

# GENOVA

Coconut Point

## SUPPLEMENTAL PATTERN BOOK



BARRON  
COLLIER

COMPANIES

A LEGACY OF VISION



# Project Team

- Jaime Lopez, Barron Collier Companies
- John English, Peninsula Engineering
- Steve Sammons, Peninsula Engineering
- Neale Montgomery, Pavese Law Firm
- CC Homes / Barron Collier Companies





Barron Collier Companies is one of the largest diversified companies in Southwest Florida spanning a range of businesses including real estate, agriculture, engineering and related services. It is a fourth-generation family-owned business dedicated to the responsible development, management, and stewardship of numerous land holdings and investments.

Residential projects in Southwest Florida include:

- Grey Oaks
- Mercato
- Ave Maria



CC Homes has been named as one of the top luxury builders in the Country.

Armando Codina and Jim Carr, the Principals, are visionary industry leaders who've spent the past four decades developing more than 15,000 homes and some of the most iconic commercial districts of South Florida.

Residential projects in Southwest Florida include:

- Traditions, Torino and Moorings Park at Grey Oaks
- Maple Ridge, Coquina and Silverwood in Ave Maria

# Outline

- Overview
- Current Genova Master Concept Plan
- Master Concept Plan with Proposed Changes
- Open Space Plan
- Pedestrian Connectivity Plan
- Illustrative Site Plan
- Proposed Architecture
- Conclusions
- Questions and Answers



# Overview

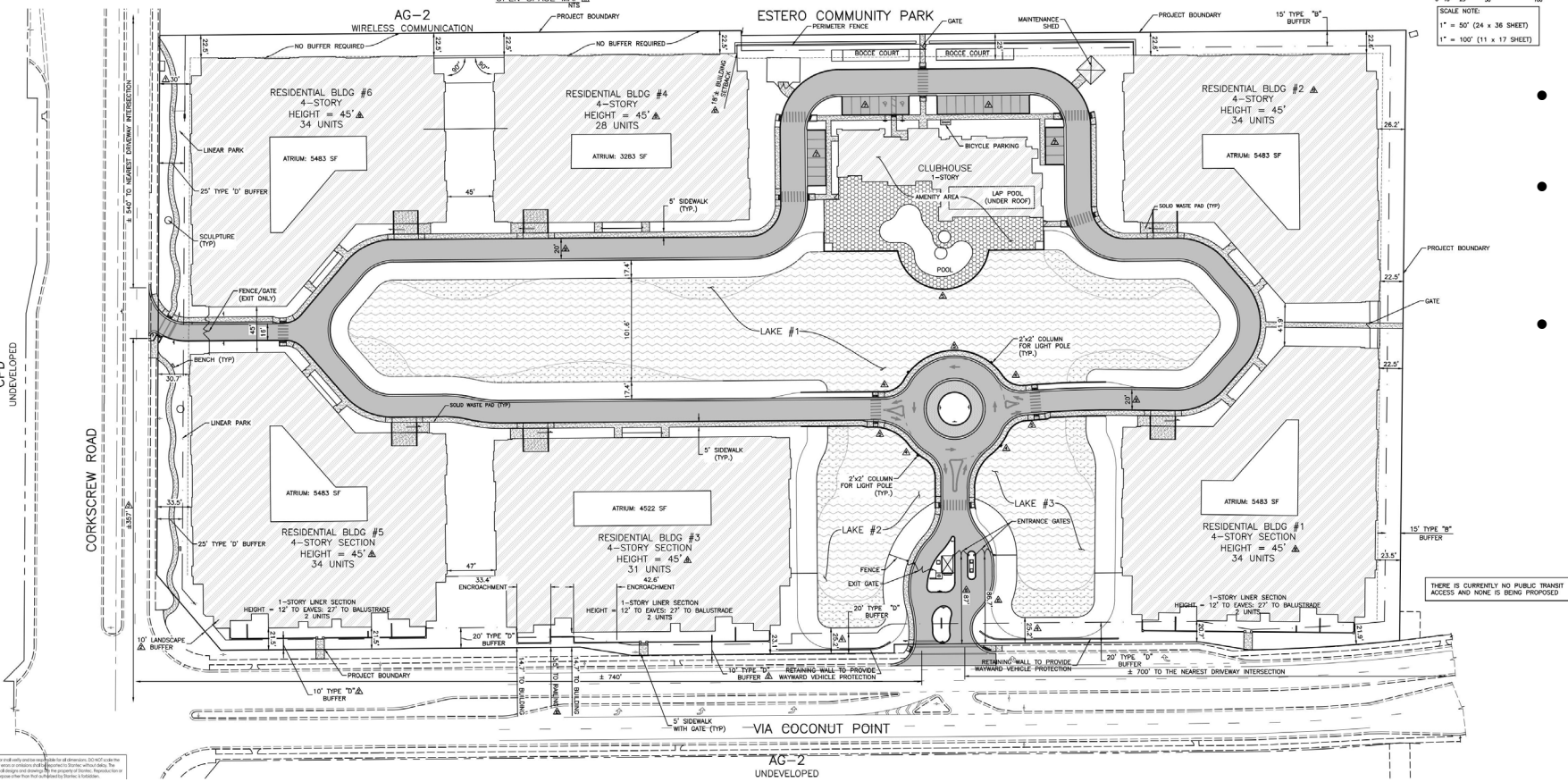
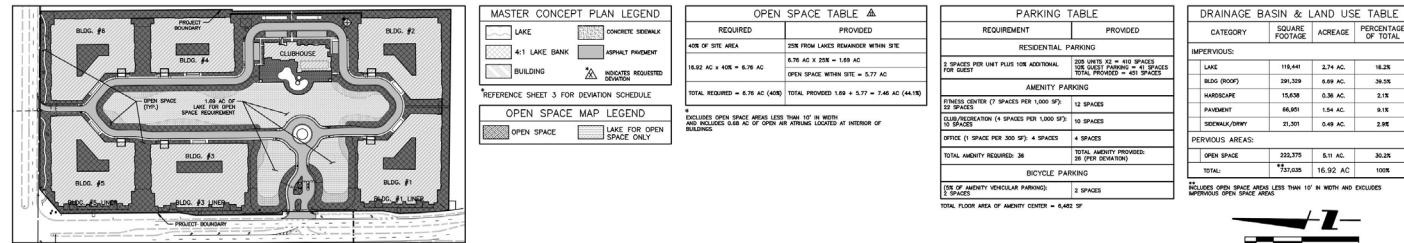


# Overview



# Current Genova Master Concept Plan

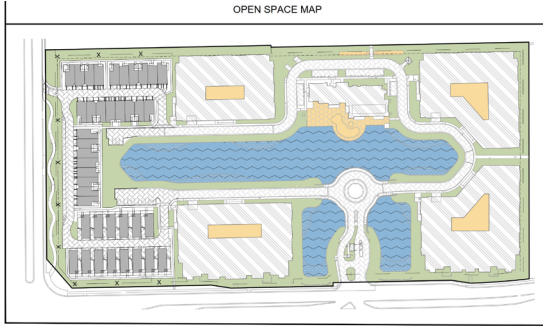
## EXHIBIT B



- Approved for 205 Units
- 131 Units / 4 Buildings currently constructed
- 74 Units still remaining under current zoning

CPD UNDEVELOPED

# Proposed Genova Master Concept Plan



**MASTER CONCEPT PLAN LEGEND**

	EX. BUILDING		PROPOSED BUILDING
	EX. PAVERS		PROPOSED PAVERS
	LAKE		TH TOWNHOME
	LAKE		SF SINGLE-FAMILY

**OPEN SPACE MAP LEGEND**

	LAKE		RECREATIONAL AREA		OPEN SPACE
--	------	--	-------------------	--	------------

**OPEN SPACE CALCULATION**

REQUIRED	PROVIDED
40% OF SITE AREA	LAKE* 2.68 AC.
16.92 AC. X 40% = 6.77 AC.	RECREATIONAL AREAS* 0.69 AC.
	OPEN SPACE 4.08 AC.
<b>TOTAL REQUIRED = 6.77 AC. (40%)</b>	<b>TOTAL 7.45 AC. (44%)</b>

\*LAKE AND RECREATIONAL AREAS DO NOT EXCEED 50% OF OVERALL REQUIRED OPEN SPACE (49.8% AS SHOWN)  
MINIMUM AVERAGE WIDTH OF OPEN SPACE = 10'  
MINIMUM AREA OF OPEN SPACE = 180 SF

**EXISTING PARKING TABLE**

EX. RESIDENTIAL PARKING	REQUIREMENT	PROVIDED
EX. RESIDENTIAL BLDG #1 (36 UNITS)	2 SPACES / UNIT + 10% GUEST PARKING = 18 SPACES	87 SPACES
EX. RESIDENTIAL BLDG #2 (34 UNITS)	2 SPACES / UNIT + 10% GUEST PARKING = 18 SPACES	87 SPACES
EX. RESIDENTIAL BLDG #3 (33 UNITS)	2 SPACES / UNIT + 10% GUEST PARKING = 18 SPACES	81 SPACES
EX. RESIDENTIAL BLDG #4 (28 UNITS)	2 SPACES / UNIT + 10% GUEST PARKING = 12 SPACES	68 SPACES
<b>TOTAL</b>	<b>TOTAL: 298 SPACES</b>	<b>323 SPACES</b>

EX. AMENITY PARKING	REQUIREMENT	PROVIDED
FITNESS CENTER	7 SPACES / 1,000 SF = 22 SPACES	22 SPACES
CLUB / RECREATION	4 SPACES / 1,000 SF + 10 SPACES	10 SPACES
OFFICE	1 SPACE / 300 SF = 4 SPACES	4 SPACES
<b>TOTAL</b>	<b>TOTAL: 36</b>	<b>26 PER DEVIATION</b>

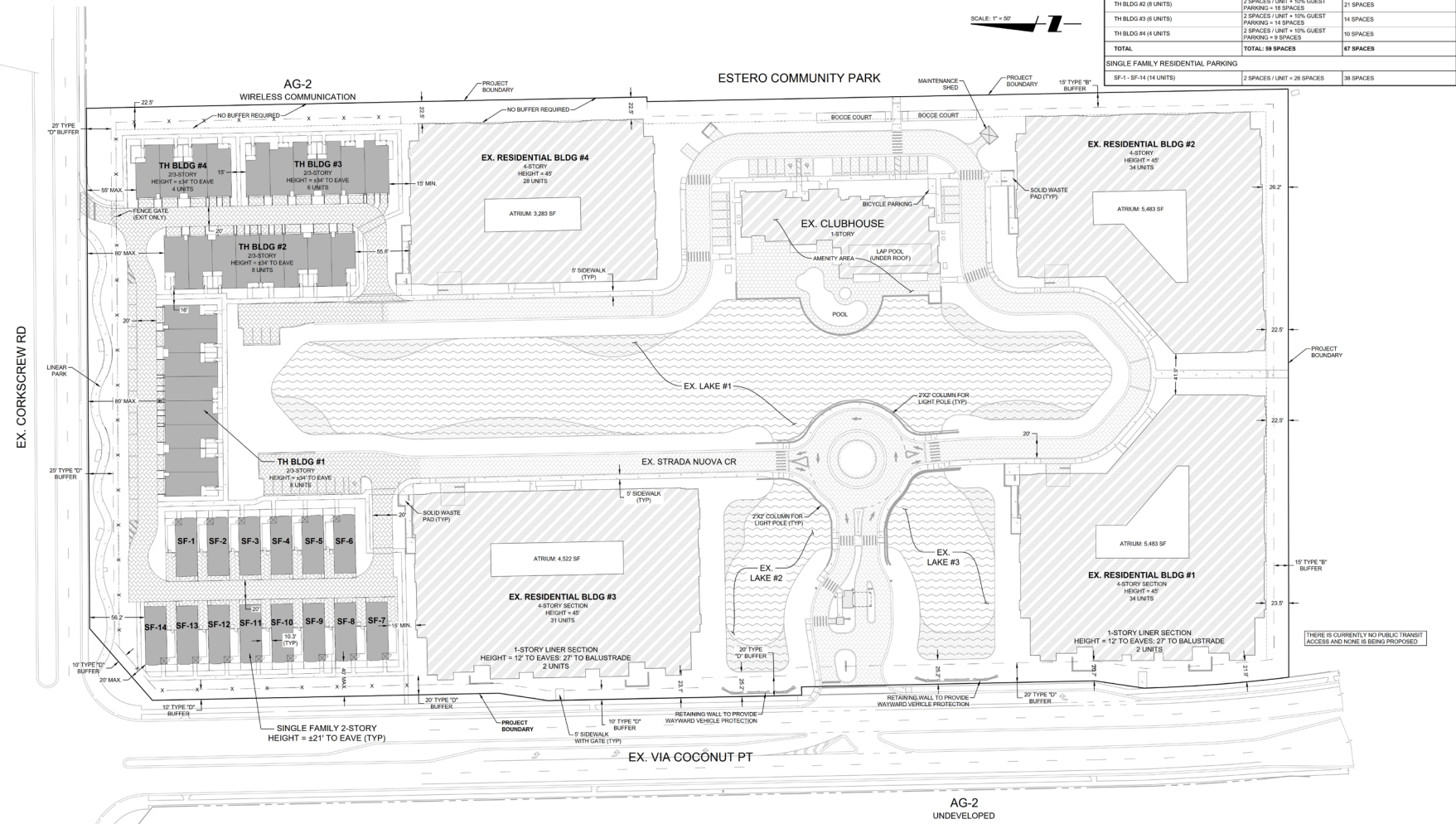
EX. BICYCLE PARKING	REQUIREMENT	PROVIDED
5% OF AMENITY VEHICULAR PARKING: 2 SPACES	TOTAL: 2 SPACES	TOTAL: 2 SPACES

**PROPOSED PARKING TABLE**

MULTI-FAMILY RESIDENTIAL PARKING	REQUIREMENT	PROVIDED
TH BLDG #1 (8 UNITS)	2 SPACES / UNIT + 10% GUEST PARKING = 18 SPACES	22 SPACES
TH BLDG #2 (8 UNITS)	2 SPACES / UNIT + 10% GUEST PARKING = 18 SPACES	21 SPACES
TH BLDG #3 (8 UNITS)	2 SPACES / UNIT + 10% GUEST PARKING = 18 SPACES	14 SPACES
TH BLDG #4 (4 UNITS)	2 SPACES / UNIT + 10% GUEST PARKING = 8 SPACES	10 SPACES
<b>TOTAL</b>	<b>TOTAL: 58 SPACES</b>	<b>67 SPACES</b>

SINGLE FAMILY RESIDENTIAL PARKING	REQUIREMENT	PROVIDED
SF-1 - SF-14 (14 UNITS)	2 SPACES / UNIT + 28 SPACES	38 SPACES



131 Current Genova Units

40 Townhomes / Single Family Units Proposed (26 TH, 14 SF)

171 Total Units Proposed for the Project

7.56 Acres of Open Space Provided (44.7 % of Total Site)

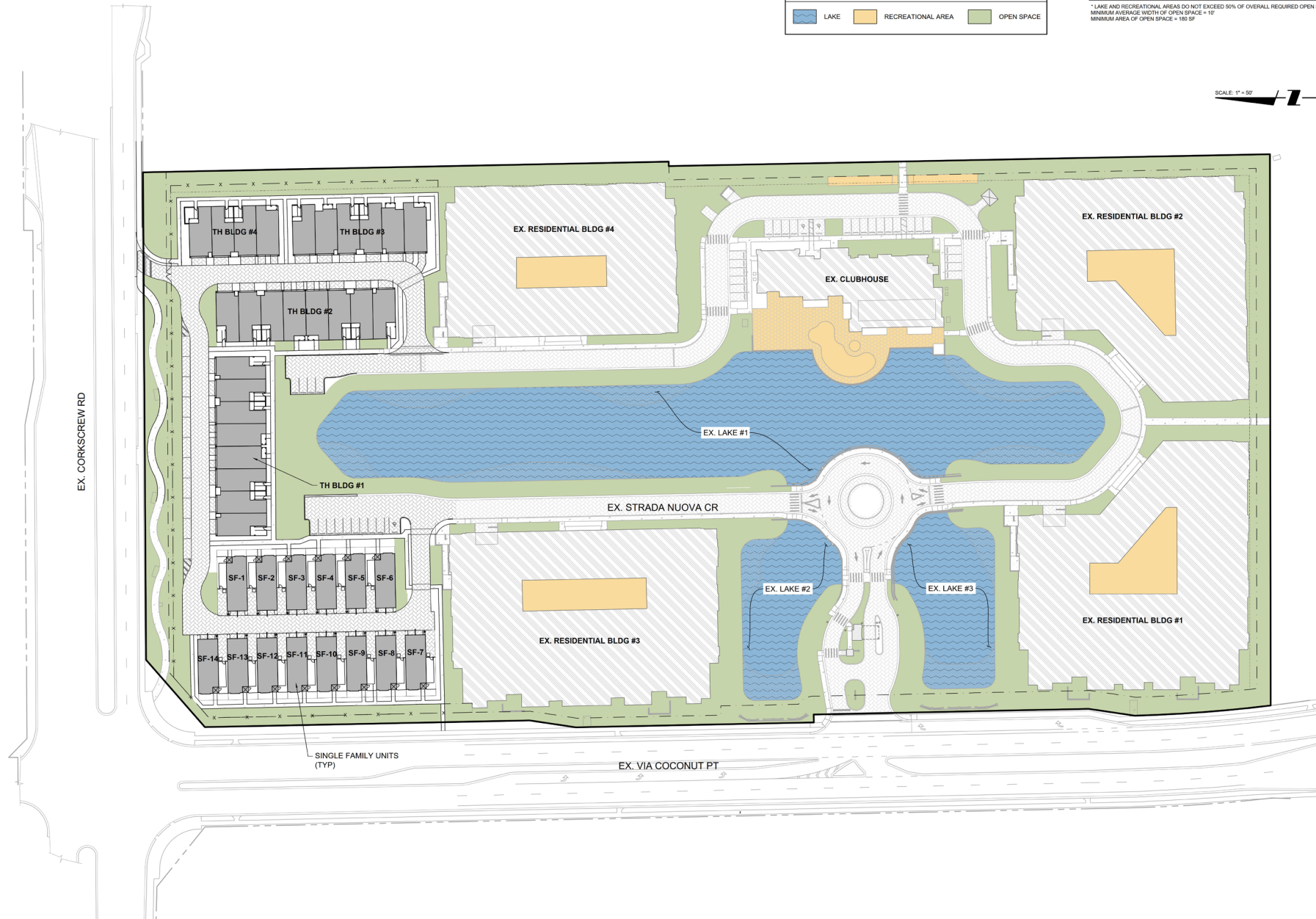


# Open Space Exhibit

MASTER CONCEPT PLAN LEGEND			
	EX. BUILDING		PROPOSED BUILDING
	EX. PAVERS		PROPOSED PAVERS
	LAKE	TH	TOWNHOME
		SF	SINGLE-FAMILY
OPEN SPACE LEGEND			
	LAKE		RECREATIONAL AREA
			OPEN SPACE

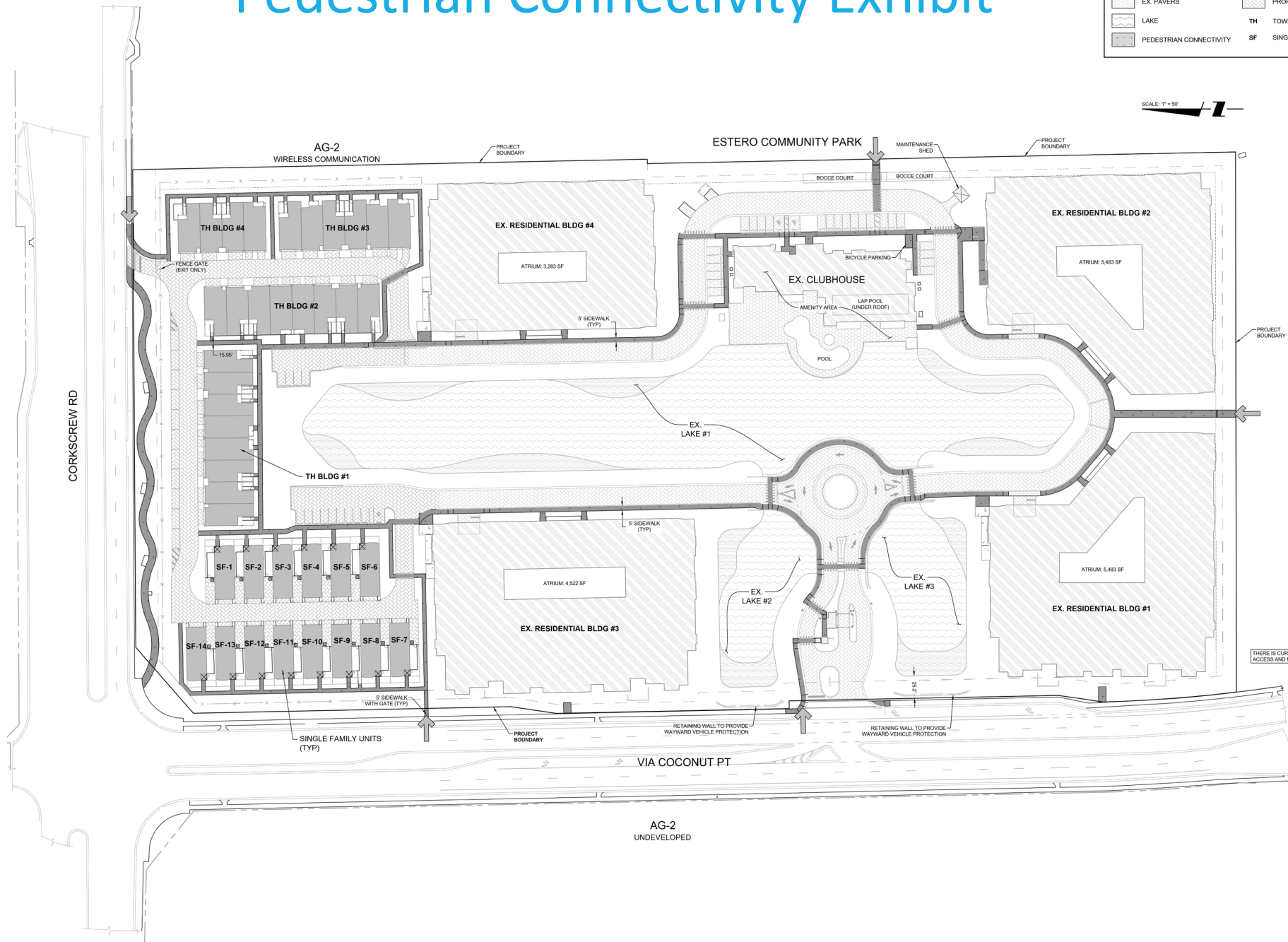
OPEN SPACE CALCULATION		
REQUIRED	PROVIDED	
40% OF SITE AREA	LAKE*	2.68 AC.
16.92 AC. X 40% = 6.77 AC.	RECREATIONAL AREAS*	0.69 AC.
	OPEN SPACE	4.08 AC.
<b>TOTAL REQUIRED = 6.77 AC. (40%)</b>	<b>TOTAL</b>	<b>7.45 AC. (44%)</b>

\* LAKE AND RECREATIONAL AREAS DO NOT EXCEED 50% OF OVERALL REQUIRED OPEN SPACE (40.8% AS SHOWN)  
 MINIMUM AVERAGE WIDTH OF OPEN SPACE = 10'  
 MINIMUM AREA OF OPEN SPACE = 100 SF



# Pedestrian Connectivity Exhibit

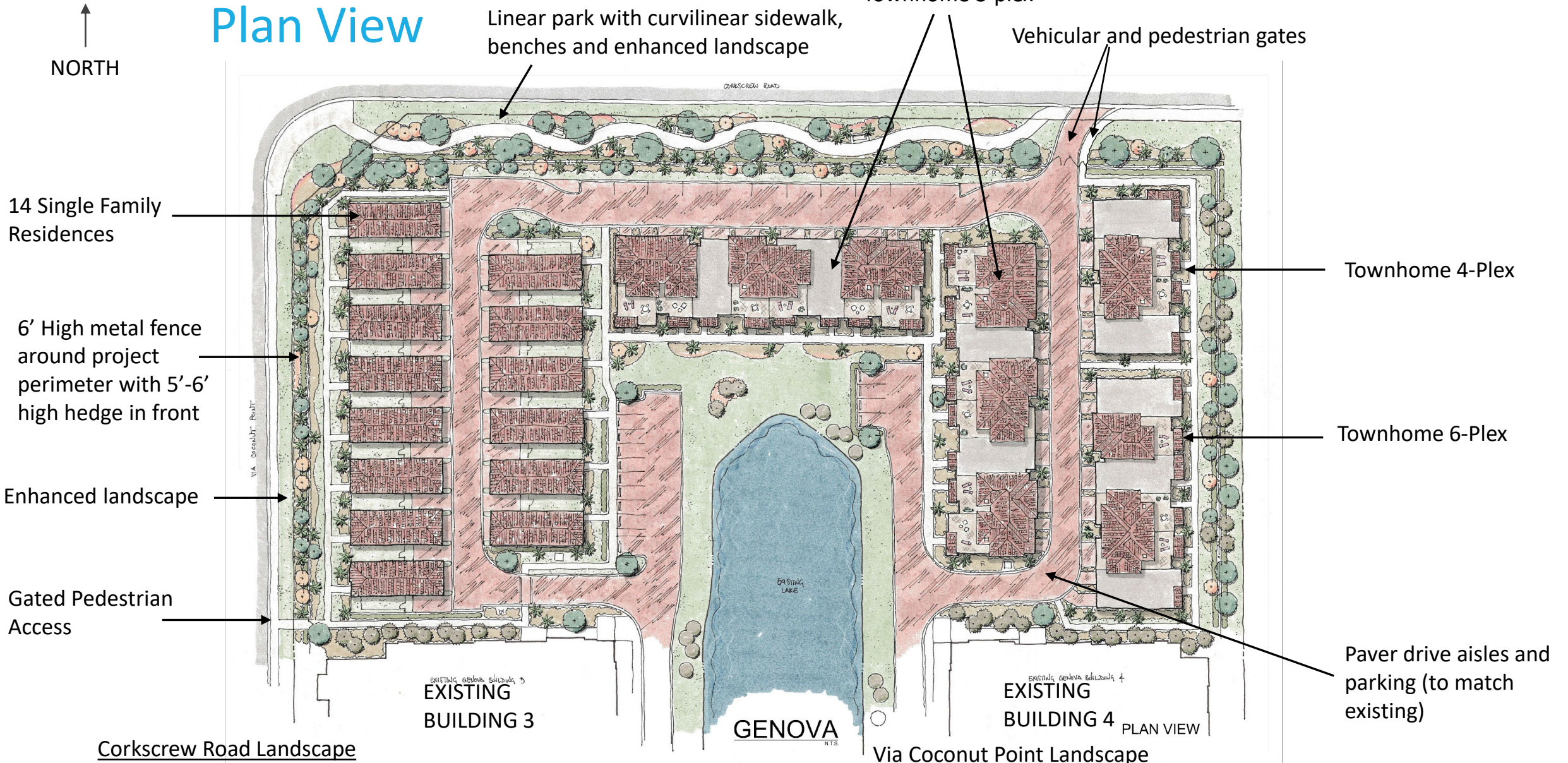
MASTER CONCEPT PLAN LEGEND			
	EX. BUILDING		PROPOSED BUILDING
	EX. PAVERS		PROPOSED PAVERS
	LAKE		TH TOWNHOME
	PEDESTRIAN CONNECTIVITY		SF SINGLE-FAMILY



SCALE: 1" = 50'



# Plan View



14 Single Family Residences

6' High metal fence around project perimeter with 5'-6' high hedge in front

Enhanced landscape

Gated Pedestrian Access

Linear park with curvilinear sidewalk, benches and enhanced landscape

Townhome 8-plex

Vehicular and pedestrian gates

Townhome 4-Plex

Townhome 6-Plex

Paver drive aisles and parking (to match existing)

EXISTING BUILDING 3

GENOVA N.T.S.

EXISTING BUILDING 4 PLAN VIEW

### Corkscrew Road Landscape

- 30 Trees and 400 shrubs required per approved D.O. landscape plan
- Proposed is 35 trees minimum plus accent palms and ornamental shrubs
- Shady Lady Black Olive, Silver Buttonwood, Montgomery Palm

### Via Coconut Point Landscape

- Trees required are 20' on center
- Proposed is a minimum of trees at 20' on center plus accent palms and ornamental shrubs
- Silver Buttonwood, Eagleston Holly, Montgomery Palm

# Townhomes



- Current photos of built townhomes in downtown Doral with modified stucco color
- Product of CC Homes, based out of Coral Gables, FL
- 2 & 3 story units within same building, +/- 2500-3500 SF total
- 3 story with outdoor lanai on top
- 3 story with optional elevator
- 2 garage parking spaces per unit

Add a footer



- Mediterranean Revival style
- Varied massing, multiple building volumes and varied building heights
- Shallow roof pitches with barrel tile as material and wide overhangs
- Attached balconies with decorative metal railings
- Square openings with an occasional archway
- Architectural features with roof cupolas, corbels and clay tile vents
- Neutral, warm earth tones for exterior building colors

# Primary Stucco Color



**Light beige wall color and pale green shutters from existing Genova building – looking to utilize similar colors**

# 8-plex Elevation 1



**ELEVATION KEY NOTES:**

1. SPANISH TILE CERAMIC ROOF TILE
2. GALVANIZED METAL ROOF PAINTED ON 1/4" P.T. W.D. ROOFING
3. 2" x 8" STRUCTURAL GRADE BINDER PANELS (PAINTED)
4. OUTSIDE GRADE LIGHT FIXTURE, BOTTOM 6" x 1/2" W/4" ABOVE FINISH FLOOR OR ADJACENT GRADE
5. LIGHT FIXTURE SPACERS TO, REFER TO WALL SECTIONING AND GENERAL NOTES
6. 2" SQUARE BRASS/STAINLESS NAIL, MOUNT TO WAGON ADJACENT WINDOW RAIL
7. ORNAMENTIVE BRICK/CLAY BRACKET ATTACHMENT AND FINISH AS PER MANUFACTURER'S SPECIFICATIONS
8. ALUMINUM GUTTER (PAINTED)
9. METAL GUTTER PAINTER
10. ALUMINUM DOWNSPOUT (PAINTED)
11. 1" x 2" x 4" BRASS/STAINLESS SPACER RAILS
12. 2" DIA. BRASS/STAINLESS COVERED STYROPOLAN BRICK/CLAY MOUNTING
13. 4" DIA. BRASS/STAINLESS PIPE
14. 6" x 6" BRASS/STAINLESS SPRING BRACKET MOUNT
15. BRASS/STAINLESS COVERED STYROPOLAN MOUNTING, SIDE PROFILE
16. BRASS/STAINLESS SHUTTER
17. ORNAMENTIVE 2" x 4" x 1/2" CHAIN RING
18. ELECTRICAL MOUNT
19. 6" x 12" HIGH BRASS/STAINLESS RAILING WITH POSTS TO REST ON 4" x 4" DIA. BRASS/STAINLESS BOTTOM RAIL AT 3" MAXIMUM S.P.A.
20. PERMANENT OVERCAST SUPPORT
21. CONCRETE WALL METAL PAINTED STEEL CAP, SEE MESH, DIMS.



## TOWNHOME FRONT FACADE

# 8-plex Elevation 2



PARTIAL REAR ELEVATION  
3/16" = 1'-0"

### ELEVATION KEY NOTES:

1. SPANION TO CONCRETE BLOCK TILE
2. GALVANIZED METAL DECK PAINTED ON 1/4" P.C. W/ BURSTING
3. 2" X 2" SP STRUCTURAL GRADE WOOD PANELS (PAINTED)
4. EXTERIOR GRADE LIGHT FIXTURES, BOTTOM CLIP MIN. ABOVE FINISH FLOOR OR ADJACENT GRADE
5. LIGHT FIXTURES (EXPOSED TOP, REFER TO WALL SECTION AND GENERAL NOTES)
6. 2" GAUGE BRASS/PA BRASS NAIL, HEIGHT TO MATCH ADJACENT WINDOW SILL
7. DECORATIVE PERSIMMON SHUTTER ATTACHMENT AND FINISH AS PER MANUFACTURER'S SPECIFICATIONS
8. ALUMINUM GUTTER (PAINTED)
9. METAL COPING PAINTED
10. ALUMINUM DOWNSPOUT (PAINTED)
11. 1" X 2" X 1/4" BRASS/PA FINISH STUCCO NAIL
12. 2" DIA. BRASS/PA STUDS COVERED WITH PERSIMMON SUBSTRUCTURE BRASSING
13. 1/2" DIA. DECORATIVE PIPE
14. 2" X 2" X 1/4" BRASS/PA STUCCO NAIL
15. BRASS/PA STUDS COVERED WITH PERSIMMON BRASSING. SEE PROFILE
16. PERSIMMON SHUTTER
17. ORNAMENTAL TILE BY 4" CHAU BEHND
18. SUBSTRUCTURE NOTES
19. SET FROM ALUMINUM BRASSING WITH PILETS TO VERIFY 4" X 2" DIA. GUTTER, BOTTOM RAIL AT 2" MAXIMUM A.P.C.
20. PERSIMMON OVERLOOK RAILING
21. BRASS/PA METAL PAINTED RAIL CAP. SEE MESH DRAWN



TOWNHOME REAR FACADE

# 8-plex Elevation 3



UNIT 301

UNIT 305

LEFT ELEVATION

RIGHT ELEVATION

## TOWNHOME SIDE FACADES

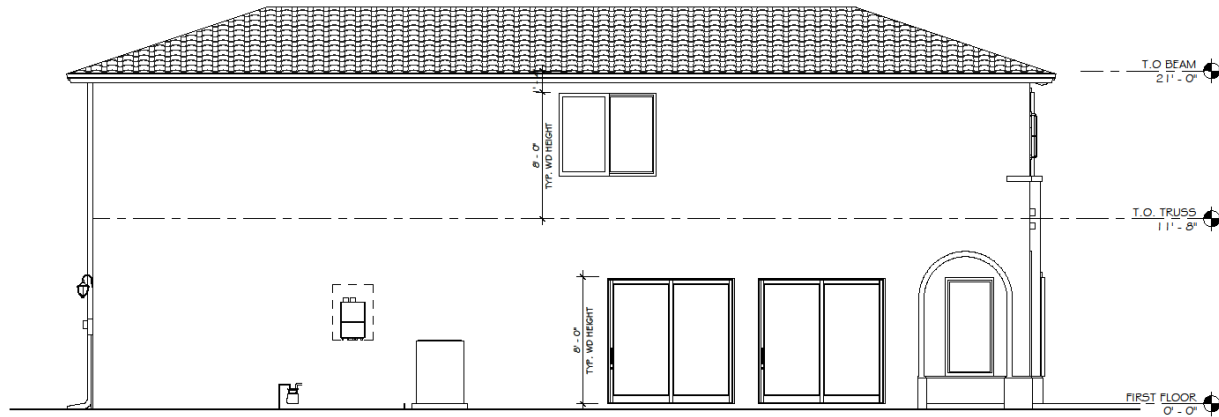


# Single Family Home

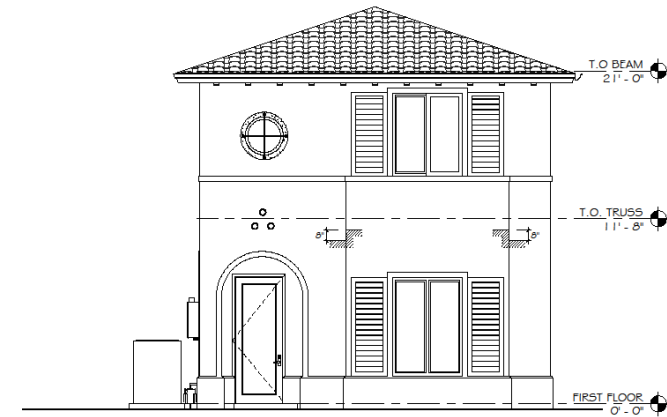


- Current photo of built homes in Downtown Doral with modified stucco color (neutral warm earth tones)
- Product of CC Homes, based out of Coral Gables, FL
- 2 stories, +/- 2500 SF total
- Minimum 2 parking spaces per unit
- Architectural embellishments  
-see following page

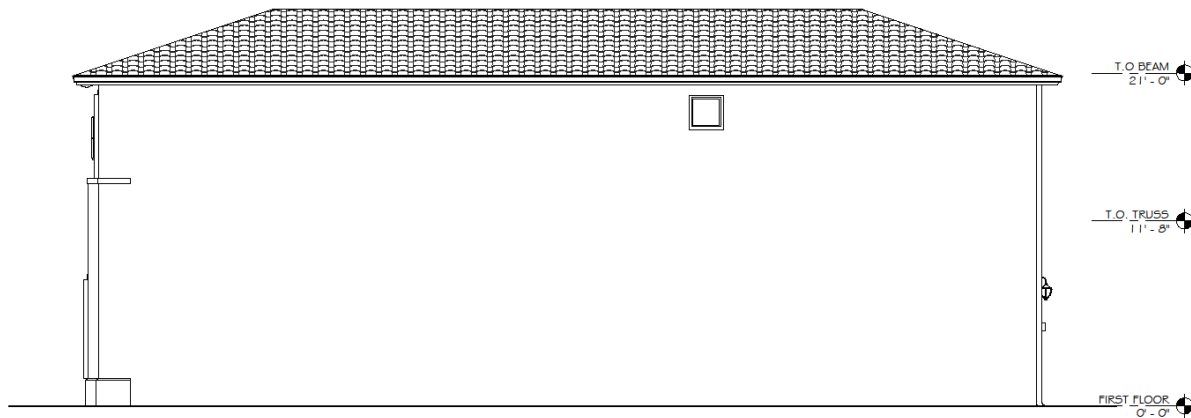
# Single Family Elevation



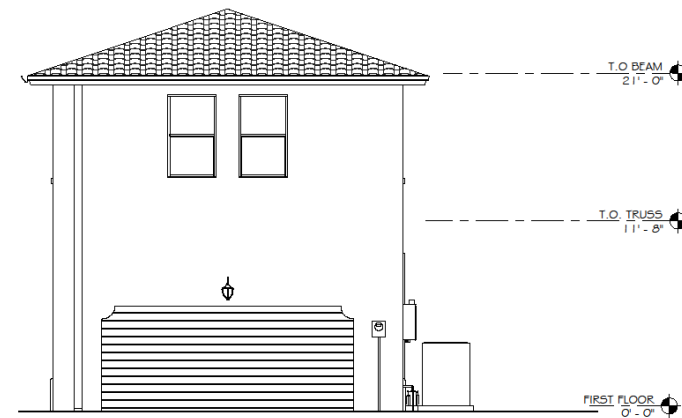
LEFT ELEVATION



FRONT ELEVATION



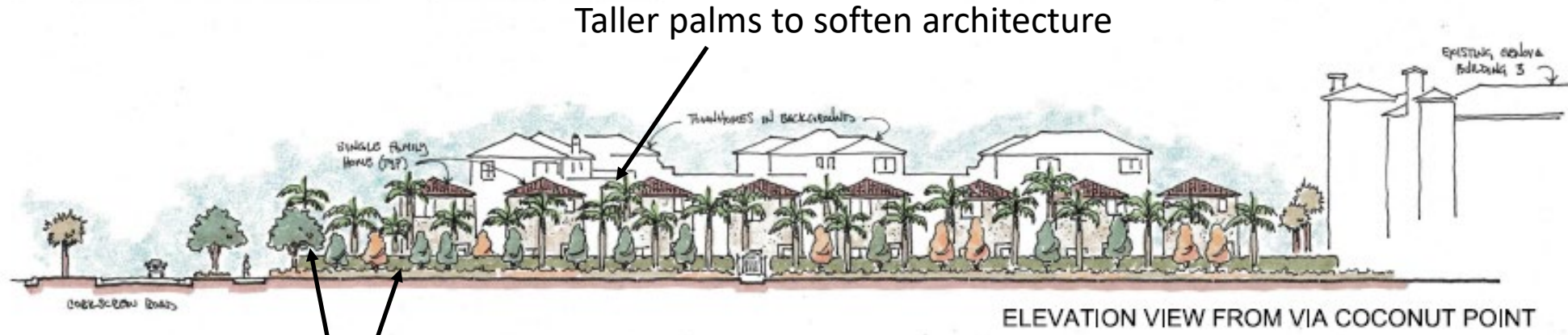
RIGHT ELEVATION



REAR ELEVATION

- Shallow roof pitches with barrel tile as material and little overhang
- Arched doorway
- Architectural feature with shutters, trim, clay tile vents

# Elevation View



Canopy and ornamental trees



# CONCLUSIONS

- Replacing 74 units with 40 units
- Mediterranean/Spanish Revival Architecture Styles
- Enhanced landscape above code adjacent to ROW's
- Open space will meet or exceed L.D.C./existing P.D. minimum requirement of 40%

# QUESTIONS AND ANSWERS