5107 Kissell Avenue
Altoona PA 16601
telephone: 814.949.8287
fax: 814.949.8293
web: blaircompanies.com

project information

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revisions

note:

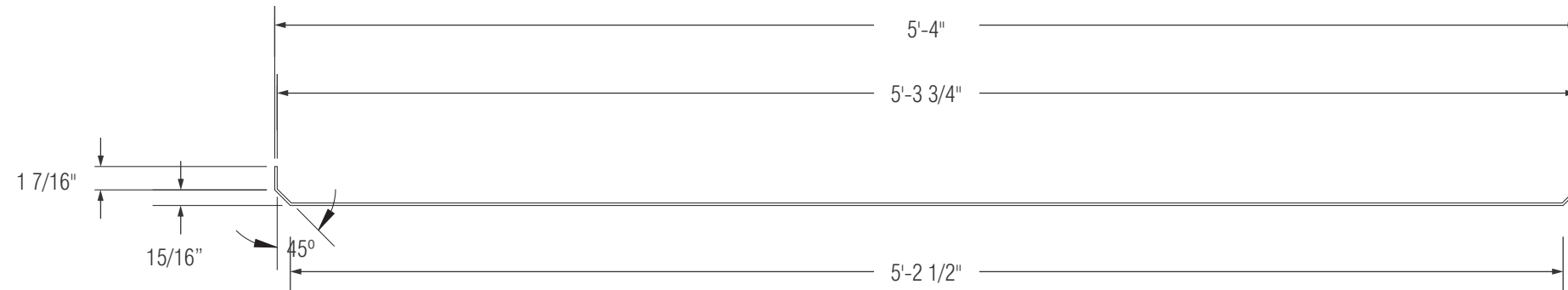
Drawing will expire 90 days after date on cover. If production request is sent in after 90 days 24 hours is required to review approval.

These drawings are not for construction. The information contained herein is intended to express design intent only.

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NIGHT ILLUMINATION VIEW

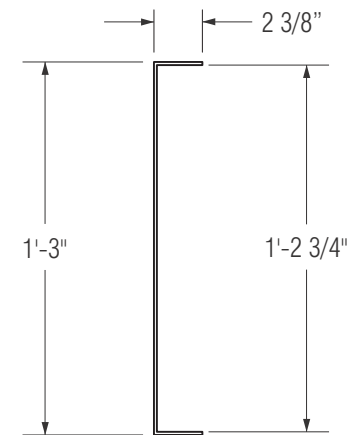


TOP VIEW



FRONT VIEW

SCALE: 1 1/2" = 1'-0"



SIDE VIEW

project information

client: **BP**
address: 2995 S Mannheim Road,
Des Plaines, IL 60018
store #:
m number: 1813773
date: 08/14/18
rendered: FD
file name: BPL 1813773_18
category:

revisions

note:

Drawing will expire 90 days after date on cover. If production request is sent in after 90 days 24 hours is required to review approval.

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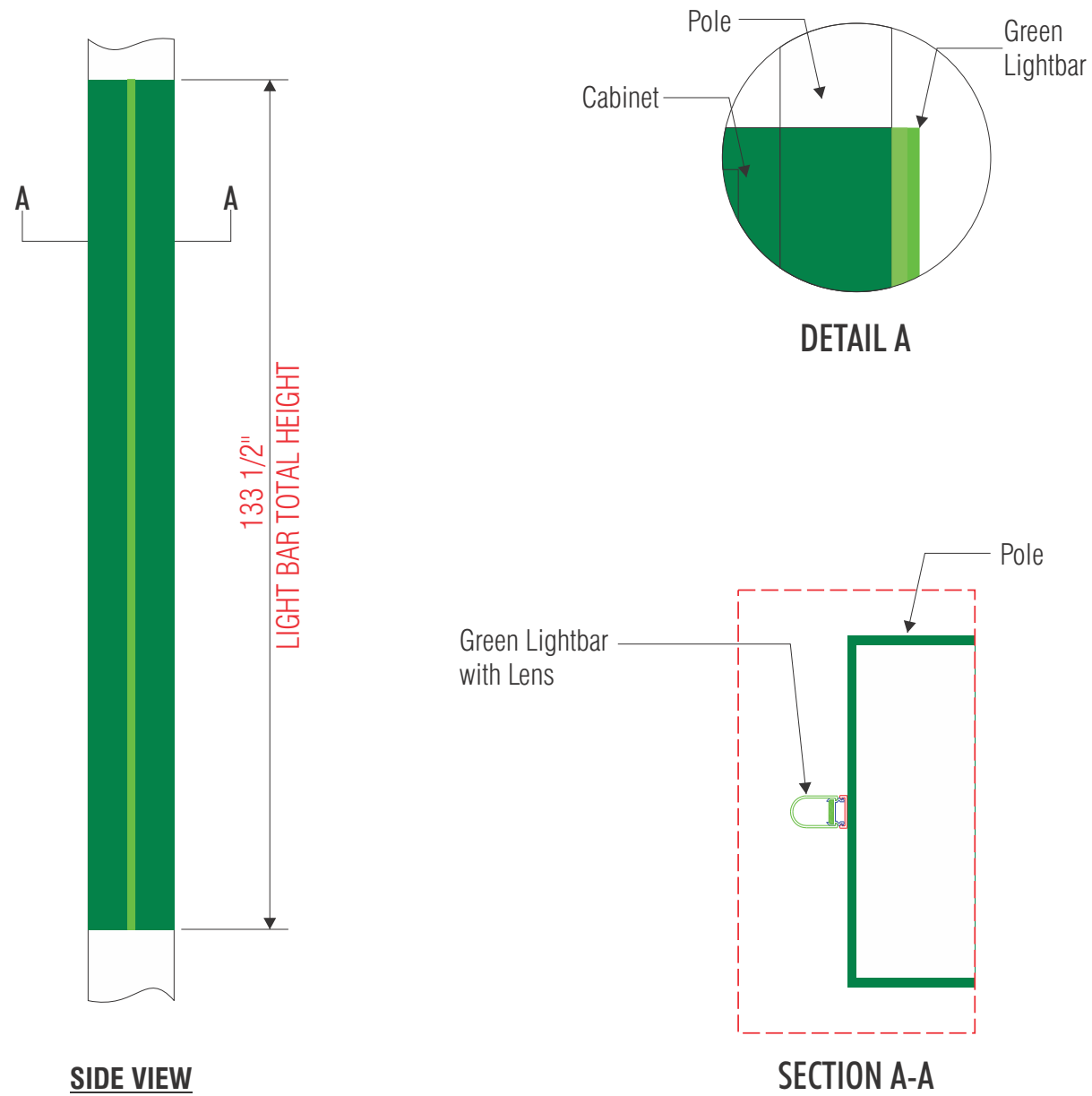
revisions

note:

Drawing will expire 90 days after date on cover. If production request is sent in after 90 days 24 hours is required to review approval.

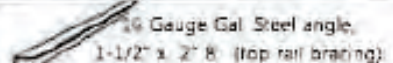


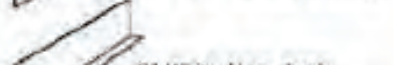


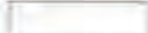

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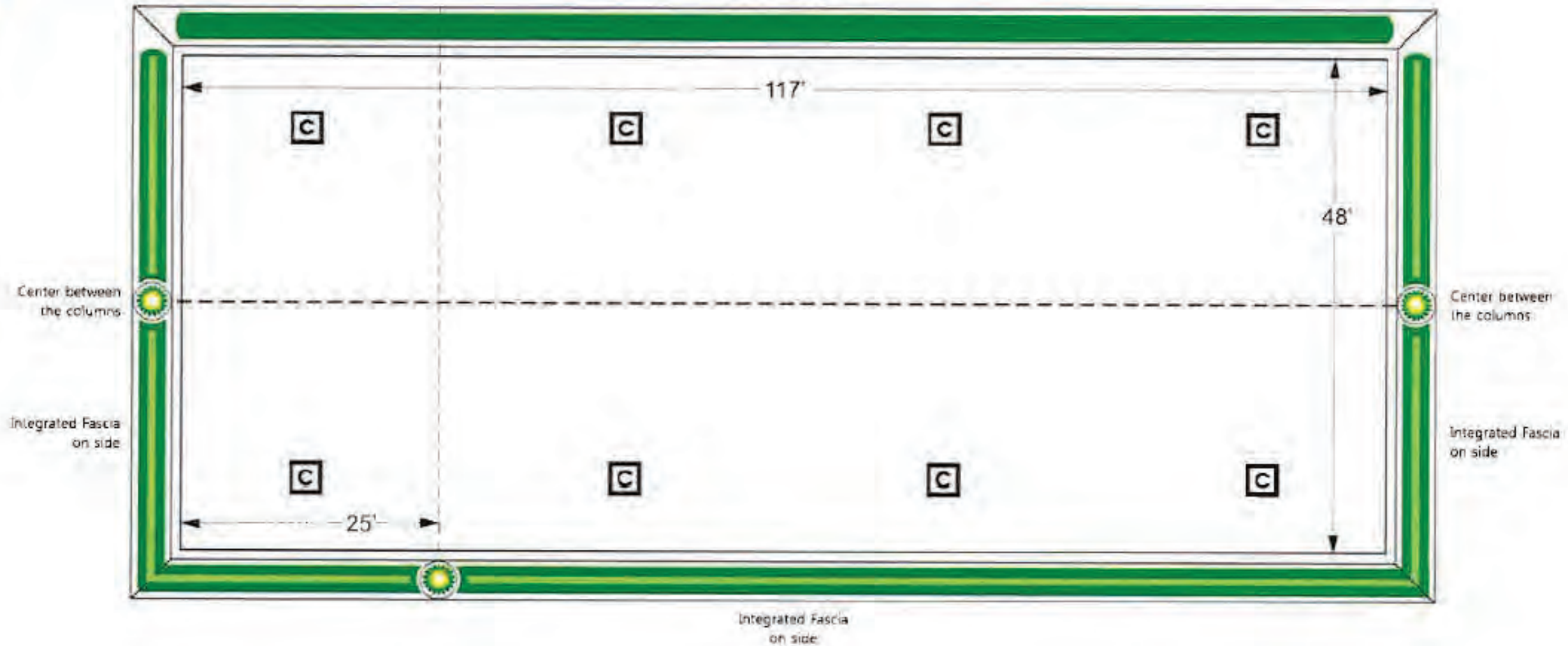
LOT 6 – GAS STATION/MART PARCEL
BP FUEL CANOPY
(DOCUMENTATION OF THE EXISTING BP CANOPY)

BGB CANOPY APPROVAL DRAWING - 48" FASCIA - NA" HELIOS - DES PLAINES, IL

			INSTALL SEQUENCE ① Corners ② Helios Base Panels ③ Tapered and Rounded End Cap Panels ④ Bullnose Panels
			
			

BUILDING

Flat panels with bullnose decal applied to face



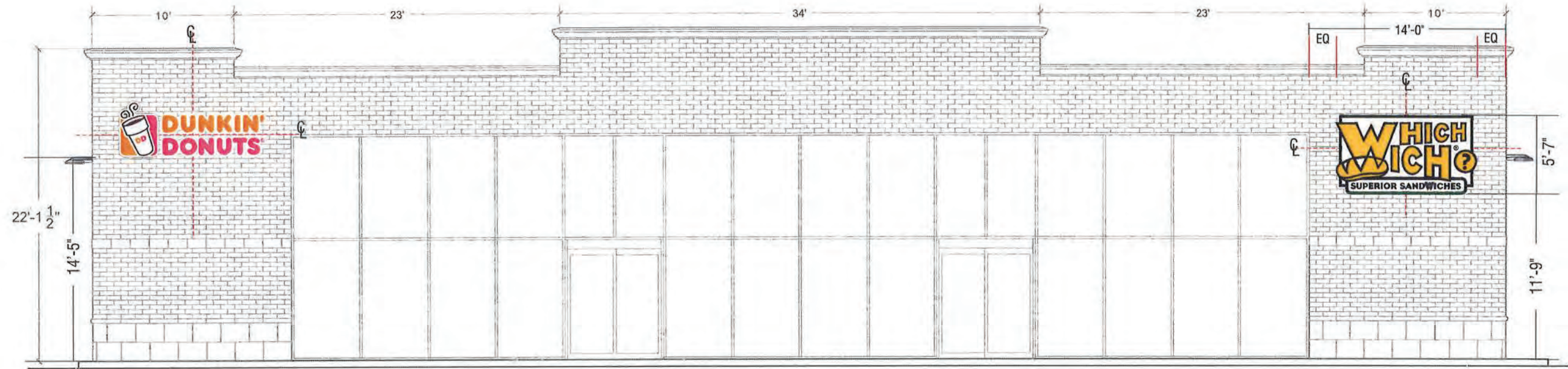
Signoff indicates that the above product has been permitted with any municipalities involved. By signing this document, the product will be manufactured to these specifications.

Approved By B. Yuen
 Date 8.8.2018

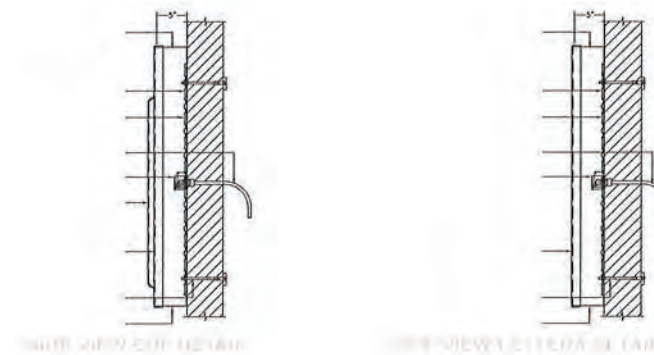
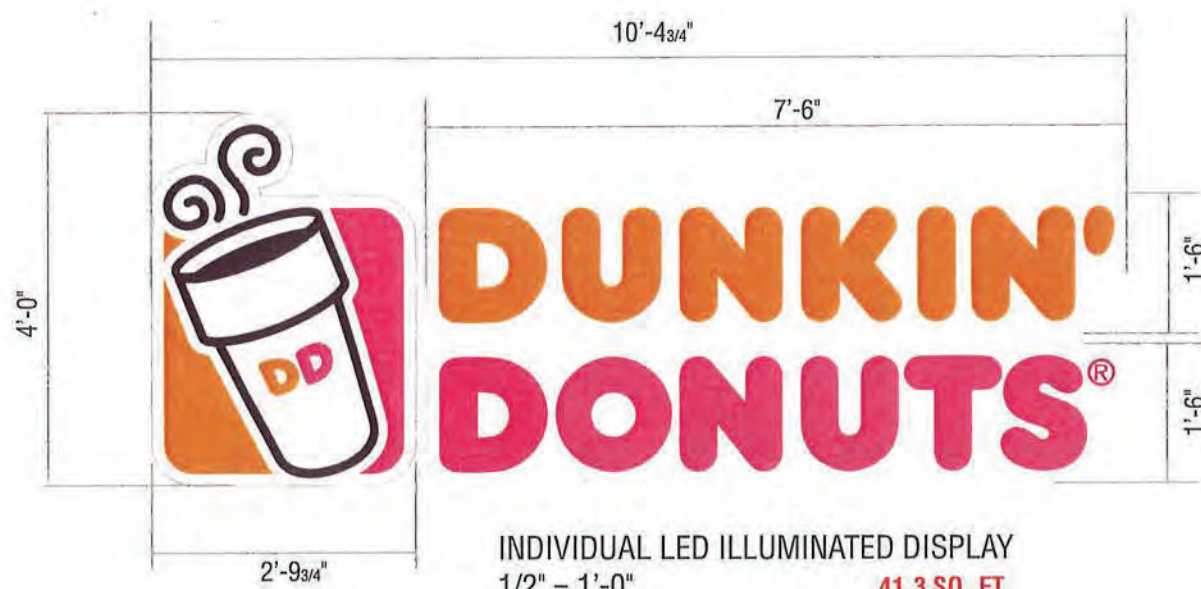
NO.	1813773
ADDRESS	2995 S MANNHEIM RD
CITY STATE	DES PLAINES, IL 60018
REVISION 3 - 08/04/18 - JF	



LOT 6 – GAS STATION/MART PARCEL
MART/DUNKIN DONUTS SIGNAGE
(PER ORDINANCE Z-18-18)



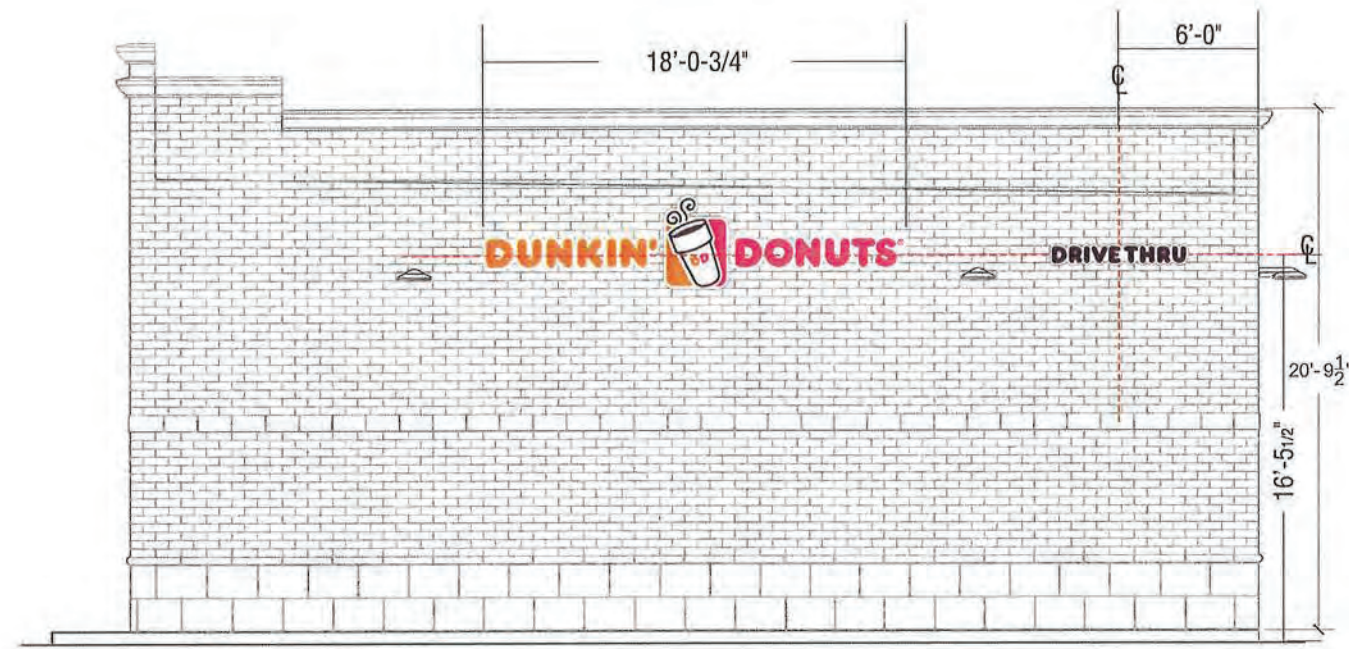
FRONT ELEVATION
1/8" = 1'-0"






NORTH SHORE SIGN
 1925 Industrial Drive Libertyville, Illinois 60048 847-816-7020
"Quality Signage Since 1930"

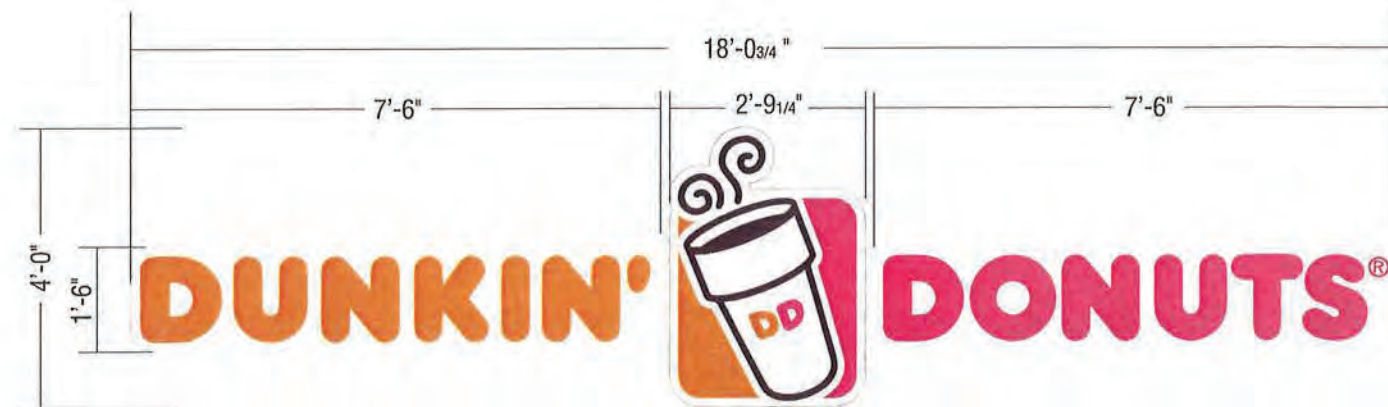
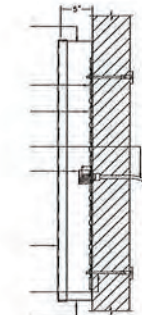
MART BUILDING / DUNKIN DONUTS THE ORCHARDS AT O'HARE MANNHEIM & HIGGINS RD. DES PLAINES IL.		SALESPERSON ART
SCALE NOTED	REVISED 5/15/18 SHOW BOTH SIGNS	DRAWING # 11405
DATE 4/10/18		pg. 5a
DRAW BY: AS		



SOUTH ELEVATION
1/8" = 1'-0"



INDIVIDUAL LED ILLUMINATED DISPLAY
1/2" = 1'-0"



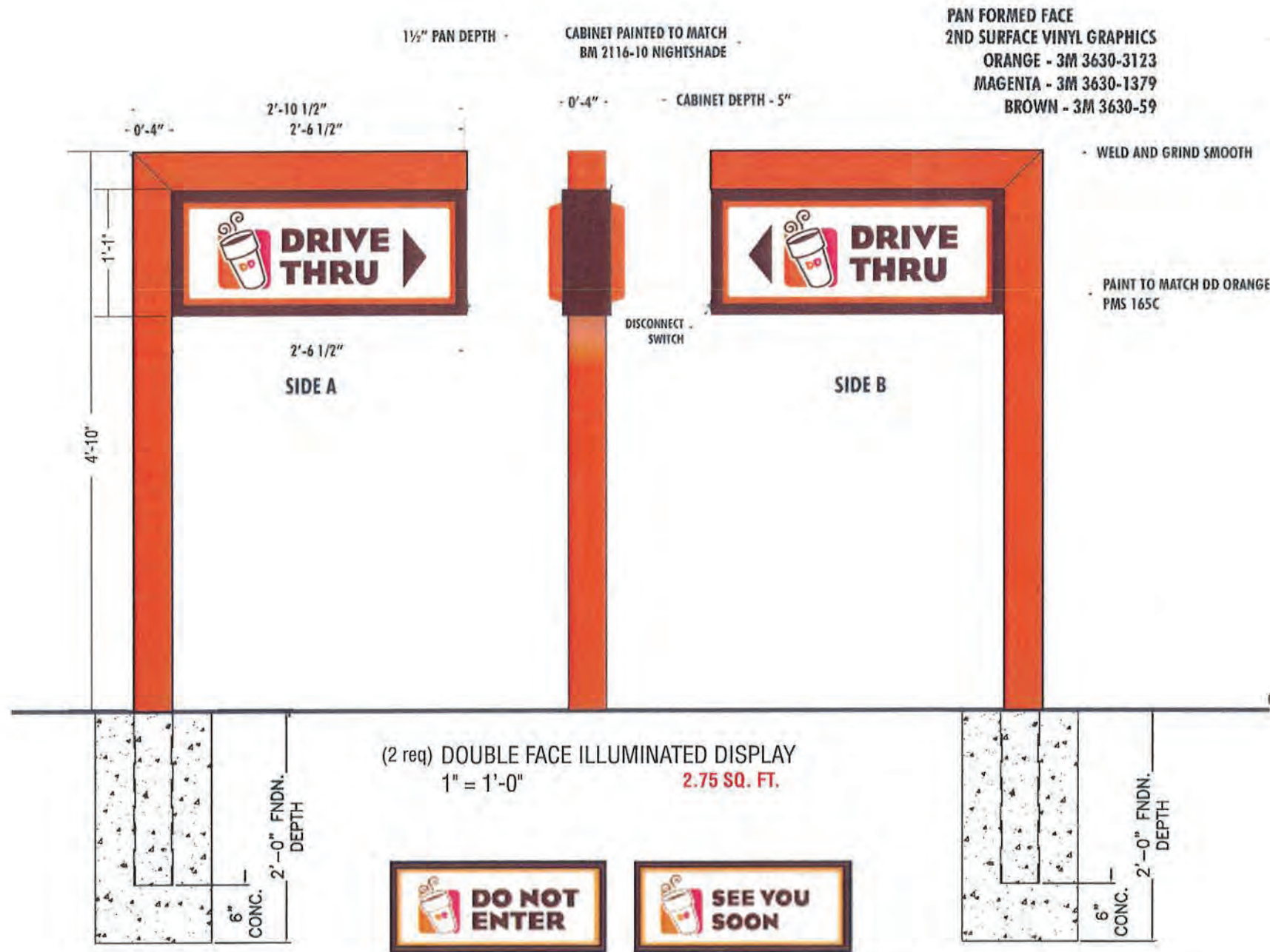
INDIVIDUAL LED ILLUMINATED DISPLAY
1/2" = 1'-0" **72 SQ. FT.**



NORTH SHORE SIGN
 1925 Industrial Drive Libertyville, Illinois 60048 847-816-7020
"Quality Signage Since 1930"

MART BUILDING / DUNKIN DONUTS THE ORCHARDS AT O'HARE MANNHEIM & HIGGINS RD. DES PLAINES IL.		
SCALE	NOTED	SALESPERSON ART
DATE	4/10/18	DRAWING # 11405
DRAW BY:	AS	pg. 5b

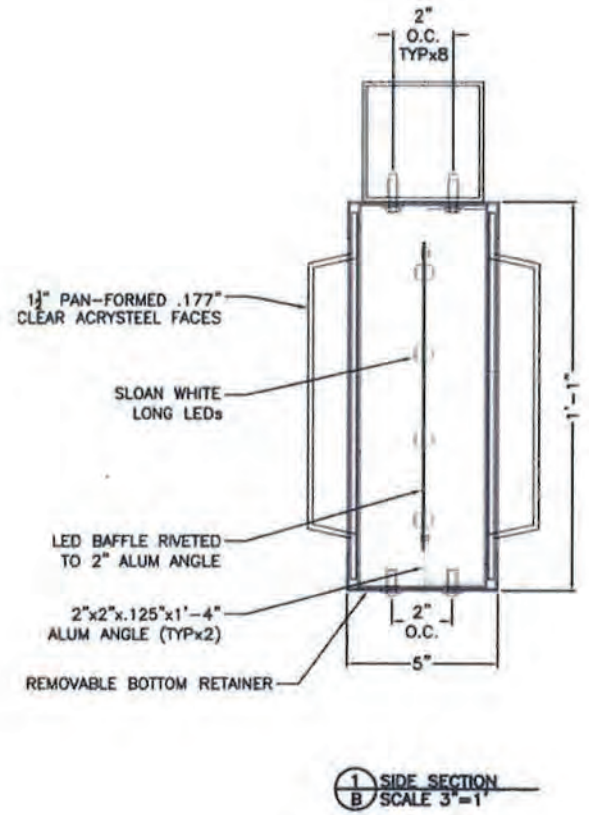
REV. 4/18/18



(2 req) DOUBLE FACE ILLUMINATED DISPLAY
1" = 1'-0" 2.75 SQ. FT.

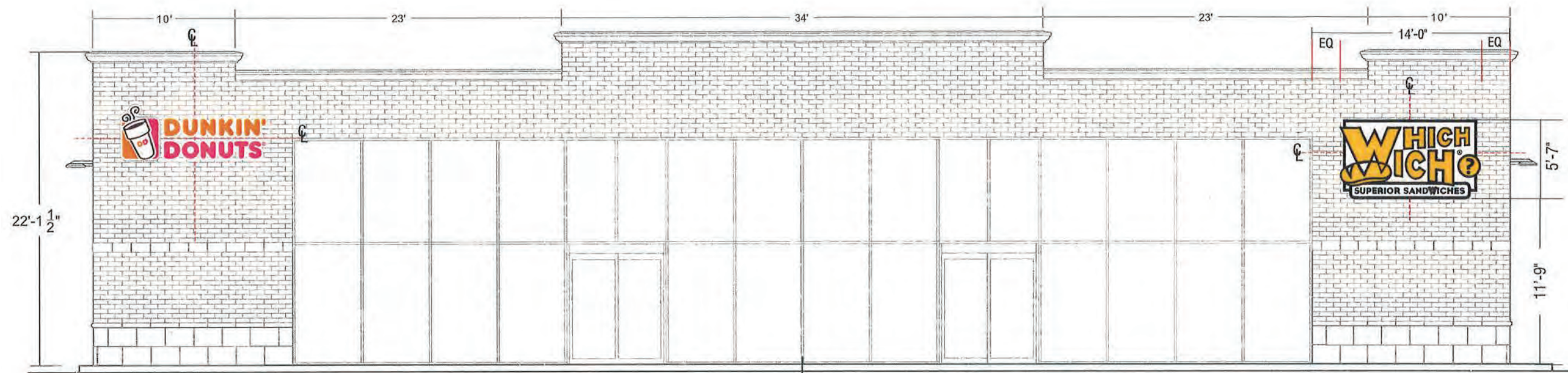


DISPLAY (2) FACE LAYOUTS



NORTH SHORE SIGN
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"Quality Signage Since 1930"

MART BUILDING / DUNKIN DONUTS THE ORCHARDS AT O'HARE MANNHEIM & HIGGINS RD. DES PLAINES IL.		
SCALE NOTED		SALESPERSON ART
DATE 4/10/18		DRAWING # 11405
DRAW BY: AS	REV. 4/18/18	pg. 5d

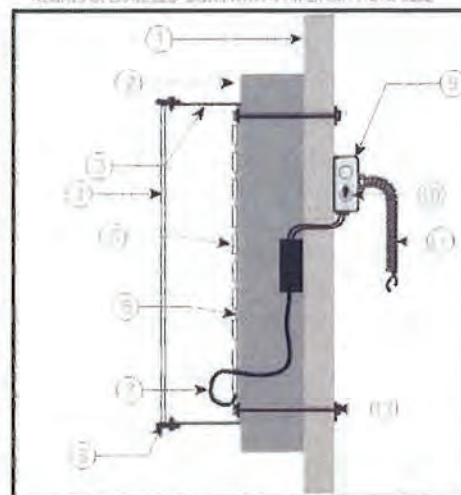


FRONT ELEVATION
1/8" = 1'-0"



SINGLE FACE ILLUMINATED DISPLAY
3/8" = 1'-0" 55.8 SQ. FT.

VOLTS REQ'D: 120V
CUSTOMER TO PROVIDE REQUIRED ELECTRICAL SPECIFICATION
CIRCUITS REQUIRED: 1
WIRING AS PER ILL. LABEL: A
ALWAYS OPERATE LED SIGNS WITH A DIMMER OR PHOTO CELL



- LED ILLUMINATED PAN CHANNEL LETTER DETAIL
1. SIGNMOUNT PANEL
 2. NON-ILLUMINATED CABINET WITH RETURNS PAINTED BLACK
 3. SIGNMOUNT PANEL
 4. SIGNMOUNT PANEL
 5. LED ILLUMINATION - SLOAN CL-5 WHITE
 6. SIGNMOUNT PANEL
 7. LOW-VOLTAGE WIRE
 8. SIGNMOUNT PANEL
 9. SIGNMOUNT PANEL
 10. SIGNMOUNT PANEL
 11. SIGNMOUNT PANEL

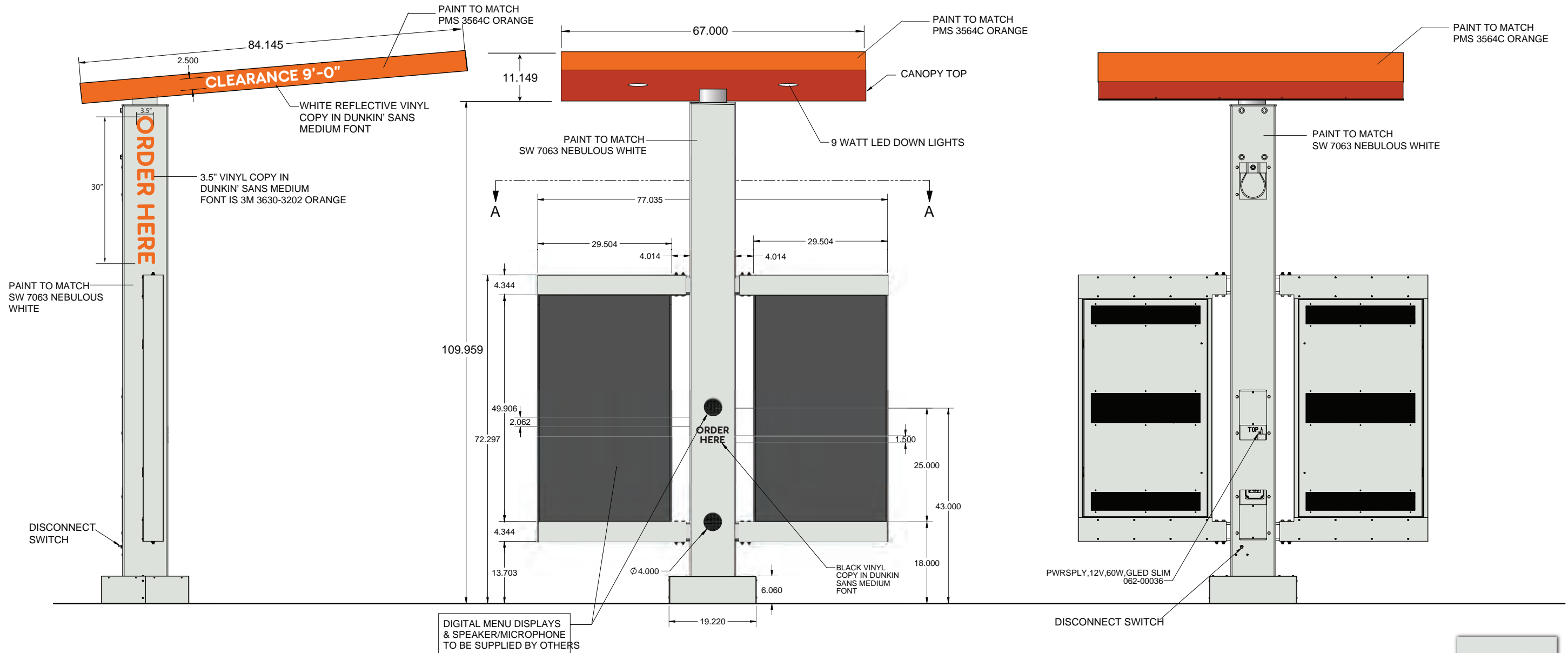
NORTH SHORE SIGN
1925 Industrial Drive Libertyville, Illinois 60048 847-816-7020
"Quality Signage Since 1930"

MART BUILDING / WHICH/WICH (THE ORCHARDS AT O'HARE) 3003 N. MANNHEIM RD. DES PLAINES IL.		
SCALE NOTED	REVISED 5/15/18 SHOW BOTH SIGNS	SALESPERSON ART
DATE 4/11/18		DRAWING # 11408
DRAW BY: AS		pg. 6

LOT 6 – GAS STATION/MART PARCEL
DUNKIN DONUTS EXISTING SIGNAGE

(NOT INCLUDED IN ORDINANCE Z-18-18)

- MENU BOARD
- CLEARANCE BAR
- DRIVE THRU WINDOW AWNING



GENERAL NOTES:

APPROX. WEIGHT: 1,170 LBS. (INCLUDING DIGITAL DISPLAYS)

ELECTRICAL SPECS:

- QTY. (1) 12 VDC 60 WATT POWER SUPPLY
- TOTAL CONNECTED LOAD: 0.9 AMPS @ 120VAC 50/60HZ

LIGHTING:

- QTY. (2) 12VDC 9W DOWNLIGHTS (3000K WARM WHITE)

MATERIALS:

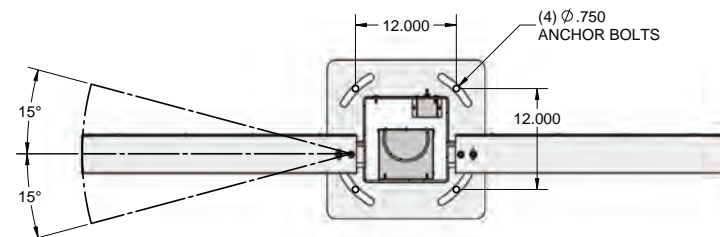
- 3003-H14 ALUMINUM SHEET
- ASATM A36 STEEL SHAPES

FINISH:

- EXPOSED SURFACES OF CANOPY TOP POWDER COATED TO MATCH PMS165C
- EXPOSED SURFACES OF COLUMN POWDER COATED 303-00293 PWDRCCT,NEB WHITE AAMA 2604
- APPROVED LOGOS AND COLORS

SERVICE:

- REMOVE ACCESS COVERS ON BACK OF UNIT



SECTION A-A

Nebulous White
SW 7063

BY EXCEPTION ONLY

DD NEXT GEN CANOPY W/ DIGITAL MENUBOARD, SPEAKER/MIC- NEW 2022



Everbrite, LLC.
4949 S. 110th Street, Greenfield, WI 53228
Phone: 414-529-3500 • Fax: 414-529-7191
Website: www.everbrite.com

Part No: **E039075**

Description: DD-VIS22-SS-DT-02 NEXT GEN CANOPY W/
DUAL DIGITAL MENUBOARD

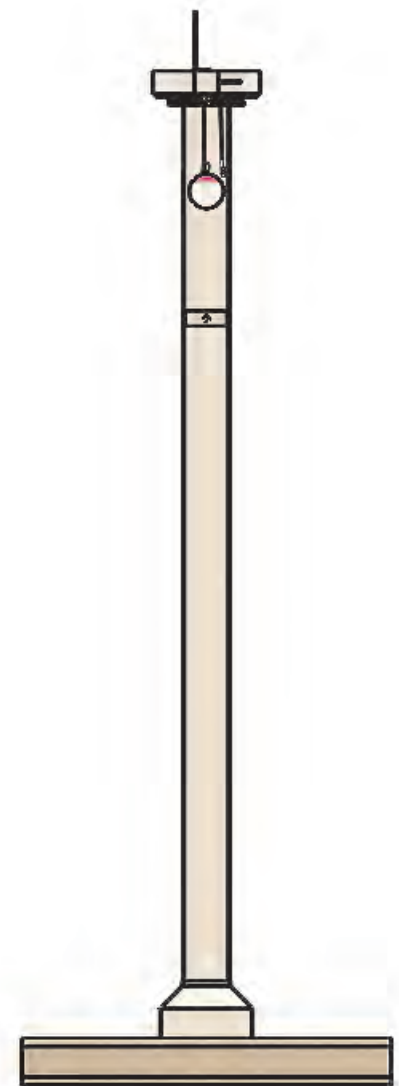
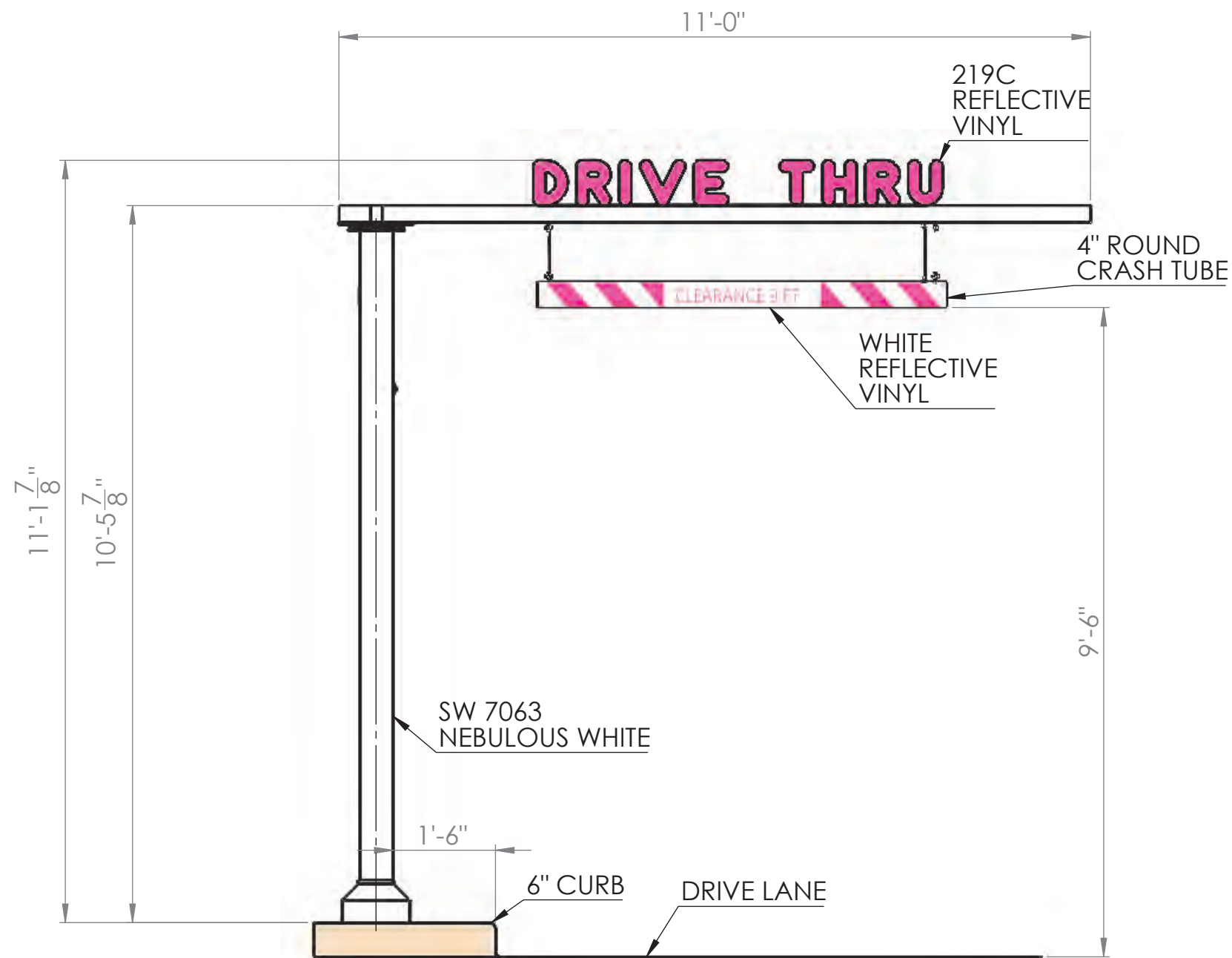
Project No: 475674-3

Drawn By: CH

Date: 04/10/2023

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Uni-Structures, Inc.

8540 COBB CENTER DR.
 STE 100 KENNESAW, GA 30152
 PHONE: (770)-499-2000
 PHONE: (800)-386-9864

CLIENT: DUNKIN		MADE IN THE USA	
		DATE: 6/17/2019	
LOCATION: STANDARD			
STORE: #####	DWG #: #####	ASSEMBLY #: Dunkin-Single-Clearance Bar	
FILE LOCATION: z:\00---Projects\Dunkin Donuts\4---Standards\Clearance Bar Single\Clearance Bar 9'\			
SALES: DANA FREDERICKS	DESIGNER: D. CARTER	SCALE: NTS	

NOTE:
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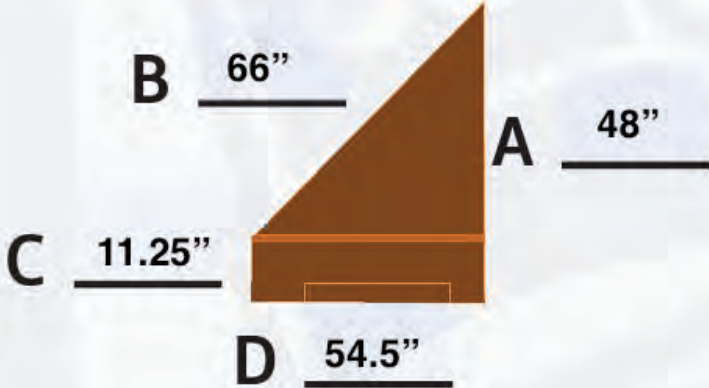
ASSEMBLY #:
 Dunkin-Single-Clearance Bar
 SHEET: 1 OF 1

DUNKIN' DONUTS AWNING

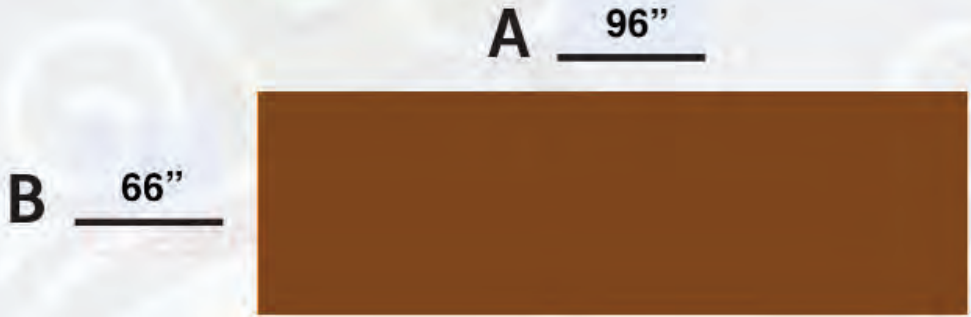
Free Trial



Illuminated
Illumination Type:



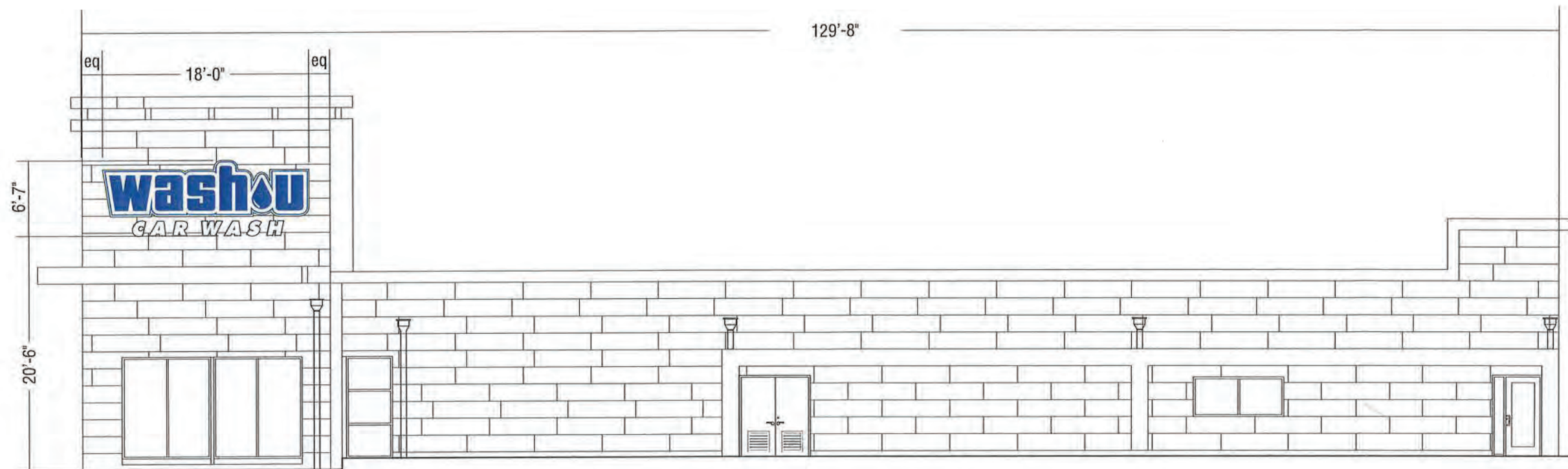
Non-Illuminated:



LOT 7

CAR WASH PARCEL

- PRIOR APPROVED SIGNAGE
(PER ORDINANCE Z-18-18)



SOUTH ELEVATION
3/32" = 1'-0"



118.5 SQ. FT.

INDIVIDUAL LED ILLUMINATED CHANNEL LETTERS
1/4" = 1'-0"

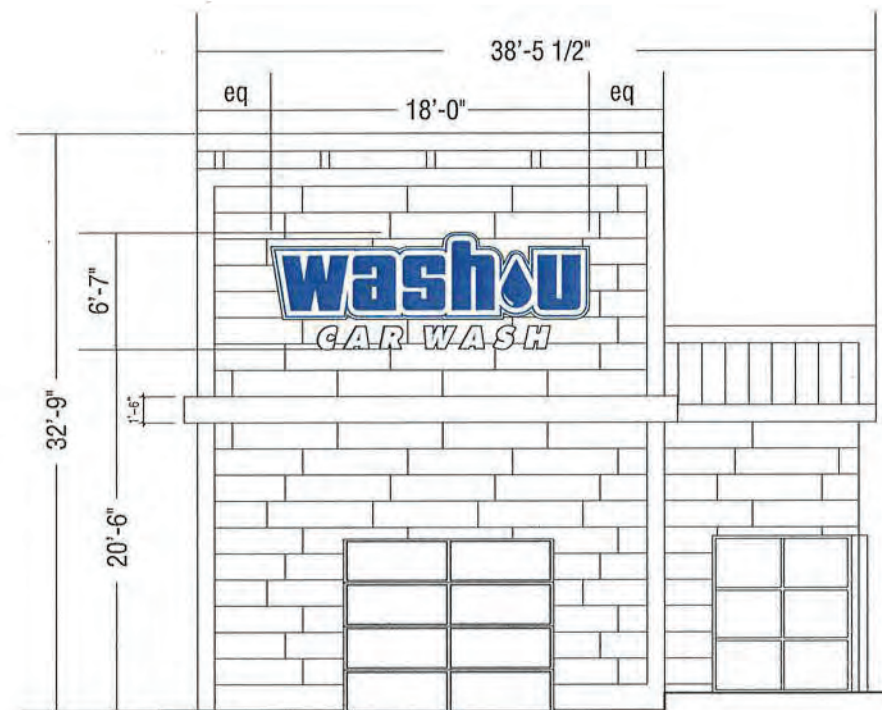
FABRICATED CHANNEL LOGO SHAPE / WHITE POLYURETHANE FINISH
WHITE LED ILLUMINATION / PAN FORMED POLYCARBONATE FACE
BLUE (230-157) VINYL GRAPHICS
FLUSH MOUNTED TO WALL / REMOTE POWER SUPPLY

FABRICATED INDIVIDUAL CHANNEL LETTERS / BLUE (PMS 288) POLYURETHANE FINISH
WHITE LED ILLUMINATION / WHITE PLEX FACES / WHITE TRIM CAPS
BLUE (230-157) VINYL OUTLINE / FLUSH MOUNTED TO WALL / REMOTE POWER SUPPLY



1925 Industrial Drive Libertyville, Illinois 60048 847-816-7020
"Quality Signage Since 1930"

CAR WASH (THE ORCHARDS AT O'HARE) MANNHEIM RD. DES PLAINES, IL.		SALESPERSON ART
SCALE	NOTED	DRAWING # 11410 PG. 1
DATE	4/13/18	
DRAW BY:	AS	



EAST ELEVATION
3/32" = 1'-0"



118.5 SQ. FT.

INDIVIDUAL LED ILLUMINATED CHANNEL LETTERS
1/4" = 1'-0"

FABRICATED CHANNEL LOGO SHAPE / WHITE POLYURETHANE FINISH
WHITE LED ILLUMINATION / PAN FORMED POLYCARBONATE FACE
BLUE (230-157) VINYL GRAPHICS
FLUSH MOUNTED TO WALL / REMOTE POWER SUPPLY

FABRICATED INDIVIDUAL CHANNEL LETTERS / BLUE (PMS 288) POLYURETHANE FINISH
WHITE LED ILLUMINATION / WHITE PLEX FACES / WHITE TRIM CAPS
BLUE (230-157) VINYL OUTLINE / FLUSH MOUNTED TO WALL / REMOTE POWER SUPPLY



NORTH SHORE SIGN

1925 Industrial Drive Libertyville, Illinois 60048 847-816-7020
"Quality Signage Since 1930"

CAR WASH (THE ORCHARDS AT O'HARE) MANNHEIM RD. DES PLAINES, IL.		
SCALE	NOTED	SALESPERSON
DATE	4/13/18	ART
DRAW BY:	AS	DRAWING # 11410 PG. 2

QUALIFYING STATEMENT AND NARRATIVE

Date: July 13th, 2023

John Carlisle, AICP
Director of Community & Economic Development
City of Des Plaines
1420 Miner Street
Des Plaines, IL 60016
(847) 391-5545

Ref: Qualifying statement and narrative for a proposed ~2,523 sq.ft. Popeyes restaurant with a drive-thru window located in an outlot of Orchards @ O'Hare at Mannheim Road and W. Higgins Road, Des Plaines, IL 60018.

This qualifying statement and narrative is intended to meet the requirements of the Final Development and Conditional Use P.U.D. petition. The petitioner, Rehan Zaid of Orchards Lot 5, LLC on behalf of the lessee, Fayaz Khowaja of KBN Des Plaines, LLC doing business as Popeyes Louisiana Kitchen, is proposing the development and construction of a single story, drive-thru Popeyes Louisiana Kitchen restaurant, approximately 2,523 sq.ft. in gross area to be located at the NE corner of Mannheim Road and W. Higgins Road, Des Plaines, IL 60018.

The proposed Popeyes development is in the northern half of Lot-5, measuring approximately 41,514 sq.ft. or 0.953 acres, in the existing Orchards @ O'Hare located at the northeast corner of Mannheim Road and W. Higgins Road. The proposed development is bound by an access road to its north, Mannheim Road to its west, a Tesla charging facility to its south, and the Holiday Inn Express & Suites Hotel to its east. Vehicular access to Lot-5 will be from the north access road and W. Higgins Road via Orchard Place to the south.

The proposed development is in the C3, General Commercial District requiring a P.U.D. + Conditional Use approval from the City of Des Plaines. To our knowledge and at this time, the petitioner is not seeking any departures or variances from the existing City of Des Plaines zoning ordinances.

Based on the City of Des Plaines' Official Zoning Map, the immediate surrounding neighborhood is also zoned C3.

The proposed drive thru restaurant will have a gross building footprint of about approximately 2,523 sq.ft. with a total of 48 parking spaces including 2 accessible parking spaces dedicated to the restaurant. The building is set back approximately 62'-2" from the west property line, approximately 79'-9" from the north property line, approximately 38'-0" from the south property/leasing line and approximately 96'-5" from the east property line. The Popeyes and Tesla properties will be connected to each other by means of 24'-0" wide driveways. Bike racks are provided just east of the south main entrance to the restaurant. A 11'-0" side-by-side drive thru lane with two external digital menu boards loops around the proposed building commencing at the southwest corner of the proposed building and terminating at the northwest corner of the proposed building. The drive thru will have two windows, one for payment and the other for order pickups. The side-by-side drive thru lane shall have a single stack of 6-10 vehicles from the start of the drive thru lane to the second drive thru pickup window.

The restaurant will have a total of at least 24 interior seats and 8 exterior seats. The proposed building will be wood stud framed with a fire alarm system. The exterior finishes of the proposed building will mainly be white and reddish thin brick juxtaposed with accent walls of cedar wood siding. Glazed entry doors and windows shall be of an orange or black anodized aluminum frame material shaded with metal canopies finished in exotic bright orange or teal colors. Decorative architectural elements such as framed murals will be installed on the north and south elevations to break up the monotony of having blank brick walls.

A trash enclosure will be situated at the northeast corner of Lot-5 in an enclosed area constructed of a 6'-0" high CMU wall and clad/finished to match the main building. The site will be adequately landscaped, lit and remain within the limits of the City of Des Plaines' landscape and lighting ordinances.

Water, electric, gas, communication and sanitary utilities will be provided as required.

Business hours for the proposed Popeyes will be as follows:

10 a.m. – 12 a.m.:	Sunday thru Thursday
10 a.m. – 1 a.m.:	Friday and Saturday

A minimum of 6 employees and a maximum of 12 employees will be present at any given time during business hours at this restaurant.

The franchisee of this Popeyes restaurant expects about 60% of drive thru business with 30% catered to the sit-down & takeaway patrons and 10% expected to be online orders. According to Popeyes' standards, the maximum time it takes a drive-thru customer to order food at the drive-thru menu board and pick it up at the drive-thru window, is approximately 180 seconds or 3 minutes.

The proposed Popeyes restaurant will be developed and constructed in accordance with the building and health code requirements of the City of Des Plaines, while also maintaining the general safety and welfare of the community.

Tesla Charging

Tesla, Inc. (“Tesla”) combines world-class engineering, technology, and design with state-of-the-art manufacturing to create a new generation of electric vehicles, vehicle charging equipment, and energy storage systems.

Tesla is a leader in electric vehicle supply equipment, including Level 2 and Direct Current Fast Charging (DCFC). Tesla’s Supercharger network is the largest DCFC network in North America. Launched in 2012 to enable customers to travel freely in electric vehicles, there are more than 2,000 locations in North America. You can see locations at tesla.com/supercharger

Tesla is committed to providing the highest quality customer experience to ensure that electric vehicles are a convenient and seamless alternative to internal combustion engine vehicles. Superchargers are strategically placed along popular travel routes and are conveniently located near desirable amenities like restaurants, retail, and restrooms. Each site has multiple charging stalls to ensure availability and reliability for the growing number of EVs on the road. Tesla’s Superchargers are highly reliable, achieving an average charger uptime of greater than 99% across the network.

Project Approach

Tesla Superchargers are designed to deliver a pleasant, reliable, and safe charging experience. A seamless customer experience drives all site planning decisions.

Tesla’s Charging team has global experience in designing, permitting, constructing, and operating DCFC charging stations across a variety of jurisdictions, climates, and geographies. Sites are planned, designed, and permitted by an in-house team with extensive deployment experience. This team oversees site construction, working with qualified vendors selected through a rigorous process. Tesla’s project managers are highly trained and share best practices across regions. This coordination increases project efficiency, improves problem-solving, and facilitates innovation.

Site Specifics

Address: 3001 Mannheim Rd, Des Plaines, IL

This site includes 52 DCFC stations, each equipped with one North American Charging Standard (NACS) connector (formerly Tesla connector), capable of charging up to 52 vehicles at once. Included are three ADA stalls compliant with Federal requirements.

Tesla Superchargers do not require any staffing.

The primary goal of the proposed charging location is to fill an existing DCFC infrastructure gap in Des Plaines and to support the growing number of Tesla’s in the area. The proposed site will have the added benefits of (1) promoting local and regional EV adoption; (2) providing affordable and reliable charging infrastructure; (3) generating economic benefits for local

businesses by attracting new local and traveling customers; (4) and reducing local air pollution and greenhouse gas emissions.

Project Schedule

All sites are planned and designed by Tesla’s in-house Deployment Team. This team oversees site construction, working with qualified vendors selected through a rigorous process. Tesla’s project managers are highly trained and share best practices across regions.

Vertical integration is key to Tesla’s ability to meet an aggressive deployment schedule. All equipment is designed, manufactured, pre-assembled, and tested at Tesla’s Gigafactory 2 location in Buffalo, NY. Tesla has received all required budget approvals to proceed with building the proposed location and will make all efforts to complete the below milestones in a timely manner.

The Construction Manager and primary contact for this project implementation, Kenny Jones, will hold regular meetings with the site deployment team to ensure that project schedule and milestones remain on track.

Tesla anticipates this site to be operational and open to the public by September of 2024.

TABLE 1: KEY MILESTONE TARGET COMPLETION DATES

	<i>Des Plaines</i>
<i>Finalize site location</i>	Complete
<i>Execute site host agreement</i>	Complete
<i>Start Construction</i>	September 2023
<i>Complete Construction</i>	February 2024
<i>Open site to public</i>	March 2024

Customer Service

To ensure a seamless and safe customer experience, Tesla’s Operations Team monitors all Tesla owned and operated charging locations 24/7. Site equipment includes sensors that report post level health and automatically alert our maintenance team if a charger is not working properly. Sites are serviced and maintained by a dedicated team of full-time employees. Site hosts are provided a dedicated 24/7 support line. Tesla also monitors social media and solicits customer feedback through the Tesla app regarding their charging experience at each site. In most situations, a technician is on site to address any servicing needs within 48-72 hours.

Safety

Customer, employee, and contractor safety remain Tesla’s top priority. Safety incidents at Tesla’s existing Supercharger deployments remain low. Tesla tracks all safety incidents and continues to

improve processes and procedures to minimize incidents and impacts. Additionally, Tesla has numerous safety protocols and training materials developed to meet OSHA standards. Tesla also sets minimum expectations for its vendors and contractors.

Tesla Supercharger sites have numerous automatic protection mechanisms; including circuit breakers for over current and ground fault protection, isolated DC outputs, and several safety checks that occur before starting and throughout each charge session. These safety checks monitor several charge session parameters and automatically stop charging and deenergize each charge post in case of any safety critical fault. Each charge post is always deenergized until a vehicle has plugged in and both the vehicle and Supercharger have completed their automated safety checks.

Tesla provides local first responders with materials that include detailed equipment specifications and disconnect instructions in case of emergencies. Information to assist first responders with all Tesla products in case of emergency is available here:

<https://www.tesla.com/firstresponders>.

Usage Fees

The goal of the Supercharger network is to enable freedom to travel in an electric vehicle. Tesla strives to deliver charging at the lowest price possible, considering a variety of factors including local utility rates, site construction, and maintenance costs.

LOT 5 - ORCHARDS AT O'HARE 2995 - 3001 MANNHEIM ROAD PRELIMINARY ENGINEERING PLANS

SECTION 33 TOWNSHIP 41 NORTH RANGE 12 EAST
DES PLAINES, ILLINOIS
COOK COUNTY

MISCELLANEOUS NOTES:

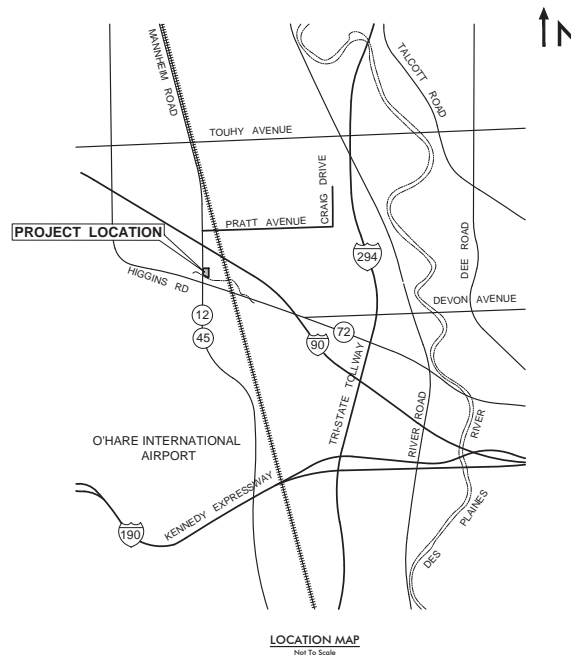
1. ALL CURB & GUTTER IS B6.12 CURB & GUTTER UNLESS NOTED OTHERWISE
2. THE CITY OF DES PLAINES SHALL BE NOTIFIED A MINIMUM OF 48 HOURS IN ADVANCE OF ANY REQUIRED SITE INSPECTIONS.
3. PRIOR TO THE ACCEPTANCE OF THE WATER MAIN, THE OWNER/DEVELOPER SHALL ENTER INTO A MAINTENANCE AGREEMENT WITH THE CITY OF DES PLAINES THAT DEFINES THE MAINTENANCE OBLIGATIONS OF THE PARTIES FOR THE WATER MAIN AND SERVICES.
4. PARKING LOT LIGHTING SHALL BE LED (3000K). REFER TO SITE LIGHTING PLANS FOR ADDITIONAL INFORMATION.
5. AN ELEVATION CERTIFICATE FOR THE BUILDING SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF DES PLAINES PRIOR TO OCCUPANCY.
6. FIRE HYDRANTS ARE TO BE CURRENT YEAR.
7. ALL EXCAVATED MATERIAL IS TO BE REMOVED DAILY.

MWRD FLOODPLAIN NOTES:

1. BASE FLOOD ELEVATION (B.F.E.) [VARIES 635.70 TO 636.15]
 - 635.70 AT EAST PROPERTY LINE
 - 636.15 AT STORM DISCHARGE/WEST PROPERTY LINE
2. FLOOD PROTECTION ELEVATION (F.P.E.) [VARIES 637.70 TO 638.15]
 - [F.P.E. = B.F.E. + 2.0]
 - 637.70 AT EAST PROPERTY LINE
 - 638.15 AT STORM DISCHARGE/WEST PROPERTY LINE
3. SANITARY MANHOLE NOTE:
 - ALL PROPOSED OR ADJUSTED SANITARY MANHOLES WITH AN ELEVATION BELOW 638.15 SHALL HAVE BOLTED-DOWN LIDS

MWRD SEASONALLY HIGH GROUND WATER NOTE:

PER THE SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING SERVICES REPORT PREPARED BY ECS (PROJECT NO. 16-8991-C11), DATED 08/19/2016, UPDATED 03/06/2017, "BASED ON THE RESULTS OF OUR PREVIOUS AND CURRENT EXPLORATIONS AND SOIL COLOR CHANGE, LONG-TERM STATIC GROUNDWATER AT THE PROJECT SITE IS ESTIMATED TO BE LOCATED AT A DEPTH OF APPROXIMATELY 10 TO 13 FEET BELOW EXISTING GRADE (E.G. APPROXIMATELY ±625 FEET TO ±627 FEET)". FOR THE PURPOSES OF THE MWRD WMO, THE 627-FEET ELEVATION HAS BEEN ASSUMED FOR CALCULATION AND PERMITTING PURPOSES. IN THE EVENT THAT DIFFERENT GROUNDWATER CONDITIONS ARE ENCOUNTERED DURING CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED.



INDEX TO SHEETS	
NO.	DESCRIPTION
C1	TITLE SHEET
C2	EXISTING CONDITIONS PLAN
C3	DEMOLITION PLAN
C4	GEOMETRY / PAVING PLAN
C5	UTILITY PLAN
C6	GRADING PLAN

Existing Symbol	Description	Proposed Symbol
⊙	Storm Sewer Manhole	●
○	Catch Basin	●
□	Inlet	●
○	Sanitary Manhole	●
○	Clean Out	○
→	Storm Sewer	→
→	Sanitary Sewer	→
→	Combined Sewer	→
—	Water Main	—
—	Underdrain	—
—	Roof Drain	—
—	Fire Hydrant	—
—	Valve Vault	—
—	Valve Box	—
—	B-Box	—
—	Well Head	—
—	Sprinkler	—
—	Light Pole	—
—	Light Pole With Mast Arm	—
—	Traffic Signal	—
—	Traffic Signal With Mast Arm	—
—	Hand Hole	—
—	Fence	—
—	Guardrail	—
—	Flagpole	—
—	Pipe Bollard	—
—	Sign	—
—	Gas Valve	—
—	Gas Meter	—
—	Gas Line	—
—	Electric Line	—
—	Overhead Utility Line	—
—	Cable Television Line	—
—	Electric Manhole	—
—	Electric Meter	—
—	Guy Wire	—
—	Utility Pole	—
—	Telephone Manhole	—
—	Telephone Line	—
—	Curb & Gutter	—
—	Reverse Pitch Curb & Gutter	—
—	Depressed Curb	—
—	Retaining Wall	—
—	Curb Elevation and Gutter/Pavement Elevation	—
—	Pavement Elevation	—
—	Ground Elevation	—
—	Contour Line	—
—	Deciduous Tree	—
—	Coniferous Tree	—
—	Treeline	—



Know what's below.
Call before you dig.

Note: Call 811 at least 48 hours, excluding weekends and holidays, before you dig.

Per City Review & Comment
Revision

08/25/2023
Date

1
No.

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TITLE SHEET
LOT 5 - ORCHARDS AT O'HARE
PRELIMINARY ENGINEERING PLANS
2995 - 3001 MANNHEIM ROAD

Project Manager: T A S
Engineer: P A C
Date: 07/17/2023
Project No. 15-180
Sheet C1 / C6



US 12/45 (MANNHEIM ROAD)

CP# 750
Cross Notch
N: 194.2805.5217
E: 1106297.1643
Elev.: 638.69

R=33.50'
L=24.61'
Ch Brg.= N 68° 40' 08" E

Ex Inlet A2-3A
Rim 637.92
Inv 634.54 (12" RCP NE)

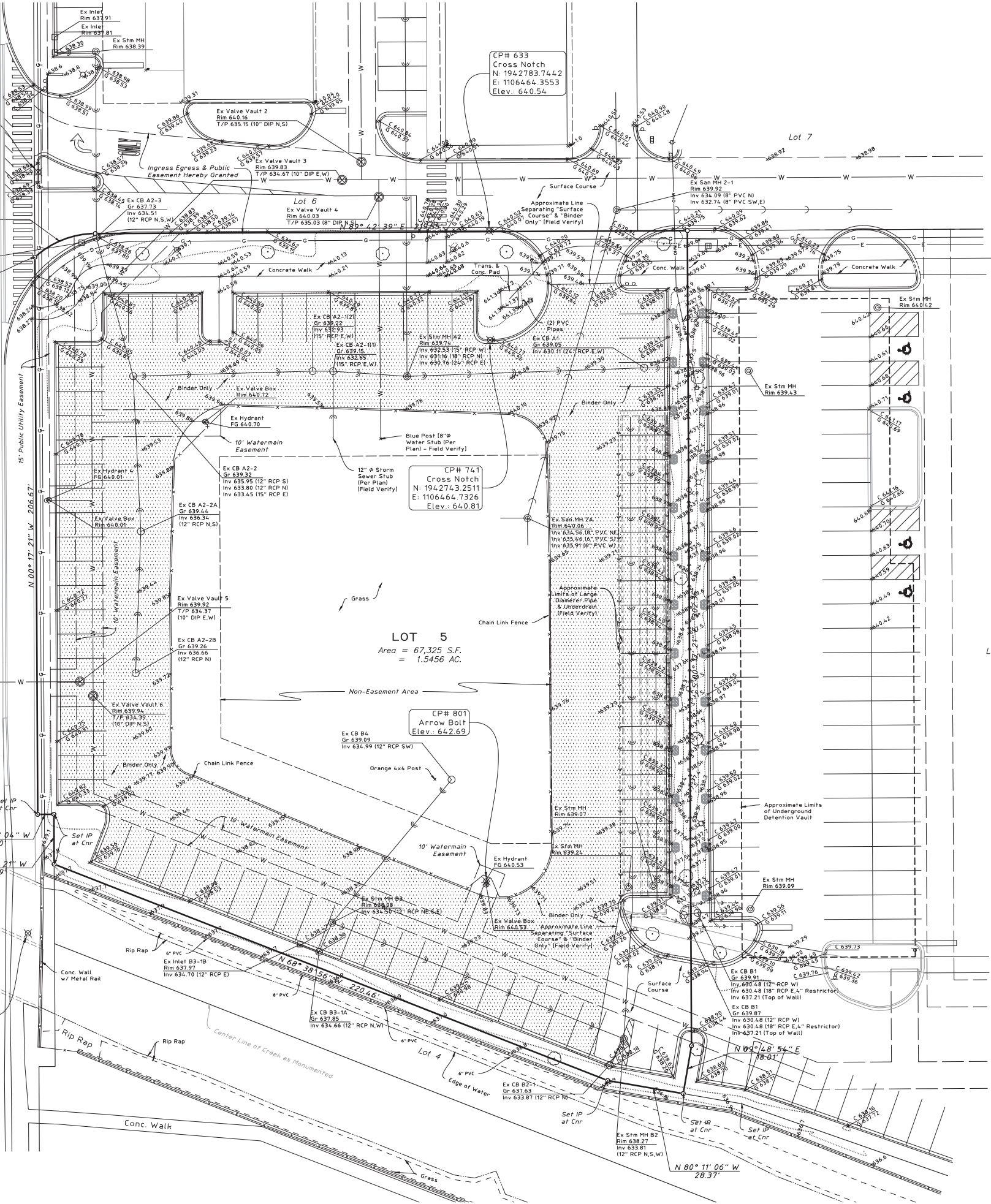
S 89° 38' 04" W
6.00
N 00° 37' 21" W
18.49

CP# 20731
Cross Notch
N: 194.2523.1666
E: 1106293.3303
Elev.: 639.76

CP# 633
Cross Notch
N: 194.2783.7442
E: 1106464.3553
Elev.: 640.54

CP# 741
Cross Notch
N: 194.2743.2511
E: 1106464.7326
Elev.: 640.81

CP# 801
Arrow Bolt
Elev.: 642.69



LOT 5
Area = 67,325 S.F.
= 1,5456 AC.

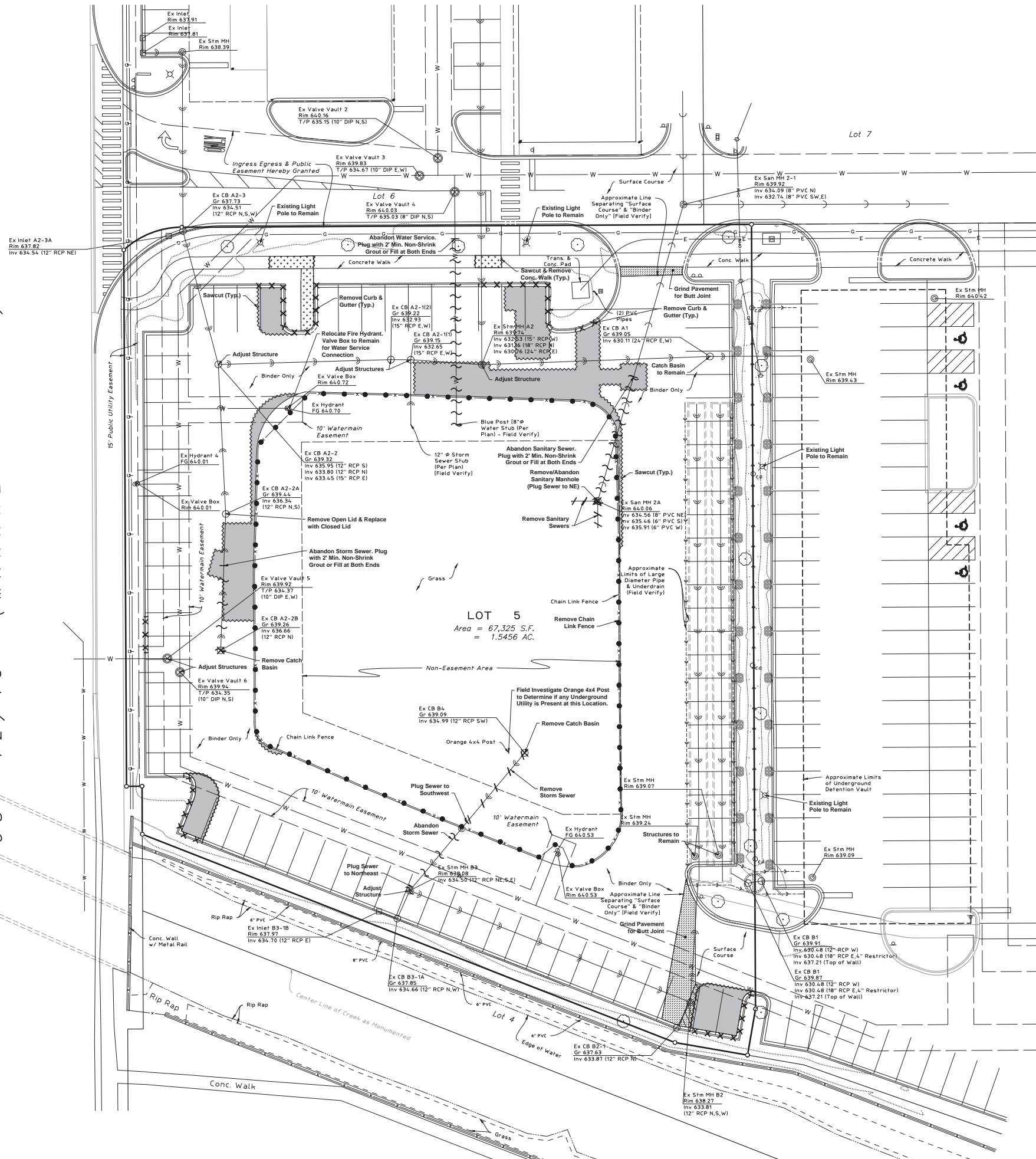
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EXISTING CONDITIONS PLAN
LOT 5 - ORCHARDS AT O'HARE
PRELIMINARY ENGINEERING PLANS
2995 - 3001 MANNHEIM ROAD

Project Manager: T A S
Engineer: P A C
Date: 07/17/2023
Project No. 15-180
Sheet C2
C6

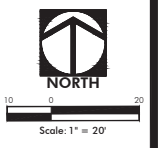
No.	Date	Revision
1	08/25/2023	Per City Review & Comment

U S 1 2 / 4 5 (M A N N H E I M R O A D)



DEMOLITION LEGEND

	PAVEMENT REMOVAL
	CONCRETE REMOVAL
	UTILITY REMOVAL
	ABANDON UTILITY
	CURB REMOVAL
	FENCE REMOVAL
	MISCELLANEOUS REMOVAL
	SAW CUT
	TREE REMOVAL
	TREE PROTECTION



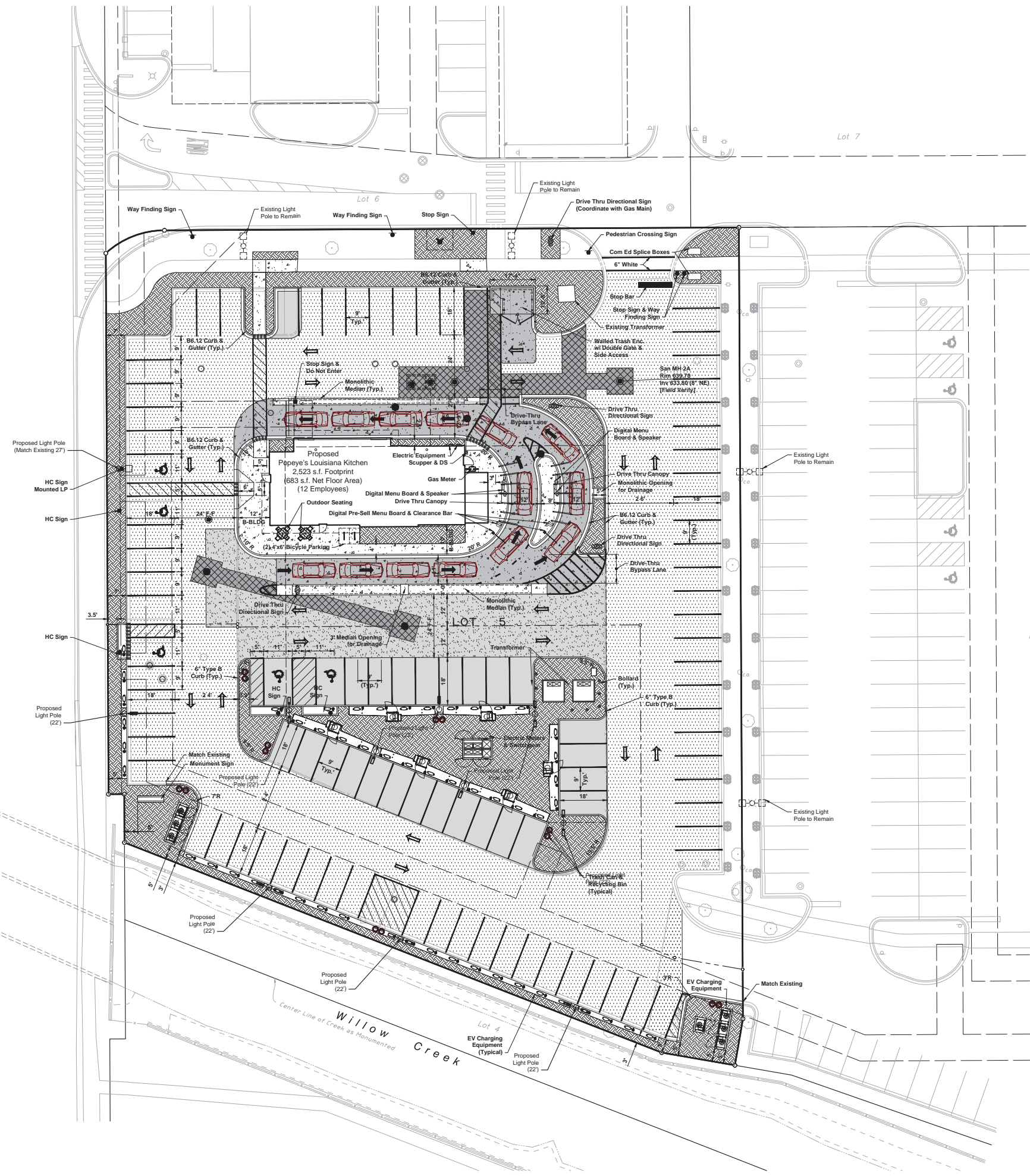
Per City Review & Comment
 08/25/2023
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 Revision

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DEMOLITION PLAN
LOT 5 - ORCHARDS AT O'HARE
PRELIMINARY ENGINEERING PLANS
 2995 - 3001 MANNHEIM ROAD

Project Manager: T A S
 Engineer: P A C
 Date: 07/17/2023
 Project No. 15-180
 Sheet C6

MANNHEIM ROAD

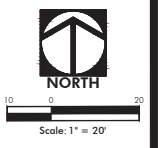


PAVING LEGEND

	HEAVY DUTY PAVEMENT (SN = 3.5) - 1 1/2" Hot Mix Asphalt (HMA) Surface Course, Mix D, N50 (Max. 15% RAP) - 4" Hot Mix Asphalt (HMA) Binder Course, IL-19.0, N50 (Max. 30% RAP) - 12" Aggregate Base Course, CA-6, Crushed **
	STANDARD PAVEMENT (SN = 2.4) - 1 1/2" Hot Mix Asphalt (HMA) Surface Course, Mix D, N50 (Max. 15% RAP) - 2 1/4" Hot Mix Asphalt (HMA) Binder Course, IL-19.0, N50 (Max. 30% RAP) - 5" Aggregate Base Course, CA-6, Crushed **
	OVERLAY AREA - 1 1/2" Hot Mix Asphalt (HMA) Surface Course, Mix D, N50 (Max. 15% RAP) - Level Binder Course as Required - Binder Repair (Match Existing Thickness) as Required
	CONCRETE PAVEMENT (SN = 3.2) - 6" PCC Pavement (Class PV) with 6" x 6" #6 Rigid Wire Mesh - 6" Aggregate Base Course, CA-6, Crushed **
	CONCRETE WALK - 5" PCC Walk - 4" Aggregate Base Course, CA-6, Crushed **
	FULL-DEPTH PAVEMENT REPLACEMENT (UTILITY TRENCH) - Replace Pavement in Kind
	LANDSCAPING AREA (Refer to Landscape Plan & Remedial Action Plan) Note: Shall include a minimum of 35" clean (TACO Compliant) material. The 36" of clean (TACO Compliant) material shall include a minimum of 6" clean (TACO Compliant) topsoil for the upper layer.

** If existing undocumented Fill is left in place, the geotechnical engineer recommends that an additional 4 inches of aggregate base be added for each on-site pavement section to help reduce the potential for premature pavement distress. Otherwise, consideration may be given to utilizing a medium to heavy weight stabilization geotextile (Miraf R5380 or R5580) beneath the new pavement section.

- Existing Binder Notes:**
- Existing binder adjacent to curb and gutter to remain and existing casting shall be graded to provide 1 1/2" of depth for proposed 1 1/2" HMA surface course.
 - Existing binder to remain shall be inspected and repaired as required prior to installing the surface course.



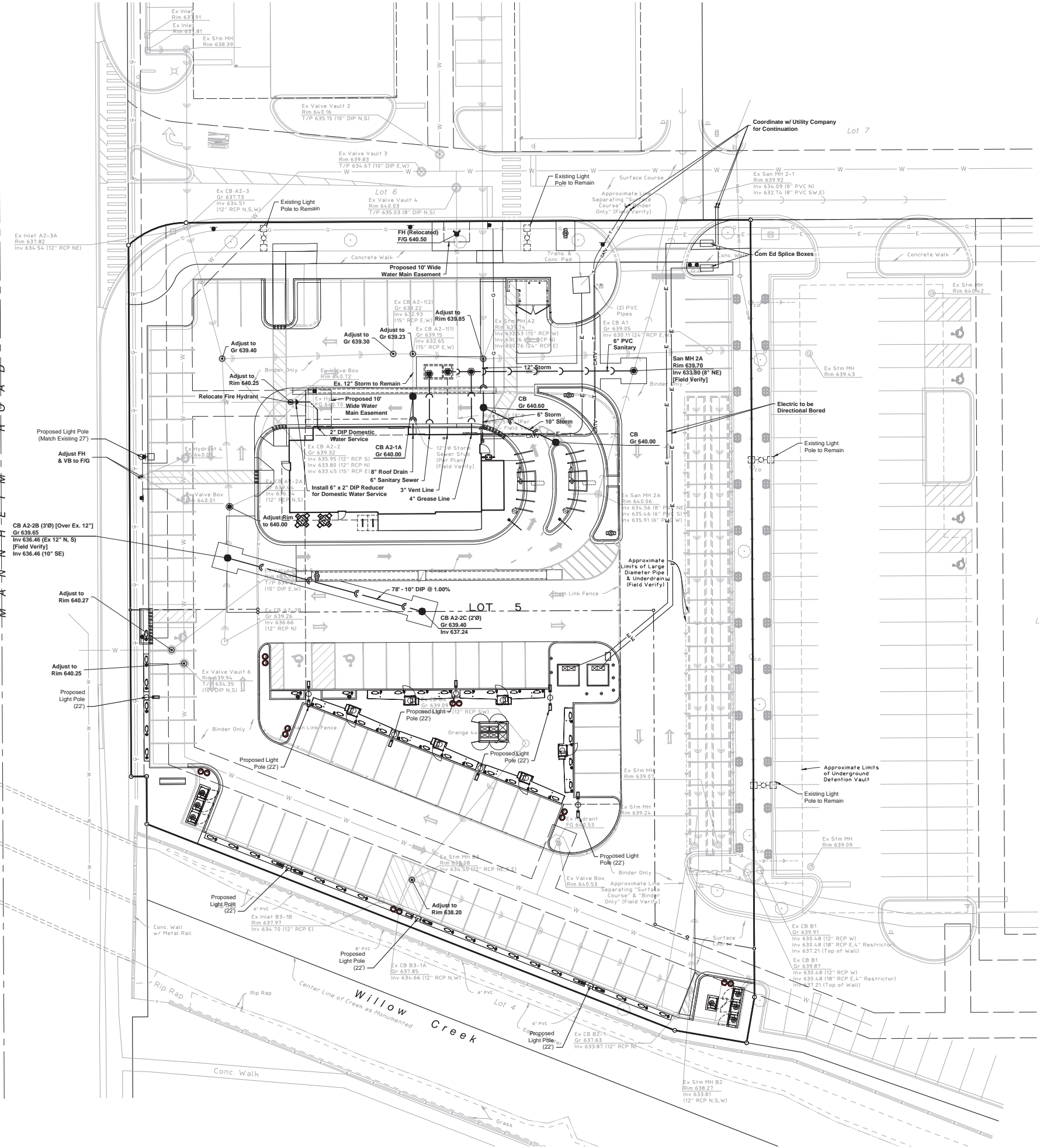
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GEOMETRY / PAVING PLAN
LOT 5 - ORCHARDS AT O'HARE
PRELIMINARY ENGINEERING PLANS
2995 - 3001 MANNHEIM ROAD

Project Manager:	TAS
Engineer:	PAC
Date:	07/17/2023
Project No.:	15-180
Sheet:	C4



MANNHEIM ROAD



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UTILITY PLAN
LOT 5 - ORCHARDS AT O'HARE
PRELIMINARY ENGINEERING PLANS
2995 - 3001 MANNHEIM ROAD

Project Manager: T A S
Engineer: P A C
Date: 07/17/2023
Project No. 15-180
Sheet C5

Per City Review & Comment
08/25/2023
Date

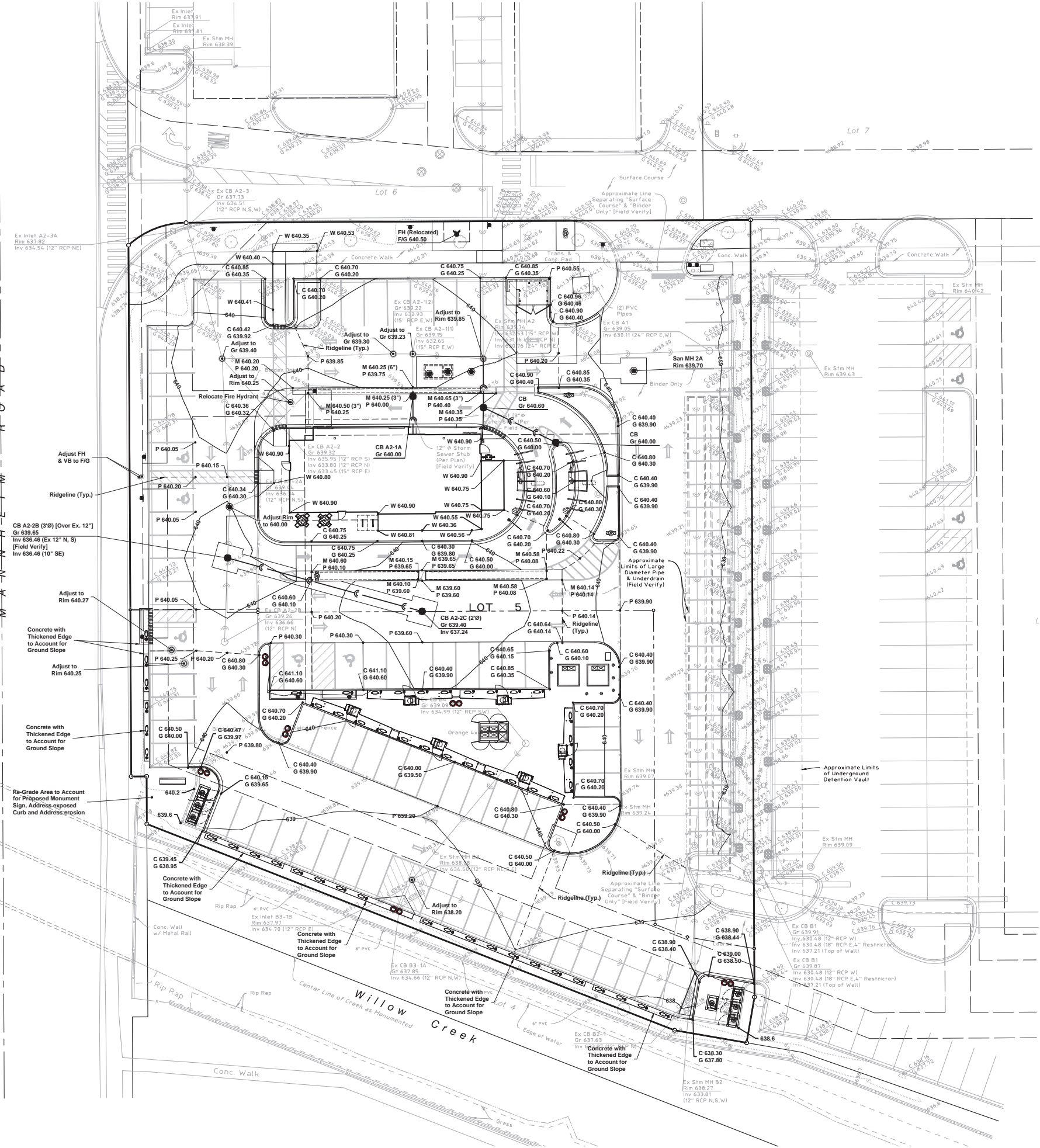
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Revision



MANNHEIM ROAD



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GRADING PLAN
LOT 5 - ORCHARDS AT O'HARE
PRELIMINARY ENGINEERING PLANS
2995 - 3001 MANNHEIM ROAD

Project Manager: T A S
Engineer: P A C
Date: 07/17/2023
Project No. 15-180
Sheet C6

No.	Date	Per City Review & Comment	Revision
1			

ZONING BULK REGULATIONS AND INFORMATION:

EXISTING ZONE:

C3 - General Commercial District, P.U.D.

LOT AREA:

Existing lot area - Approx. 41,514 sq.ft. or 0.953 acres

BUILDING AREA:

Proposed Popeyes - Approx. 2,523 sq.ft. (Gross Area)
 Approx. 683 sq.ft. (Net Floor Area);

BUILDING HEIGHT:

Allowable Building Height - 45'-0" max.
 Proposed Building Height - ~19'-0" at highest point.

BUILDING SETBACKS:

Front (West): 5'-0" min. required; provided - approx. 62'-2"
 Side (North): 5'-0" min. required; provided - approx. 79'-9"
 Side (South): 5'-0" min. required; provided - approx. 38'-0"
 Rear (East): 5'-0" min. required; provided - approx. 96'-5"

PARKING REQUIREMENTS: Class-B type restaurant

Per ordinance: 1 space per 50 sq.ft. of net floor area, OR
 1 space for every 4 seats, whichever is greater, +
 1 space for every 3 employees = $(683 / 50) + (12 / 3) =$
 17.66 i.e. 18 parking spaces.

Parking spaces provided for Popeyes (Subtotal-1) + Tesla (Subtotal-2)

Popeyes

Standard stalls: 46
 HC stalls: 2
 Subtotal-1: 48

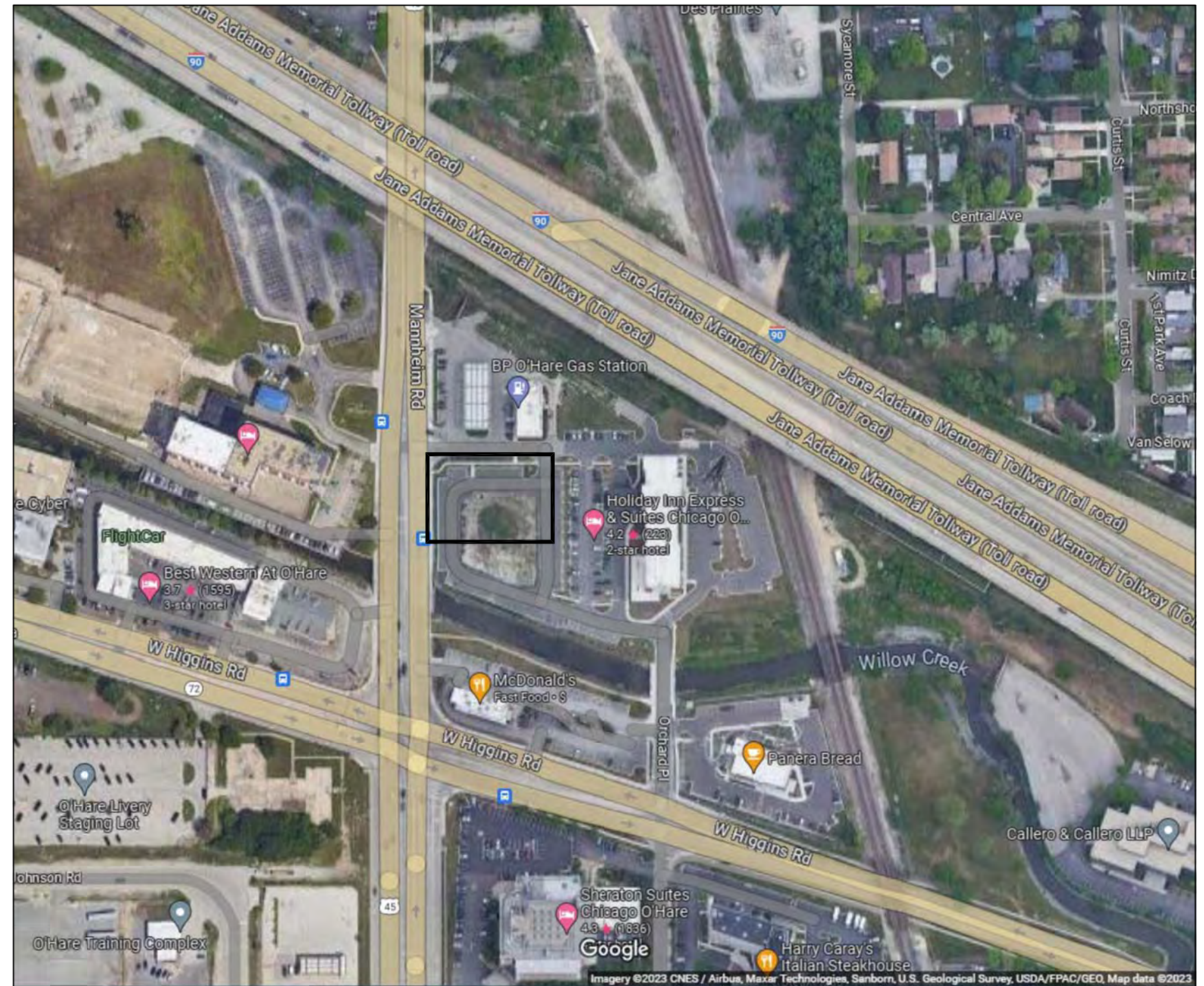
Tesla

Standard EV stalls: 49
 HC EV stalls: 3
 Subtotal-2: 52

Total # of parking spaces provided = 48 + 52 = 100 parking spaces.

STACKING REQUIREMENTS:

Per ordinance: 6 stacking spaces + 1 per waiting area
 Stacking provided = 10 stacking spaces from drive thru entry
 to pick-up window.



PROPOSED SITE FOR A NEW POPEYES LOUISIANA KITCHEN
 DRIVE THRU RESTAURANT - ORCHARDS @ O'HARE

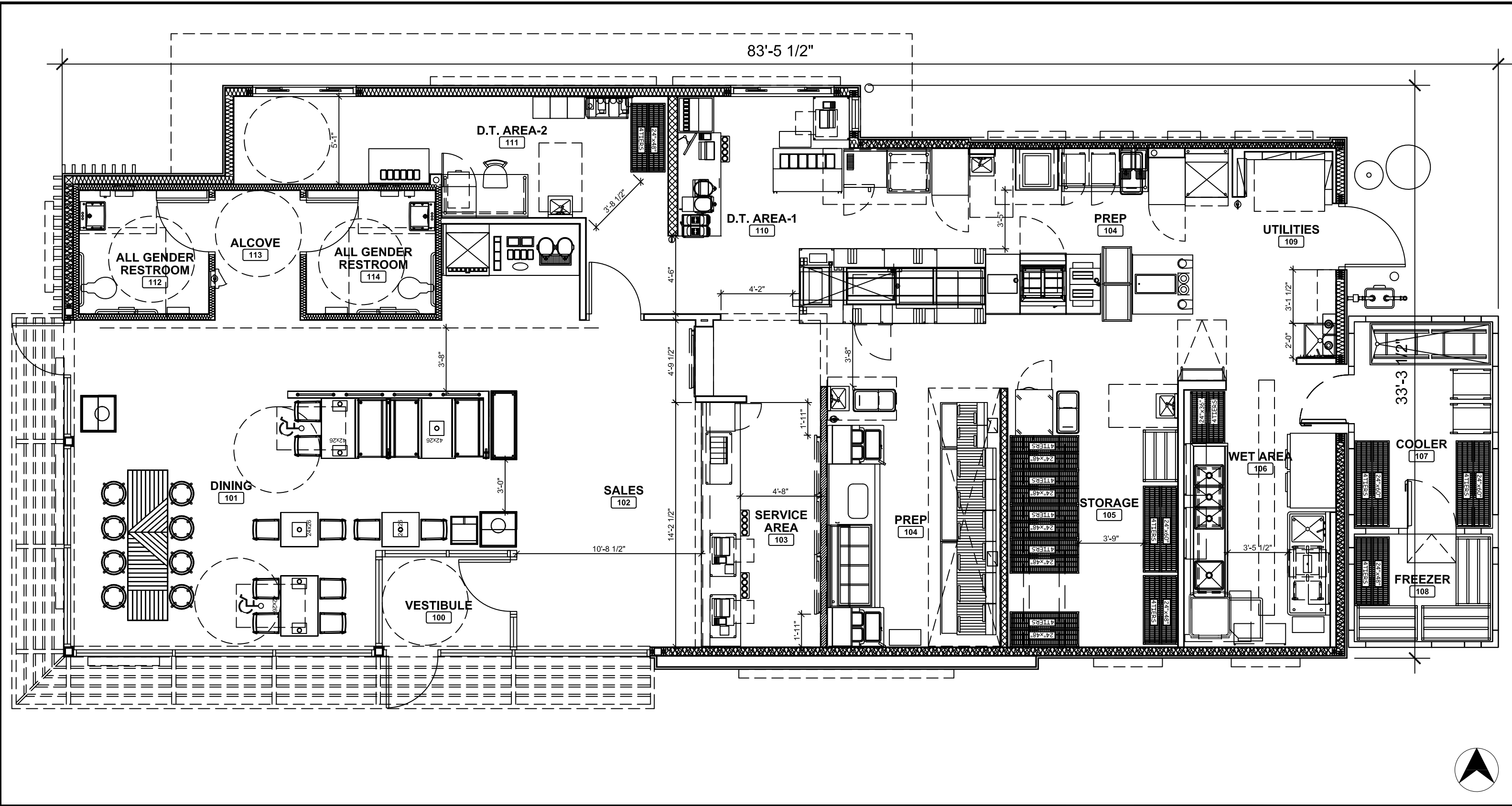


PROPOSED POPEYES LOUISIANA KITCHEN_2124

ORCHARDS @ O'HARE
 Mannheim Road & Higgins Road
 DES PLAINES, IL

PROJECT NO. 52686-23 DATE: 07-13-2023

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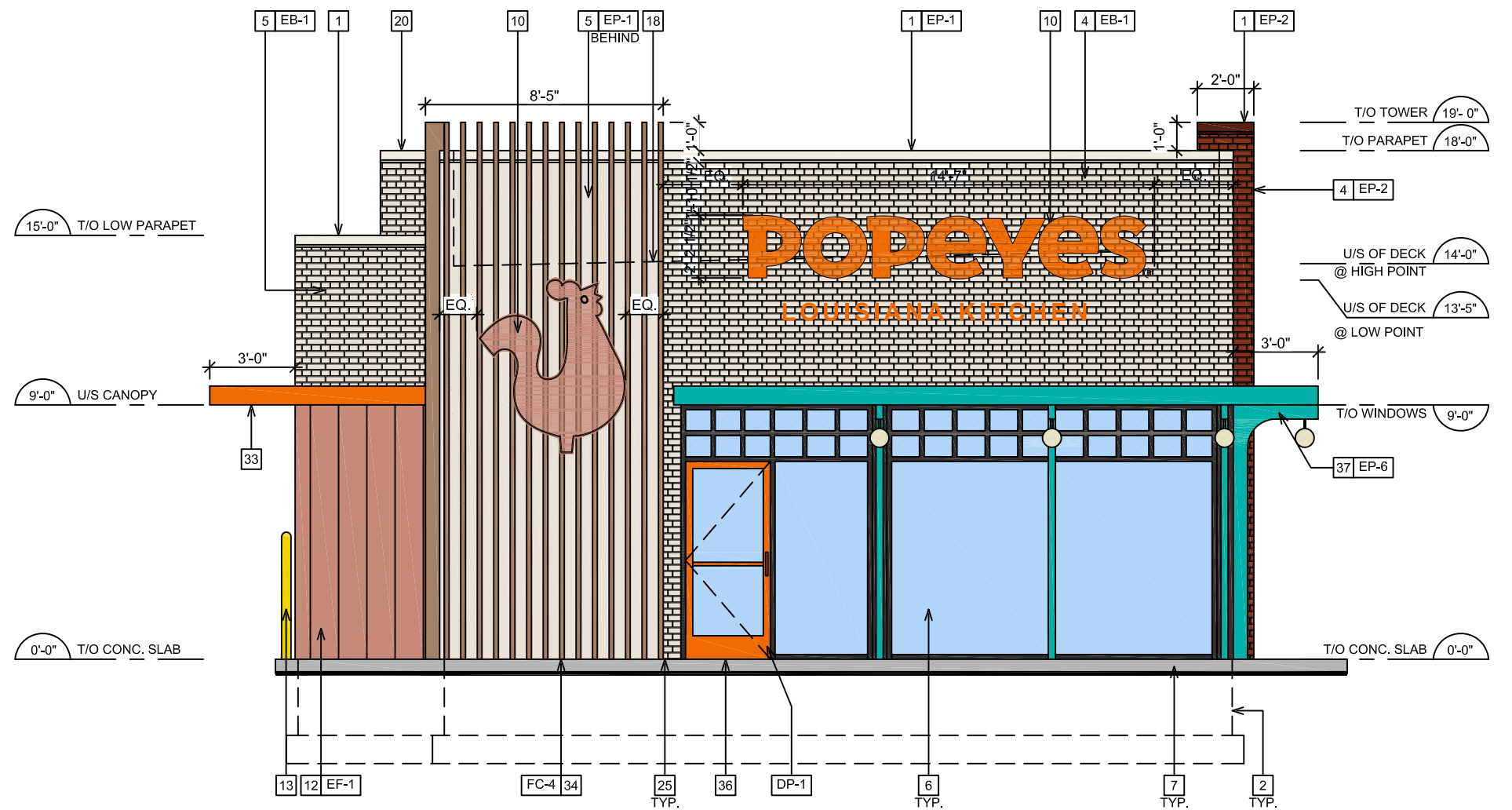
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EXTERIOR MATERIAL LEGEND

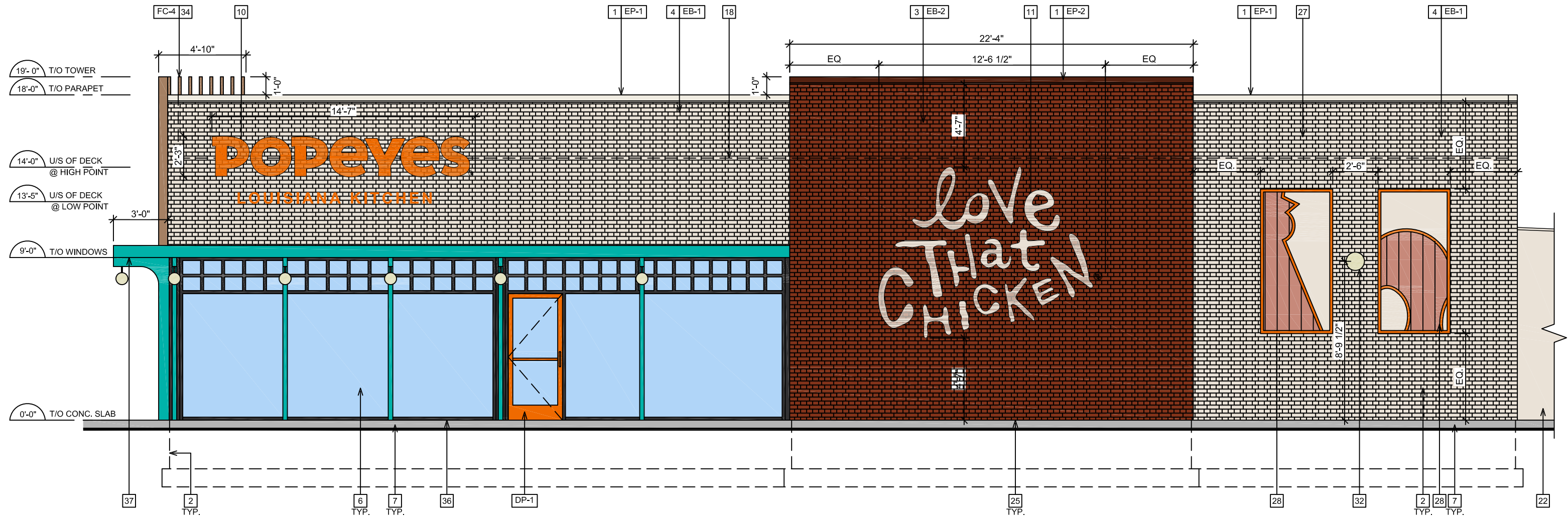
 EXTERIOR PAINT (EP-1) SHERWIN WILLIAMS COLOR: SW-7551 GREEK VILLA	 METAL PAINT (EP-5) SHERWIN WILLIAMS COLOR: SW-6991 BLACK MAGIC	 WOOD SIDING (EF-1) NICHHA VINTAGEWOOD COLOR: CEDAR
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 BOLLARD PAINT (EP-4) SHERWIN WILLIAMS COLOR: SAFETY YELLOW	 VERTICAL WOOD SLATS (FC-4) BEAR BOARD COLOR: WEATHER WOOD (BY SIGNAGE VENDOR)	

NOTE: FOR EXTERIOR ELEVATION FINISH NOTES REFER TO SHEET A-2.4



PROPOSED POPEYES LOUISIANA KITCHEN_2124
 ORCHARDS @ O'HARE
 Mannheim Road & Higgins Road
 DES PLAINES, IL
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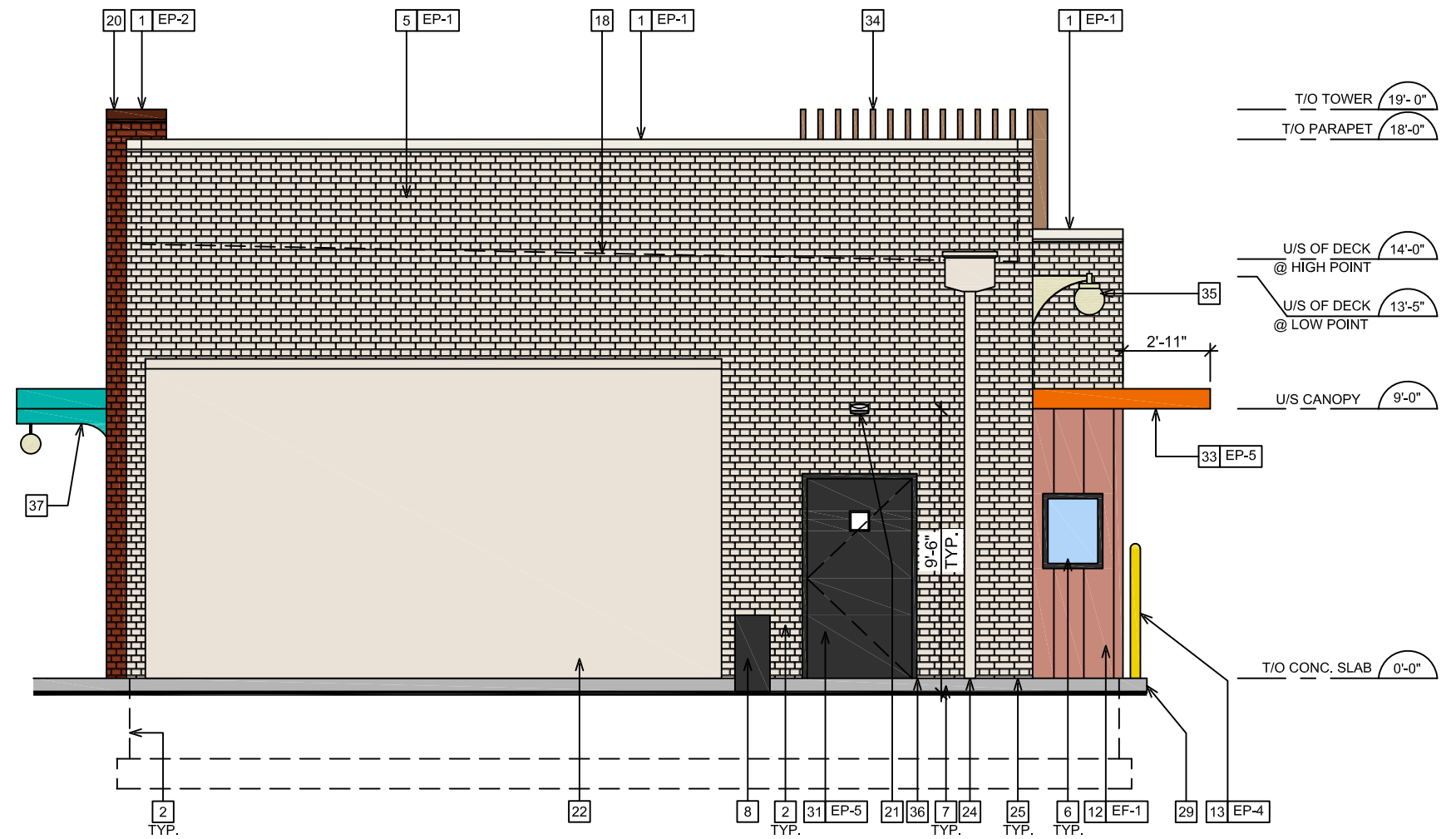
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 ORCHARDS @ O'HARE
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EXTERIOR MATERIAL LEGEND

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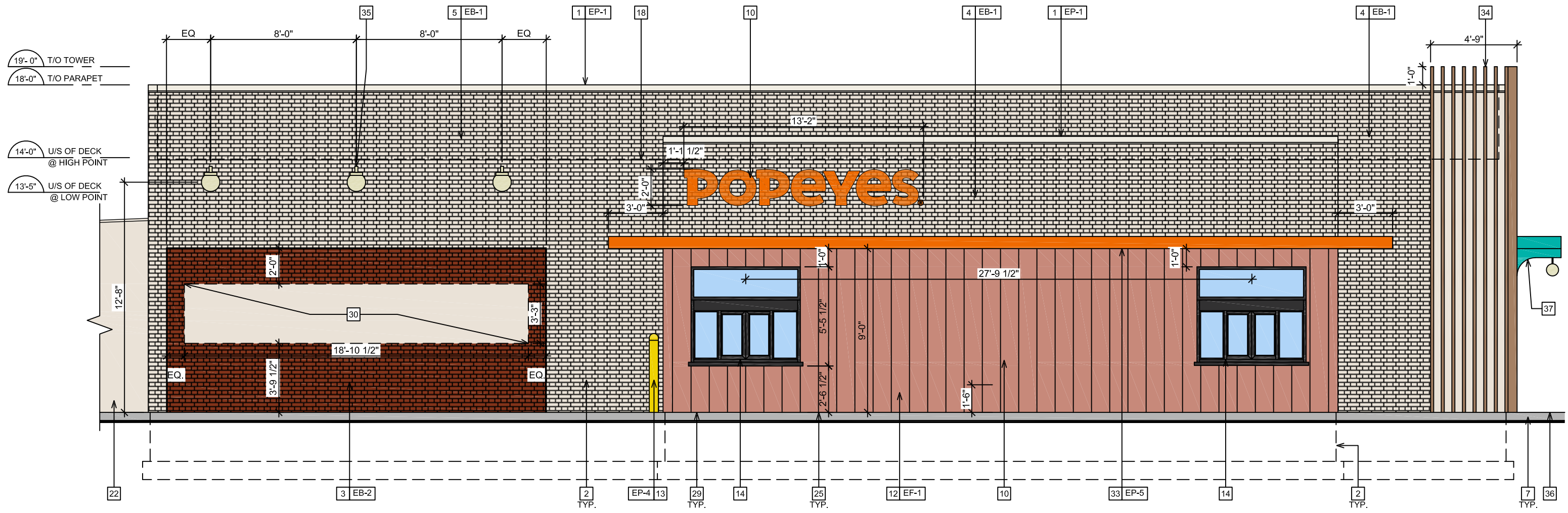
NOTE: FOR EXTERIOR ELEVATION FINISH NOTES REFER TO SHEET A-2.4



PROPOSED EXTERIOR ELEVATION - NORTH

SCALE: 3/16" = 1'-0"

A-2.3



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NOTE: FOR EXTERIOR ELEVATION FINISH NOTES REFER TO SHEET A-2.4



PROPOSED POPEYES LOUISIANA KITCHEN_2124
 ORCHARDS @ O'HARE
 Mannheim Road & Higgins Road
 DES PLAINES, IL
 PROJECT NO. 52686-23 DATE: 07-13-2023

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EXTERIOR ELEVATION NOTES

- 1 PRE-FINISHED METAL CAP FLASHING C/W DRIP.
- 2 G.C TO PROVIDE AND INSTALL DOUBLE LAYER OF REINFORCING MESH TO MIN. 2'-2" ABOVE GRADE AT ALL EIFS LOCATIONS (TYP.) IN ORDER TO ATTAIN ABUSE RESISTANCE STUCCO SYSTEM.
- 3 THIN BRICK, GLEN-GERY FLAGSTAFF, COLOR: RED. REFER TO POPEYES MASTER SCHEDULE.
- 4 THIN BRICK, ROBEN OSLO PEARL, COLOR: WHITE SMOOTH. REFER TO POPEYES MASTER SCHEDULE.
- 5 E.I.F.S BEHIND.
- 6 PRE-FINISHED 'BLACK ANODIZED' ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLAZING.
- 7 EXPOSED FOUNDATION TO BE PARGED AND FREE OF IMPERFECTIONS.
- 8 GAS UTILITY METER.
- 9 REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION WALL AND FOOTING DETAILS.
- 10 INTERNALLY ILLUMINATED BUILDING SIGNAGE PROVIDED AND INSTALLED BY SIGN COMPANY. G.C TO PROVIDE AND INSTALL $\frac{3}{4}$ " EXTERIOR GRADE PRESSURE TREATED PLYWOOD BACKING AND ALL FINAL ELECTRICAL CONNECTION. SIGN MANUFACTURER SHALL OBTAIN STRUCTURALLY SEALED DRAWINGS AND SIGNAGE PERMITS FROM THE CITY BASED ON LOCAL REQUIREMENTS. G.C SHALL VERIFY ACTUAL LOCATION & SIZE OF SIGNS WITH SIGN MANUFACTURER'S APPROVED DRAWINGS AND COORDINATE LOCATIONS OF BLOCKING AND UTILITIES. G.C TO COORDINATE WITH SIGN INSTALLER TO USE VHM DRILL BIT WHILE DRILLING FOR ELECTRICAL FEED LINES AND SIGNAGE FASTENERS. ALL ELEMENTS PROVIDED BY SIGNAGE FABRICATOR TO BE REVIEWED AND APPROVED BY POPEYES PRIOR TO PRODUCTION
- 11 NON-ILLUMINATED BUILDING SIGNAGE PROVIDED AND INSTALLED BY SIGN COMPANY. G.C TO PROVIDE AND INSTALL $\frac{3}{4}$ " EXTERIOR GRADE PRESSURE TREATED PLYWOOD BACKING.. SIGN MANUFACTURER SHALL OBTAIN STRUCTURALLY SEALED DRAWINGS AND SIGNAGE PERMITS FROM THE CITY BASED ON LOCAL REQUIREMENTS. G.C SHALL VERIFY ACTUAL LOCATION & SIZE OF SIGNS WITH SIGN MANUFACTURER'S APPROVED DRAWINGS AND COORDINATE LOCATIONS OF BLOCKING AND UTILITIES. G.C TO COORDINATE WITH SIGN INSTALLER TO USE VHM DRILL BIT WHILE DRILLING FOR ELECTRICAL FEED LINES AND SIGNAGE FASTENERS. ALL ELEMENTS PROVIDED BY SIGNAGE FABRICATOR TO BE REVIEWED AND APPROVED BY POPEYES PRIOR TO PRODUCTION
- 12 NICHIIA VINTAGE WOOD, COLOR: CEDAR. REFER TO POPEYES MASTER SCHEDULE.
- 13 PROVIDE & INSTALL 6" DIAMETER STEEL PIPE BOLLARD TOP AT 4'-6" A.F.F. G.C. TO PAINT "SAFETY YELLOW". REFER TO POPEYES MASTER SCHEDULE.
- 14 DRIVE-THRU WINDOW. REFER TO DRIVE-THRU WINDOW SCHEDULE ON SHEET A11.

EXTERIOR ELEVATION NOTES - CONTINUED

- 15 N/A.
- 16 PRE-FINISHED GALVANIZED STEEL DOWNSPOUT & COLLECTOR BOX. G.C. TO COORDINATE WITH CIVIL ENGINEERS TO CONFIRM IF DOWNSPOUTS ARE SPLASHING ON CONCRETE PAD OR TIED TO THE STORM SEWER LINE. REFER TO MECHANICAL DRAWINGS.
- 17 N/A.
- 18 DASHED LINE INDICATES T/O OF ROOF BEHIND PARAPET.
- 19 C/T CABINET AND METER.
- 20 LINE OF PARAPET WALLS BEYOND.
- 21 GENERAL PURPOSE EXTERIOR LIGHTING FIXTURES.
- 22 WALK-IN COOLER/FREEZER FINISH TO BE COMPLETED BY MANUFACTURER.
- 23 METAL RAILING SUPPLIED AND INSTALLED BY G.C (ONLY IF REQUIRED), ARCHITECT TO COORDINATE WITH CIVIL ENGINEER ON THE SITE PLAN. PAINT FINISH 'BLACK'.
- 24 PRE-FINISHED GALVANIZED STEEL DOWNSPOUT & COLLECTOR BOX. G.C. TO COORDINATE CIVIL ENGINEERS TO CONFIRM IF DOWNSPOUTS ARE SPLASHING ON CONCRETE PAD OR TIED TO THE STORM SEWER LINE. REFER TO MECHANICAL DRAWINGS.
- 25 ALL BASE FLASHING TO MATCH ADJACENT MATERIAL COLORS.
- 26 HOSE BIB. G.C. TO PAINT. COLOUR TO MATCH ADJACENT STUCCO COORDINATE EXACT LOCATION WITH G.C. REFER TO MECHANICAL DRAWINGS.
- 27 $\frac{1}{2}$ " X $\frac{1}{2}$ " REVEAL LINE IN STUCCO FINISH. REFER TO DETAIL 3/A5.
- 28 DECORATIVE SHUTTERS SUPPLY AND INSTALL BY SIGN COMPANY.
- 29 G.C TO PROVIDE CONCRETE CURB ALONG DRIVE-THRU LANE. CURB TO PROJECT 8" FROM FACE OF PANELS AND LENGTH OF CURB IS EXTENT OF FEATURE WALL.
- 30 MURAL GRAPHIC SUPPLY AND INSTALL BY SIGN COMPANY.
- 31 REAR EXIT DOOR TO BE PAINT WHITE.
- 32 WALL SCONCE SUPPLY AND INSTALL BY SIGN COMPANY.

EXTERIOR ELEVATION NOTES - CONTINUED

- 33 PRE-FABRICATED CANOPIES W/ PRE-WIRED RECESSED LIGHTS ABOVE DRIVE-THRU SUPPLY BY SIGN COMPANY AND INSTALL BY G.C. ALL CANOPIES IN WALL SUPPORT BY G.C. REFER TO STRUCTURAL DRAWINGS.
- 34 VERTICAL SIMULATED WOOD SLATS. REFER TO POPEYES MASTER SCHEDULE.
- 35 WALL SCONCE LIGHTING. REFER TO ELECTRICAL SCHEDULE.
- 36 CONCRETE SIDEWALK (BY G.C). REFER TO SITE PLAN.
- 37 HORIZONTAL WOOD GRAIN ENTRANCE CANOPY W/ TEAL VERTICAL & HORIZONTAL SUPPORTS SUPPLY BY SIGN COMPANY AND INSTALL BY G.C. PRE-WIRED LED LIGHT GLOBE FIXTURE.



Tesla Supercharger

Version A20
North America

Our Mission

ACCELERATE THE WORLD'S TRANSITION TO SUSTAINABLE ENERGY



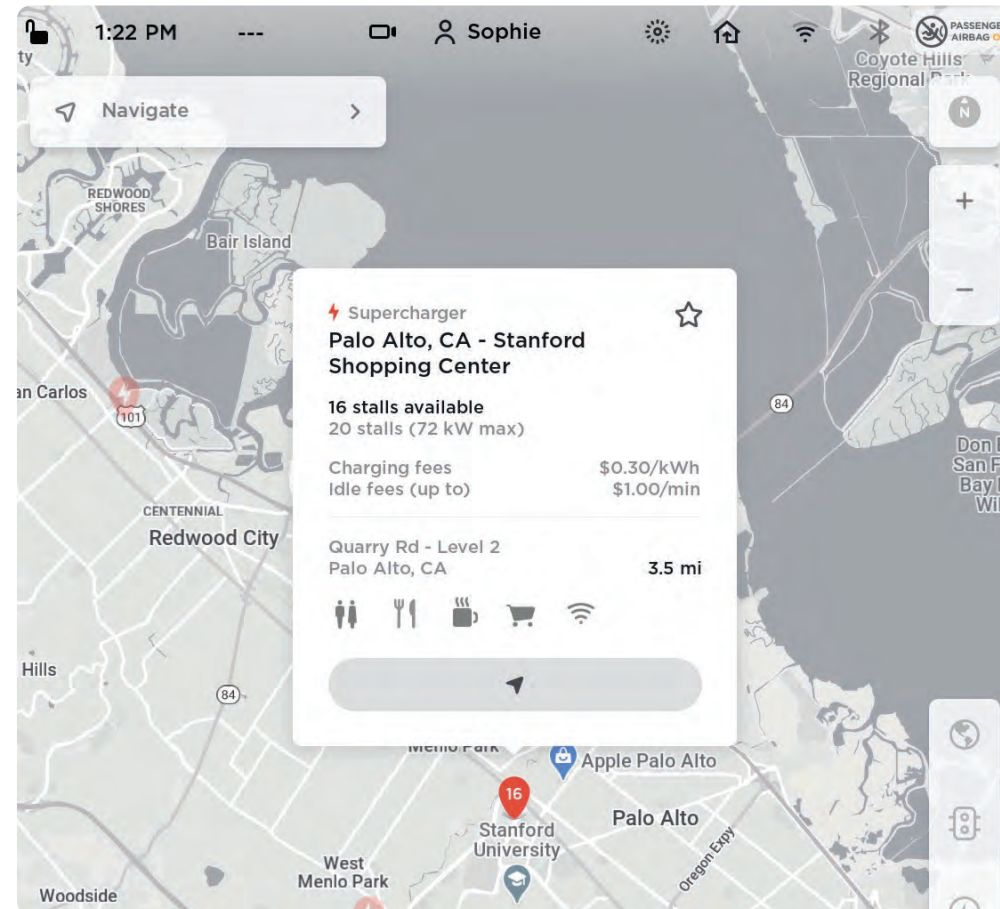
Supercharger

GO ANYWHERE



Automatically route your trip around your next charge, including updated arrival times.

RECHARGE



Plug in for 30 minutes or less and relax with local amenities or in-car entertainment.

CONVENIENCE



View and control your charge from the Tesla app and receive automatic notifications when complete.

Join the Supercharger network

SUCCESS



Join a growing global network

ENGAGEMENT



Generate new customers and visibility

SUSTAINABILITY



Contribute to a sustainable future

EASY INSTALLATION

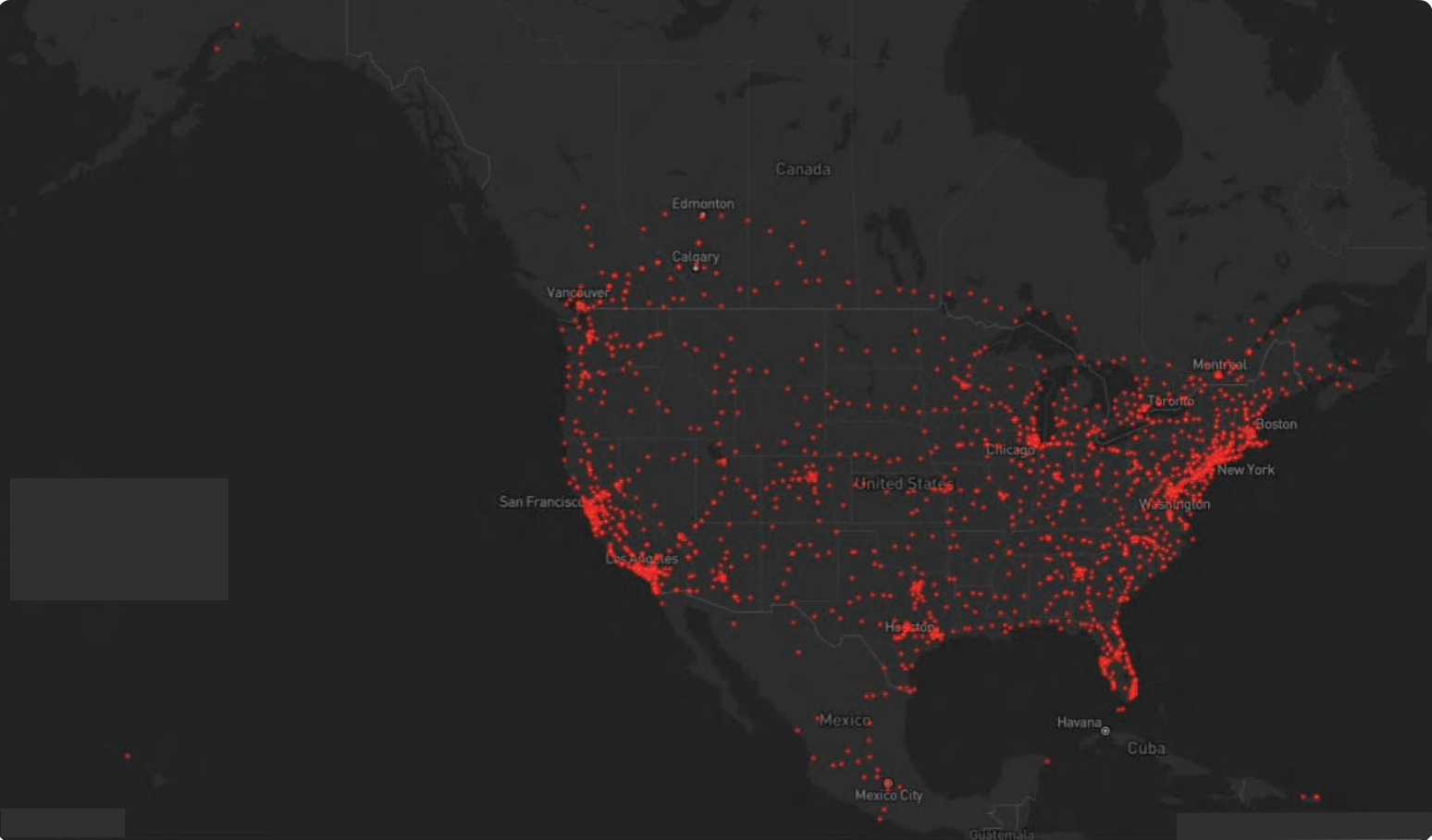
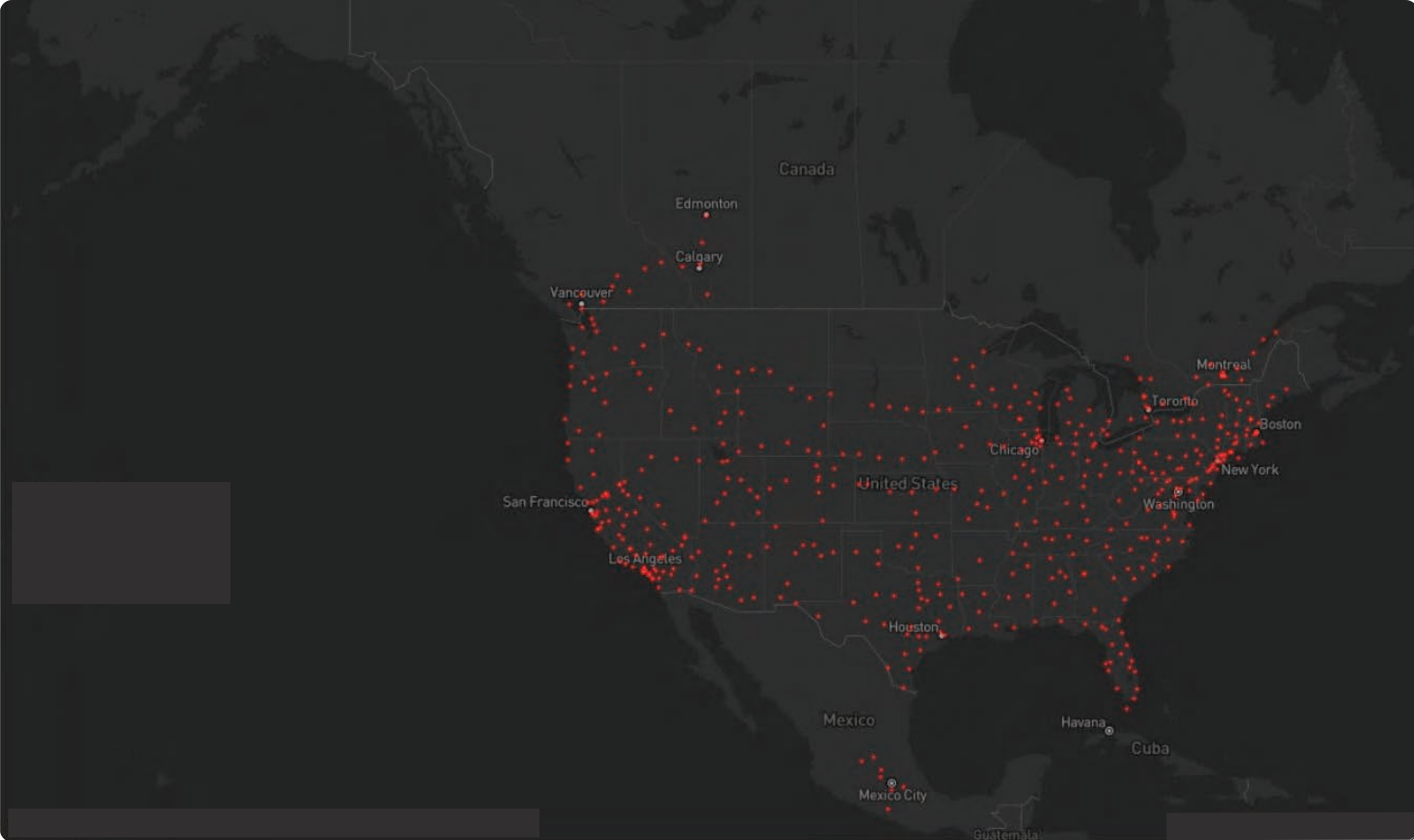


Enjoy a simple installation process

Our network is the largest and most reliable

2017

2023



Tesla leads the fast charging vehicle market

Tesla is leading the fast charging EV market and continues to grow

Beginning in 2023, Tesla Supercharger will support non-Tesla EVs

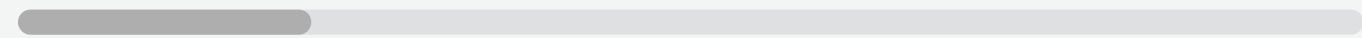
Working with Tesla to build charging infrastructure is the best way to serve all EV owners

Tesla Vehicles



65%

Other EVs



35%

Sales data up to and including 2022

Sourced from IHS/Polk and goodcarbadcar.net

Optimize your EV strategy for a loyal customer base

A successful EV charging strategy includes Tesla

99% of Tesla drivers only fast charge on the Tesla Supercharger network

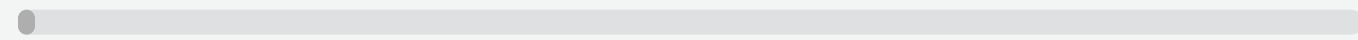
<2% of Tesla drivers opt to purchase a fast charging CHAdeMO adaptor with a 50kW limitation

Fast charging energy usage by Tesla vehicles in North America

Tesla Supercharging



99%



1%

Other Fast Charging

Our Network Continues to Grow

2020

1089

Supercharging Stations

12,800,000

Charging sessions

740,000

Fleet Size

2021

1427

Supercharging Stations

25,000,000

Charging sessions

1,130,000

Fleet Size

2022

1792

Supercharging Stations

43,000,000

Charging sessions

1,670,000

Fleet Size

2023 YTD

1799

Supercharging Stations

1,500,000

Charging sessions

1,675,000

Fleet Size

99.3% Supercharging Network Uptime



Station uptime is a primary concern for EV drivers. We offer:

- 24/7 network operations support and technical monitoring
- 24/7 customer support
- Vertically integrated technical field service
- Remote equipment diagnostics

Tesla Supercharger drives traffic to your property

25 ~ mins

Average charge time

~ 3

Average monthly visit *(per unique customer)*



Repeat foot traffic, increased revenue and customer loyalty



Industry Leaders in Charging Infrastructure



Tesla's Supercharger network exceeds industry averages for customer experience, including:

- Location convenience and accessibility
- Ease, speed and cost of charging
- Access to amenities while charging
- Station reliability and safety

[J.D. Power Electric Vehicle Experience Public Charging Study. 2022](#)

Tesla Supercharger is the optimal solution

HIGH UTILIZATION

INCREASED REVENUE

NO MAINTENANCE



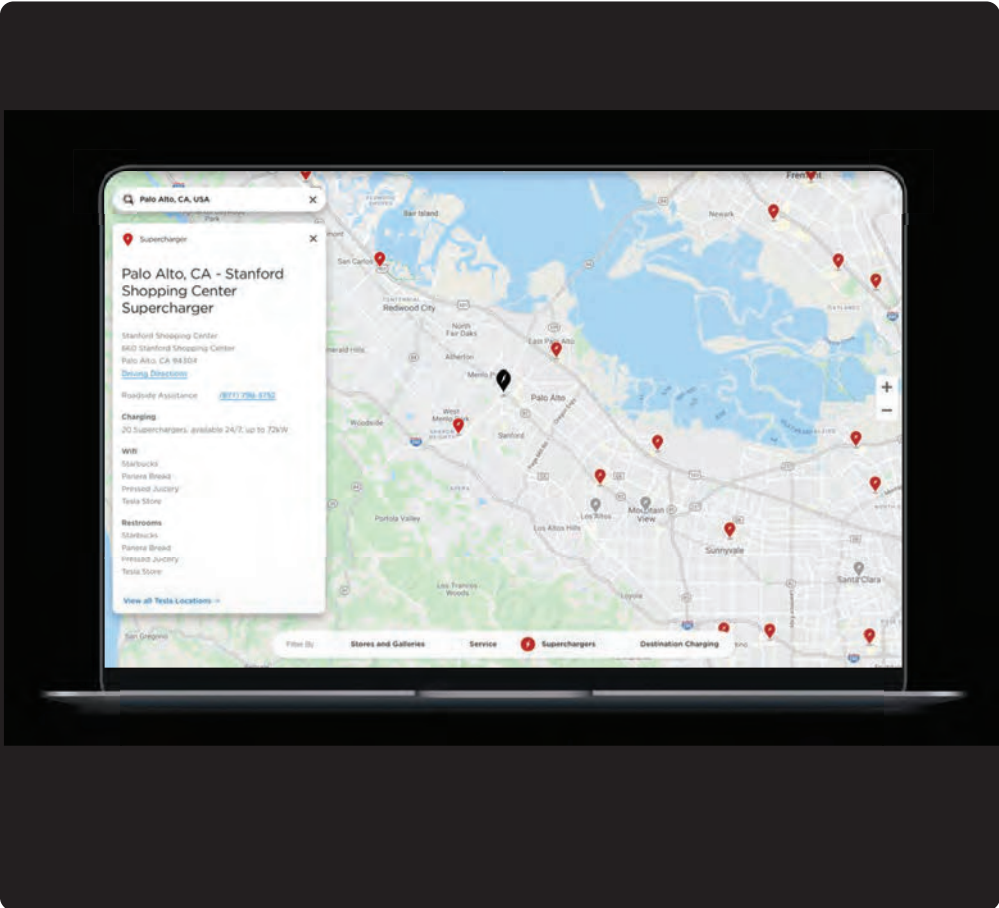
Additional Benefits

NEW CUSTOMERS



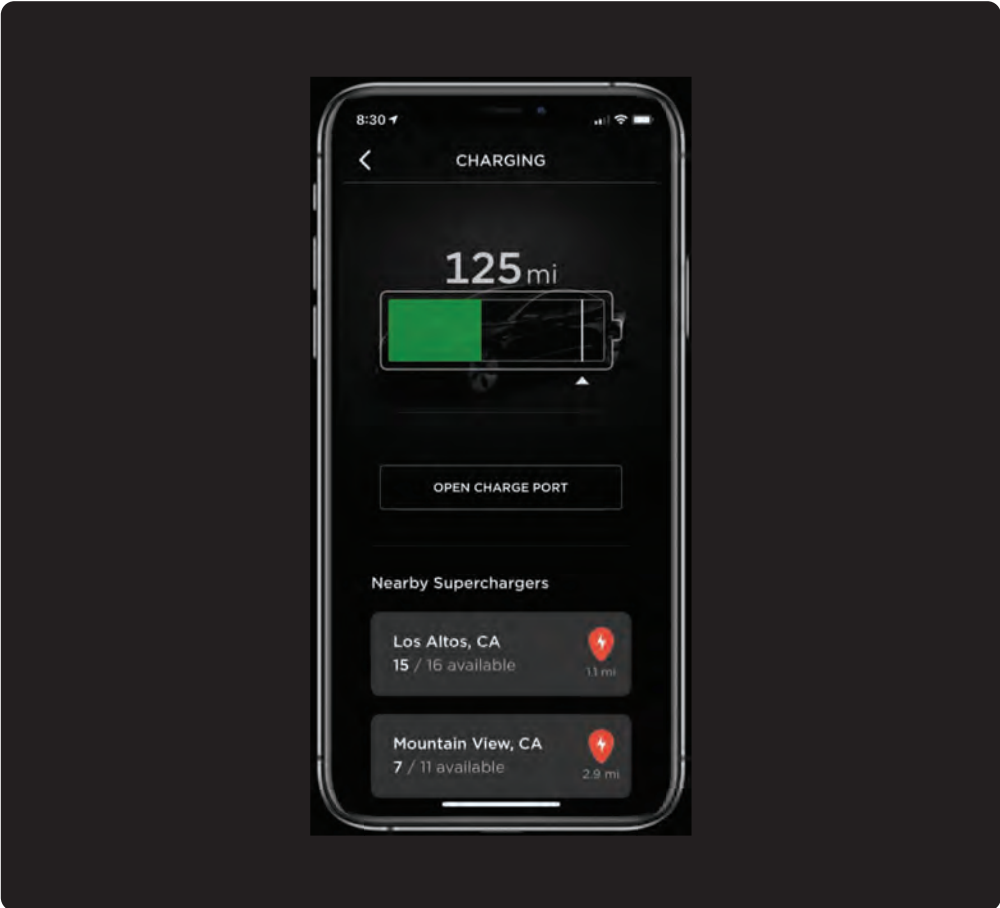
In-car navigation to your property

VISIBILITY



Your business listed on tesla.com Find Us Map

BUSINESS



Listing in Trip Planner and Mobile App

Our site selection criteria

PREMIUM PROPERTIES

QUALITY AMENITIES

ADEQUATE PARKING

BUSINESS TERMS



Our station layout

PARKING STALL WITH SUPERCHARGER

EQUIPMENT

NEW UTILITY SERVICE



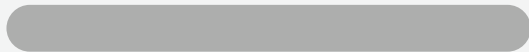
Tesla manages development

1



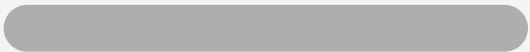
Layout approval
2 weeks

2



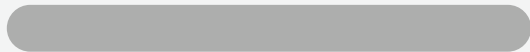
Document approvals
1 month

3



Permitting
2 months

4



Construction
2 months

Business terms

Tesla is willing to co-invest in the project with the site host and may support capital investment and/or operating expenses



Next steps

LOCATION SELECTION

AGREE ON TERMS

BEGIN DEVELOPMENT



T E S L A

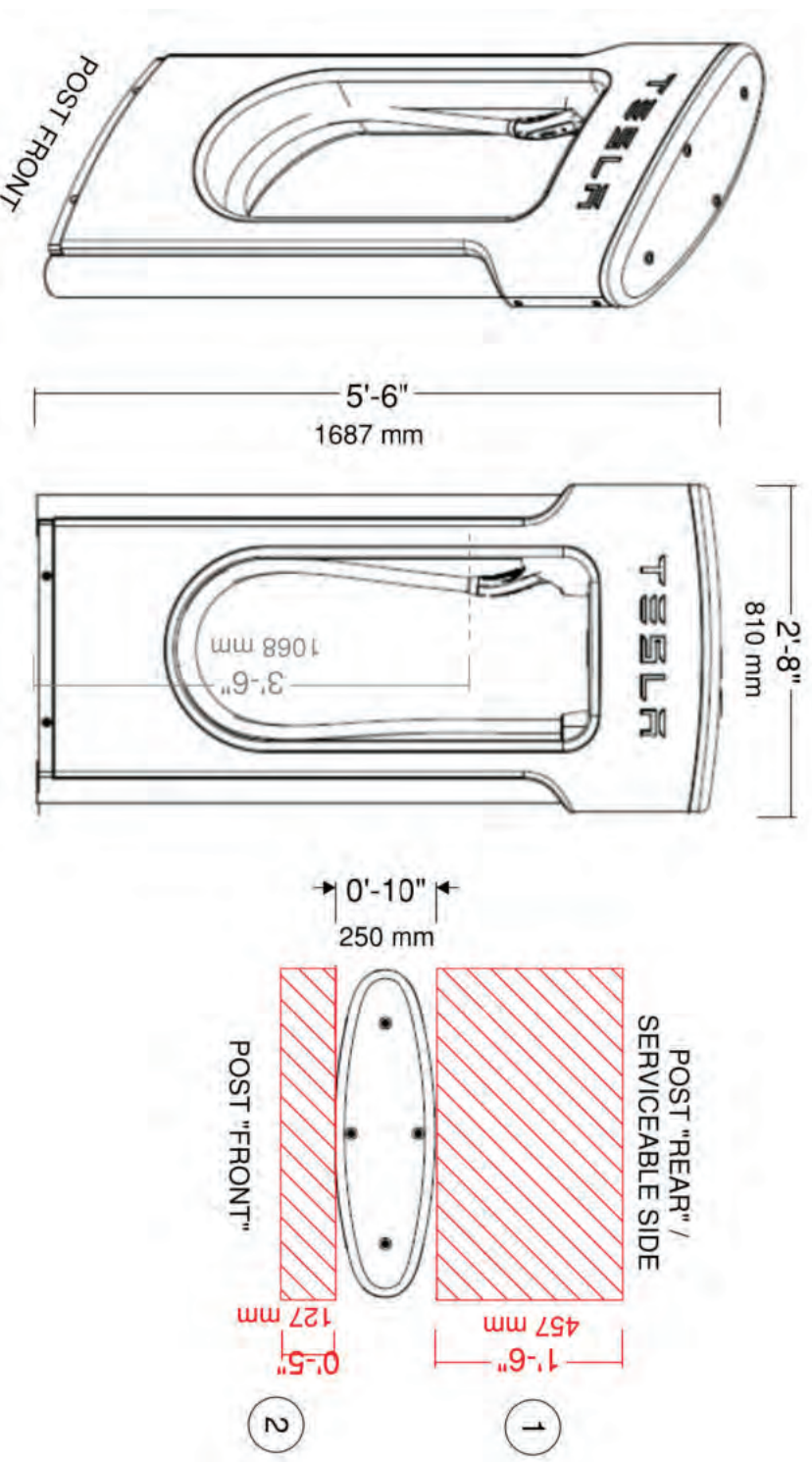


DETERMINING EQUIPMENT LAYOUT

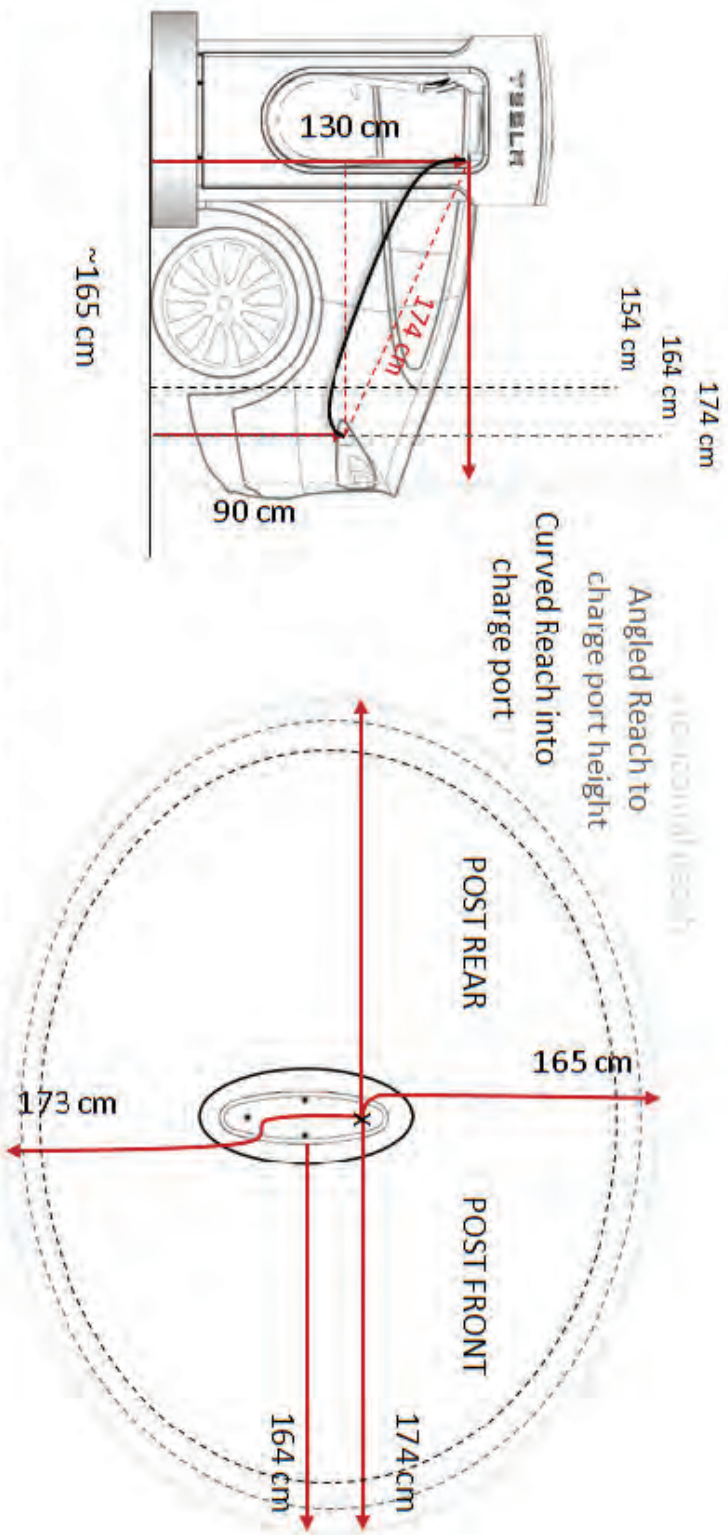
V3 Charge Post Clearances

Table 7. Charge Post Clearances

Diagram Label	Description	Metric (mm)	Imperial
1	Rear	457	1'-6"
2	Front	305	0'-5"



V3 North America Cable Reach



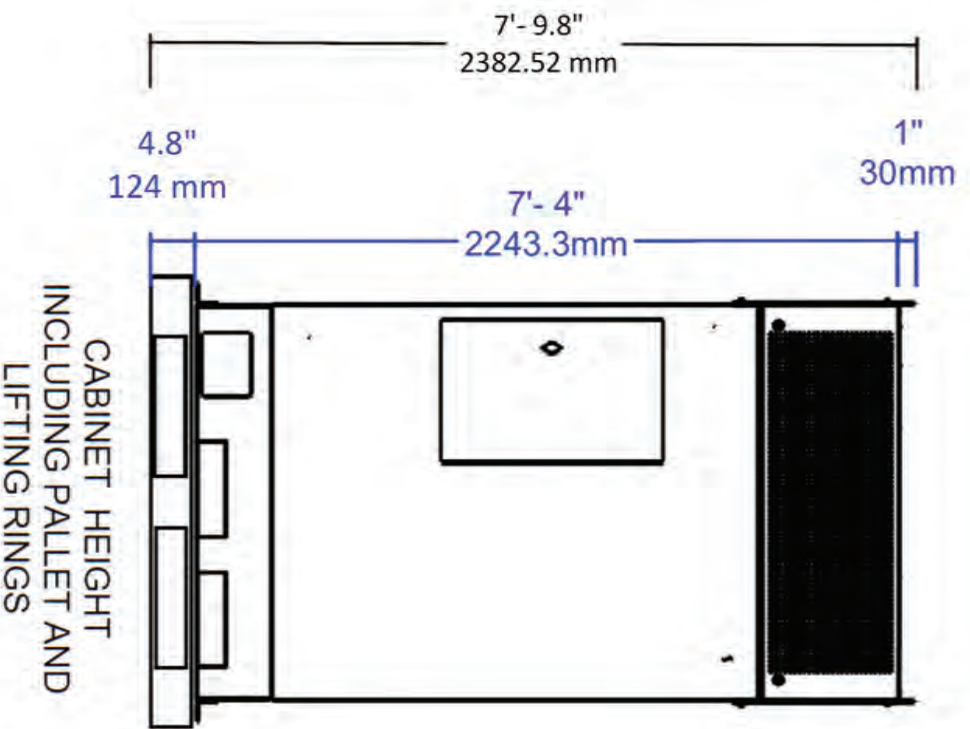
All values here are experimentally determined by measuring installed V3 posts and Model X dimensions



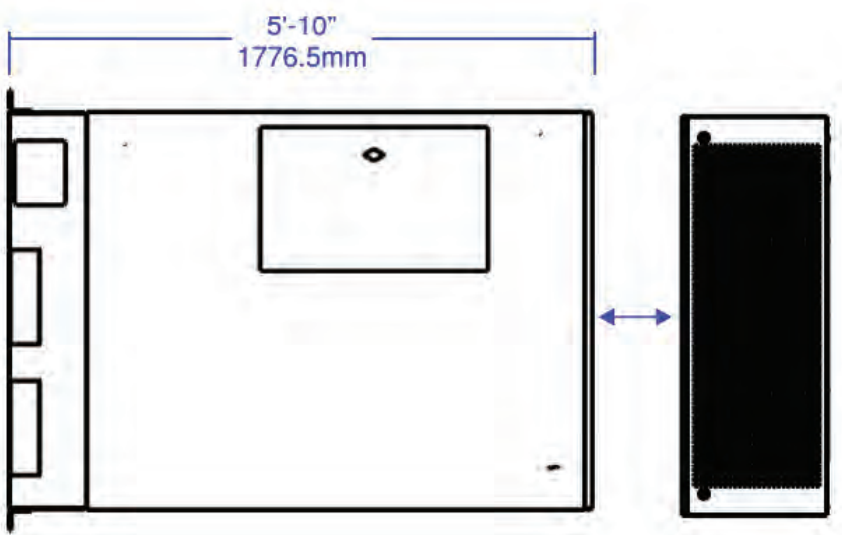
INDOOR SITE CONSIDERATIONS

Cabinet Transportation

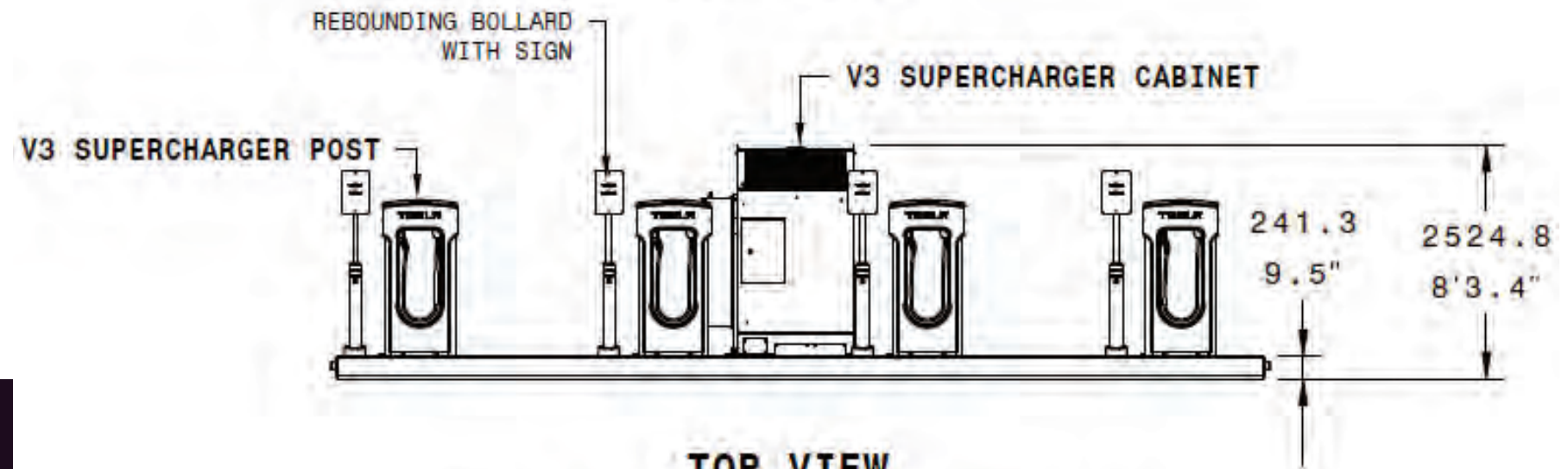
The V3 Cabinet can be lifted using either the 4 lifting rings on the roof or the fork openings below the door. The cabinet ships on a 4.88 in (124 mm) tall pallet.



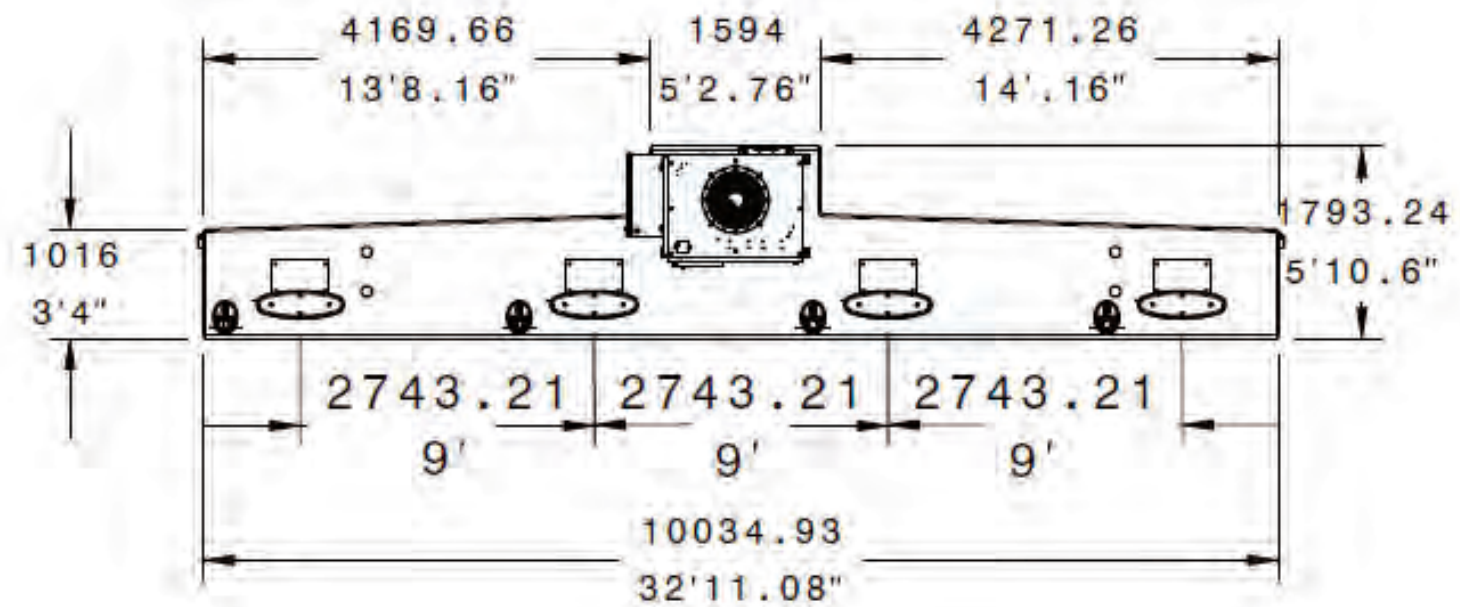
In situations where the cabinet does not fit through a doorway, the thermal roof may be removed temporarily, making the cabinet 5 ft 10 in (1780 mm) tall. This procedure is available in the V3 Supercharger Service Manual and must be completed by a Tesla service technician.



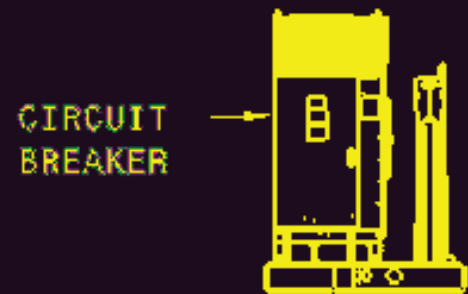
FRONT VIEW

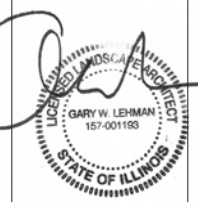


TOP VIEW



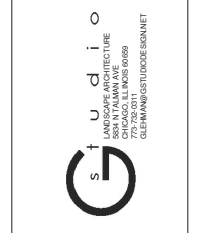
LEFT VIEW





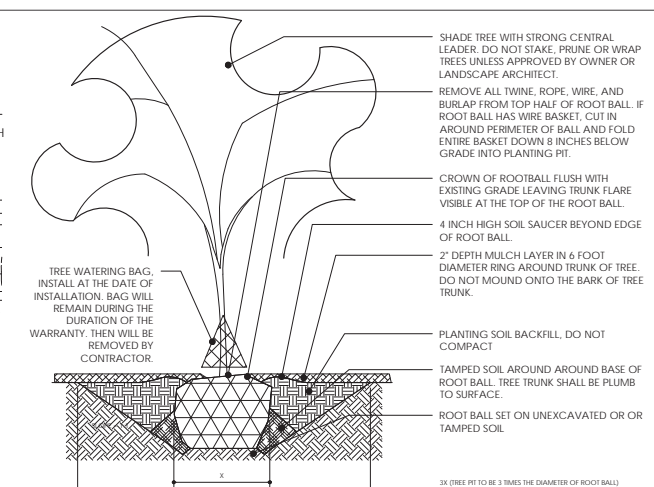
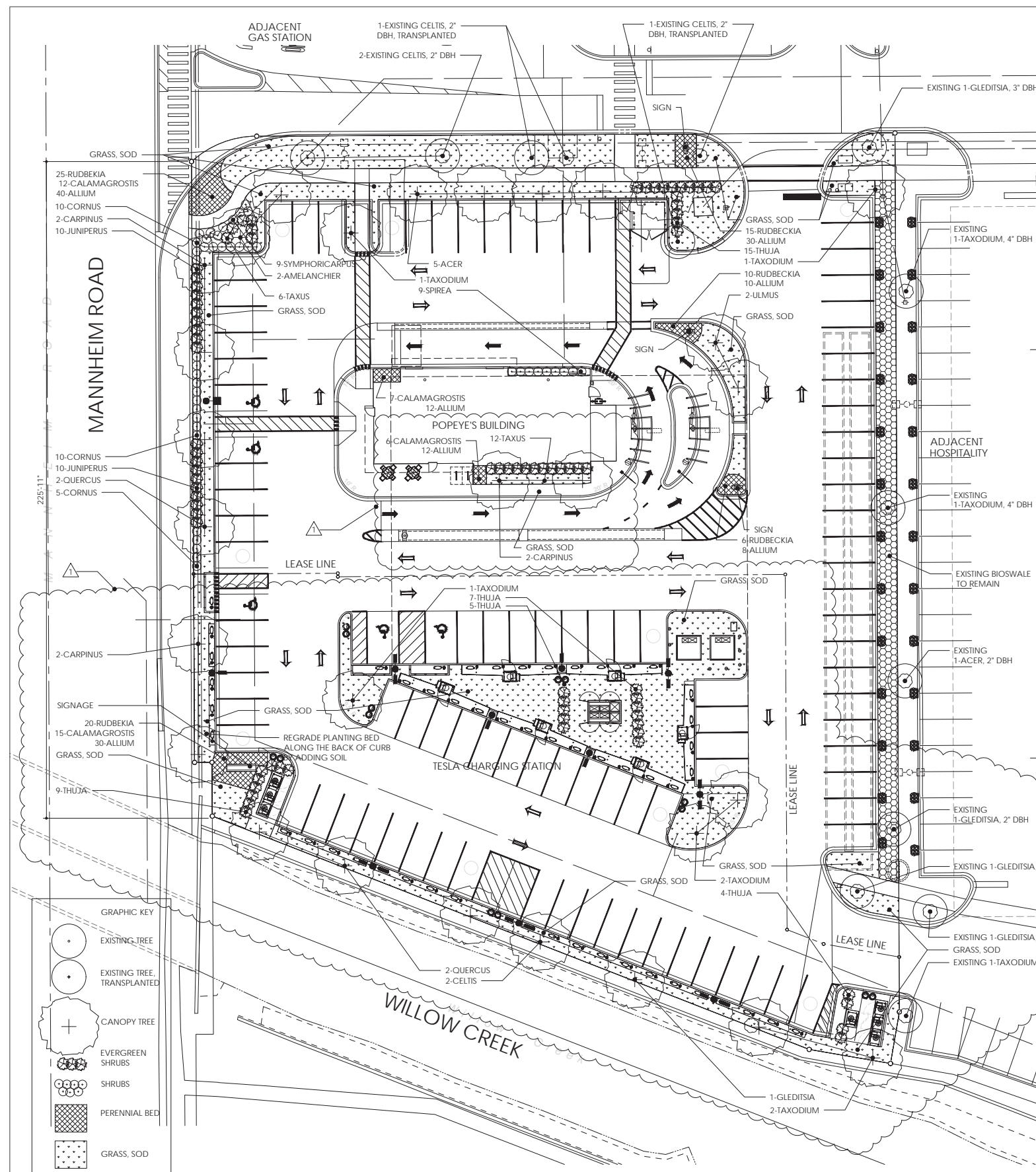
DATE	REVISIONS
09/25/21	

PROJECT STAFF	ISSUE
PROJECT MANAGER: G. LERMANITA	1
ENGINEER: G. LERMANITA	
ENGINEER: G. LERMANITA	
TECHNICIAN: G. LERMANITA	



LANDSCAPE PLANS
 LOT 5 - ORCHARDS AT O'HARE
 DES PLAINES, COOK COUNTY, ILLINOIS

COPYRIGHT: THIS DRAWING SHALL NOT BE USED, REPRODUCED, MODIFIED OR SOLD EITHER WHOLLY OR IN PART, EXCEPT WHEN AUTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT.
 PROJECT NO.: 23032
 ISSUE DATE: AUG. 25, 2023
 SCALE: SHEET NUMBER
L1



DECIDUOUS TREE DETAIL
SCALE: 1/4"=1'-0"

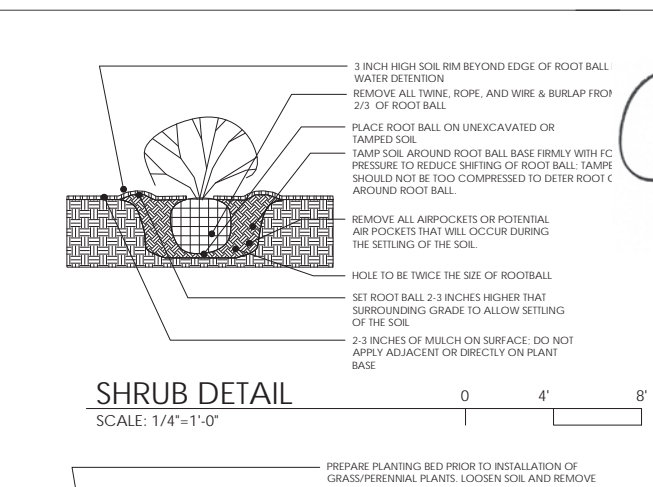
PLUG AND SEED SCHEDULE	TOTAL AREA	PERCENTAGE ENTIRE AREA (SF)	ENTIRE AREA (Acres)
LOW BIOSWALE	874		0.02
HIGH BIOSWALE	900		0.02

- GENERAL NOTES:**
- all mixes are based upon seed mixes specified by Spense Restoration Nursery. Please contact manufacturer for supplemental information and installation instructions.
 - Site will be level and free of all debris. Final grades shall remain at the existing spot elevations. Make all accommodations to maintain these grades such as soil and debris removal.
 - Work will occur within April 10th and October 1st. Otherwise, site will be prepared with alternative cover including seed oats and annual rye.
 - Plugs shall be inoculated with VAM provided by Spense Nursery.
 - Mulch will cover all areas prior to installation. Contractor will be responsible for placement and maintaining cover until construction period. No bare areas shall occur over a 3 day period.
 - Planting and area will include plugs and seed mixture as specified above.
 - If vegetation occurs on site prior to the installation, apply a 2% glyphosate 2 weeks prior to installation and remove debris.
 - Do not apply fertilizer other than compost.
 - Evenly distribute planting throughout the entire bed or planting area.
 - Contractor to provide recommendation for maintenance of the bioswale till, and after, it is established in the next 2-3 years.

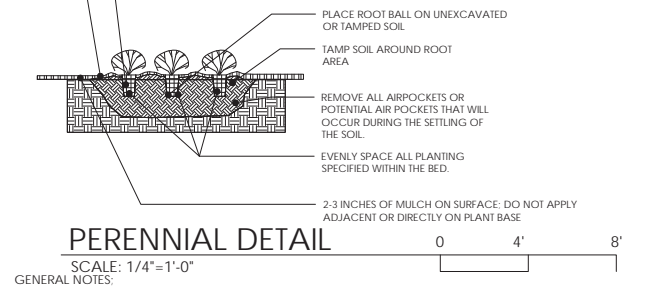
BIOSWALE SEED MIX AND SPECIFICATION

Area calculation	Location	Area (SF)	Percentage
Popey's Site	Site	41,514	100.00%
	Building	2,523	6.08%
	Vehicular Area	28,791	69.35%
	Open Space	10,200	24.57%
Tesla Charging Station	Site	25,811	100.00%
	Building	0	0.00%
	Vehicular Area	19,600	75.94%
	Open Space	6,211	24.06%
Total (Popey's + Tesla Charging Station)	Site	67,325	100.00%
	Building	2,523	3.75%
	Vehicular Area	48,391	71.88%
	Open Space	16,411	24.38%

CODE REQUIREMENT MATRIX				
Parkway Landscaping (12-10-7)				
Mannheim Road parkway is too narrow to accommodate street trees				
Parking Lot Landscaping (12-10-8)				
	required (Popey's)	required (Tesla)	proposed (Popey's)	proposed (Tesla)
Interior Parking Lot Landscaping	2075.7	1290.55	8259	5380
	5.00%	5.00%	19.89%	20.84%



SHRUB DETAIL
SCALE: 1/4"=1'-0"



PERENNIAL DETAIL
SCALE: 1/4"=1'-0"

- GENERAL NOTES:**
- CONTRACTOR TO REVIEW SITE PRIOR TO WORK AND INSPECT ALL EXISTING CONDITIONS.
 - IN CASE OF A DISCREPANCY, THE LANDSCAPE PLAN SUPERCEDES THE PLANTING SCHEDULE. THE PLANTING SCHEDULE IS FOR REFERENCE ONLY.
 - TOPSOIL FOR THE PROJECT TO BE PLACED AT THE FINISH GRADES ON THE SITE. AMENDING SOIL WILL BE 12 INCHES IN PLANTING BEDS AND 6 INCHES IN LAWN AREAS.
 - PLANTS WILL HAVE A ONE YEAR WARRANTY AFTER THE ACCEPTANCE OF THE INSTALLATION BY THE OWNER OR OWNER'S REPRESENTATIVE.
 - A SURVEY AND SITE PLAN HAVE BEEN REFERENCED TO THIS DRAWING. PLEASE REVIEW THOSE INDIVIDUAL SHEETS FOR ADDITIONAL INFORMATION AND ACCURACY. DO NOT USE THE LANDSCAPE PLAN FOR SITE LAYOUT OR SURVEY REFERENCE. THE LANDSCAPE PLAN IS FOR PLANTING INFORMATION ONLY.

Popey's Development

Botanical Name	Common Name	Qty	Size	Cond.	Notes
Shade Trees					
<i>Acer rubrum 'Red Sunset'</i>	Red Sunset Maple	5	2-1/2" caliper	B&B	single stem
<i>Amelanchier laevis</i>	Serviceberry	2	2-1/2" caliper	B&B	single stem
<i>Carpinus betulus</i>	Hornbeam	4	2-1/2" caliper	B&B	single stem
<i>Quercus robur</i>	English Oak	2	2-1/2" caliper	B&B	single stem
<i>Taxodium distichum</i>	Bald Cypress	2	2-1/2" caliper	B&B	single stem
<i>Ulmus carpinifolia</i>	Elm	2	2-1/2" caliper	B&B	single stem
Deciduous Shrubs					
<i>Cornus sericea</i>	Redtwig Dogwood	25	24" height	B&B	Maintain at a 36" height
<i>Spiraea x bumalda</i>	Bumalda Spirea	9	24" height	B&B	Maintain at a 36" height
<i>Symphoricarpos orbiculatus</i>	Coralberry	9	24" height	B&B	Maintain at a 36" height
Evergreen Shrubs					
<i>Juniperus chinensis 'Sea Green'</i>	Sea Green Juniper	20	24" height	B&B	Maintain at a 36" height
<i>Taxus x media</i>	Yew	18	24" height	B&B	Maintain at a 36" height
<i>Thuja 'Smaragd'</i>	Smaragd Arborvitae	15	48" height	B&B	Screening
Perennials and Grasses					
<i>Allium cernuum</i>	Nodding Onion	117			1 gal.
<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	Karl Foerster Grass	25			3 gal.
<i>Rudbeckia fulgida 'Goldsturm'</i>	Black-eyed Susan	56			1 gal.

Tesla Charging Station Development					
Botanical Name	Common Name	Qty	Size	Cond/Notes	
Shade Trees					
<i>Carpinus betulus</i>	Hornbeam	2	2-1/2" caliper	B&B single stem	
<i>Celtis occidentalis</i>	Hackberry	2	2-1/2" caliper	B&B single stem	
<i>Gleditsia triacanthos inermis</i>	Honeylocust	1	2-1/2" caliper	B&B single stem	
<i>Quercus robur</i>	English Oak	2	2-1/2" caliper	B&B single stem	
<i>Taxodium distichum</i>	Bald Cypress	5	2-1/2" caliper	B&B single stem	
Evergreen Shrubs					
<i>Thuja 'Smaragd'</i>	Smaragd Arborvitae	15	48" height	B&B Screening	
Perennials and Grasses					
<i>Allium cernuum</i>	Nodding Onion	30			1 gal.
<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	Karl Foerster Grass	15			3 gal.
<i>Rudbeckia fulgida 'Goldsturm'</i>	Black-eye Susan	20			1 gal.

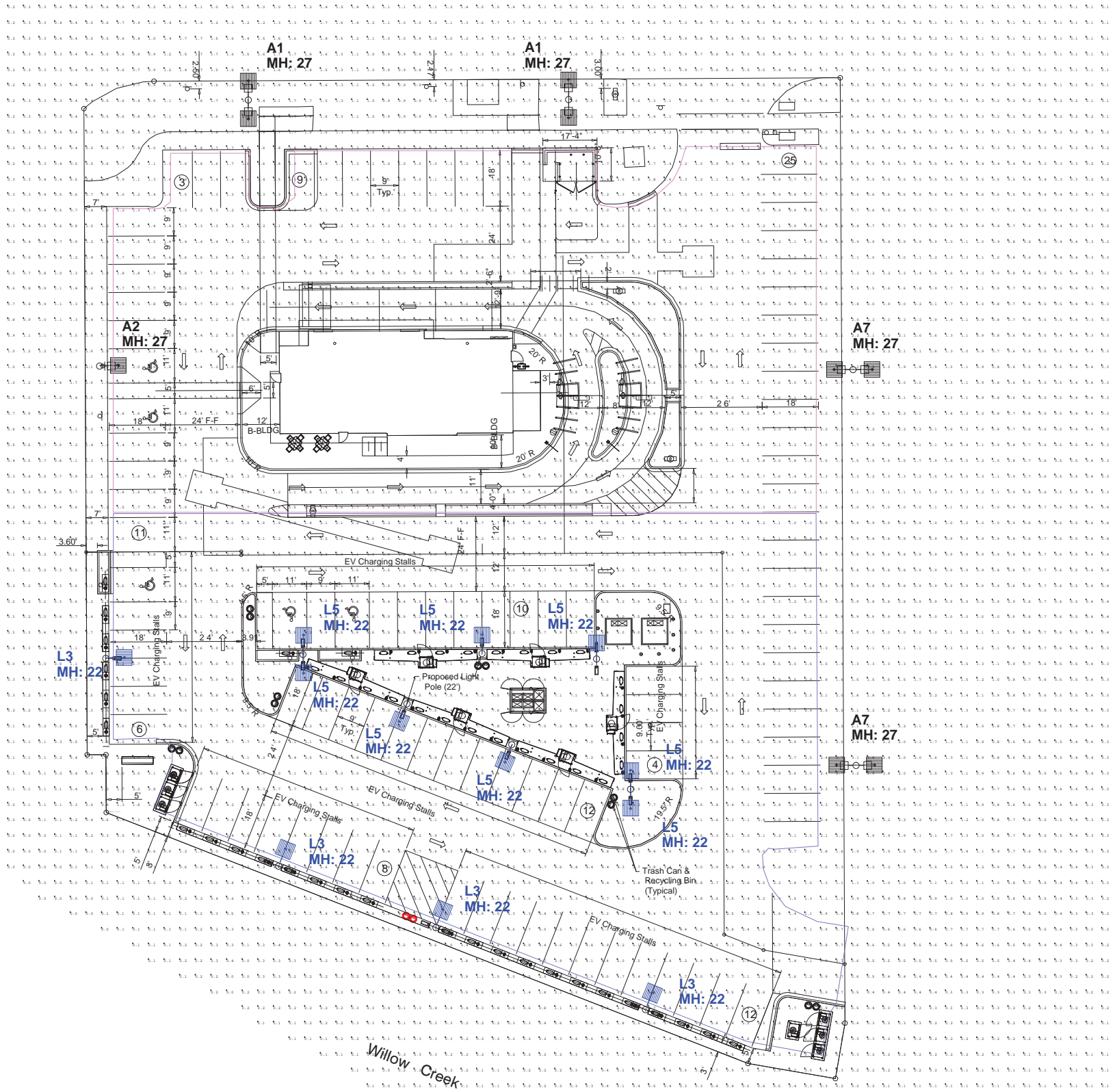
- NOTES:**
- 2 SCHEDULES HAVE BEEN PROVIDED FOR EACH DEVELOPMENT.
 - EXISTING SPECIES ARE CALCULATED BY DBH (DIAMETER AT BREAST HEIGHT) AND NEW TREES ARE CALCULATED AS CALIPER (THE DIAMETER 6 INCHES ABOVE THE ROOT FLARE OF THE TREE).
- PLANT SCHEDULE**

LANDSCAPE PLAN
SCALE: 1"=20'-0"

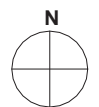
GENERAL NOTES:

- SITE PLAN IS REFERENCED FROM CURRENT CIVIL ENGINEERING DRAWINGS.
- PLANTING PROPOSED IS TO COMPLY WITH THE CITY OF DES PLAINES CODE REQUIREMENTS.
- THE SITE IS DESIGNATED AS TWO AREAS DEFINED BY THE LEASE LINE (NOTED IN THE PLAN). THE NORTHERN AREA IS DEFINED AS POPEY'S DEVELOPMENT. THE SOUTHERN AREA IS THE TESLA CHARGING STATION DEVELOPMENT.

MANNHEIM ROAD



Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
■	2	A1	Back-Back	Existing OSO-SME J 30K	0.723	13075	168	672
■	1	A2	Single	Existing OSO-480-J 30K	0.723	14804	168	168
■	2	A7	Back-Back	Existing OSO-SME S 30K	0.723	17984	215.92	863.68
■	4	L3	Single	New LL-SL1-SM-75WD-35K-T3-UNV-G2-BRN-SA-SN-PC	0.950	11996	75	300
■	8	L5	Single	New LL-SL1-SM-75WD-35K-T3-UNV-G2-BRN-SA-SN-PC	0.950	12007	75.07	600.56



Label	Calc Type	Units	Avg	Max
All Calculation Points	Illuminance	Fc	1.77	8.9
North Lot (Existing Fixtures)	Illuminance	Fc	1.17	2.4
South Lot (New Fixtures)	Illuminance	Fc	4.28	8.9

ENERGY
MANAGEMENT
COLLABORATIVE



Minneapolis, MN
1.855.EMC.IDEA

Drawn by:BPJ
Date:8/23/2023
Scale:NTS

TESLA
DES PLAINES, IL

EMC CONFIDENTIAL

Information on this drawing is strictly confidential and is supplied on the understanding that it will be held confidentially and not disclosed to a third party without the prior written consent of EMC.

EXHIBIT J

UNCONDITIONAL AGREEMENT AND CONSENT

TO: The City of Des Plaines, Illinois ("*City*");

WHEREAS, Rehan Zaid ("*Petitioner*") submitted a petition for relief to the City of Des Plaines on behalf of Orchards Lot 5, LLC, Orchards Lot 6, LLC, Orchards Lot 7, LLC, Prominence O'Hare, LLC, and DP Higgins, LLC, which are collectively, the owners ("*Owners*") of those parcels of property consisting of six lots of record, totaling 9.09 acres, and commonly known as 2995-3025 Mannheim Road, 3401 Orchard Place, and 1620-1630 Higgins Road, Des Plaines, Illinois (collectively, the "*Subject Property*"); and

WHEREAS, Ordinance No. Z-28-23 adopted by the City Council of the City of Des Plaines on September ____, 2023 ("*Ordinance*"), granted approval of an Amended PUD Plat for the Subject Property and an amended conditional use permit for a local alternative sign regulation (LASR) plan for the Subject Property, subject to certain conditions; and

WHEREAS, Petitioner and the Owners desire to evidence their unconditional agreement and consent to accept and abide by each of the terms, conditions, and limitations set forth in said Ordinance, and their consent to recording the Ordinance and this Unconditional Agreement and Consent against the Subject Property;

NOW, THEREFORE, Petitioner and Owners do hereby agree and covenant as follows:

1. Petitioner and Owners hereby unconditionally agree to accept, consent to and abide by all of the terms, conditions, restrictions, and provisions of that certain Ordinance No. Z-28-23, adopted by the City Council on _____, 2023.
2. Petitioner and Owners acknowledge and agree that the City is not and shall not be, in any way, liable for any damages or injuries that may be sustained as a result of the City's review and approval of any plans for the Subject Property, or the issuance of any permits for the use and development of the Subject Property, and that the City's review and approval of any such plans and issuance of any such permits does not, and shall not, in any way, be deemed to insure Petitioner or Owners against damage or injury of any kind and at any time.
3. Petitioner and Owners acknowledge that the public notices and hearings have been properly given and held with respect to the adoption of the Ordinance, have considered the possibility of the revocation provided for in the Ordinance, and agree not to challenge any such revocation on the grounds of any procedural infirmity or any denial of any procedural right, provided that the procedures required by Section 12-4-7 of the City's Zoning Ordinance are followed.

4. Petitioner and Owners agree to and do hereby hold harmless and indemnify the City, the City's corporate authorities, and all City elected and appointed officials, officers, employees, agents, representatives, and attorneys, from any and all claims that may, at any time, be asserted against any of such parties in connection with (a) the City's review and approval of any plans and issuance of any permits, (b) the procedures followed in connection with the adoption of the Ordinance, (c) the development, construction, maintenance, and use of the Subject Property, and (d) the performance by Petitioner or Owners of their respective obligations under this Unconditional Agreement and Consent.

ORCHARDS LOT 5, LLC (LOT 5)

By: _____

Name: _____

Title: _____

**PROMINENCE O'HARE, LLC
(HOTEL)**

By: _____

Name: _____

Title: _____

ORCHARDS LOT 7, LLC (LOT 7)

By: _____

Name: _____

Title: _____

DP HIGGINS, LLC (LOT 1)

By: _____

Name: _____

Title: _____

ORCHARDS LOT 6, LLC (LOT 6)

By: _____

Name: _____

Title: _____

REHAN ZAID, Petitioner

Signature: _____

Name: Rana Rehan Zaid