



# ESTERO CROSSING – BLDG. 1 (DUNKIN) - PUBLIC INFORMATION MEETING

ESTERO, FL  
April 2022

## CONSULTANT TEAM

**STOCK DEVELOPMENT**, *Developer*



**BOOTH DESIGN GROUP**, *Landscape Architecture*



**BOOTH DESIGN GROUP**  
landscape architecture • planning • urban design

**GMA ARCHITECTS AND PLANNERS**, *Architect*



**DELISI FITZGERALD, INC.**, *Civil Engineering*





# VICINITY MAP



# ESTERO CROSSING



# SITE CONTEXT – MASTER CONCEPT PLAN

**LEGEND**

**R C MU U**

- POINT-OF-ORIG PRESERVE
- LAKE
- BUFFER
- FENCE/WALL
- POINT OF TRANSFER FOR FISS
- POINT OF INTERMEDIATE PRESERVE FOR FISS

**OPEN SPACE CALCULATIONS:**

**REQUIRED OPEN SPACE:**  
 NON-RESIDENTIAL USE = 0.85 AC x 87% = 1.05 AC  
 RESIDENTIAL USE = 35.93 AC x 40% = 14.40 AC  
**TOTAL = 15.45 AC**

**REQUIRED INDIGENOUS:**  
 50% OF REQUIRED OPEN SPACE  
 (REQ. PRESERVE SPACE = 16.10 AC - 15.45 AC = 0.65 AC)  
**PROVIDED OPEN SPACE:**  
 COMMERCIAL OUTPARCELS (10%) = 0.82 AC  
 RESIDENTIAL AREA = 7.82 AC  
 INDIGENOUS PRESERVE AREA #1 = 4.25 AC  
 INDIGENOUS PRESERVE AREA #2 = 3.85 AC  
**TOTAL OPEN SPACE = 16.74 AC**

**PROVIDED INDIGENOUS:**  
 INDIGENOUS OPEN SPACE AREA #1 = 3.85 AC (INDIGENOUS)  
 3.34 AC (WITH 10% CREDIT)  
 INDIGENOUS OPEN SPACE AREA #2 = 0.40 AC (WITH CREDIT)  
**TOTAL = 4.25 AC**

**INDIGENOUS OPEN SPACE AREA #1**  
 3.85 AC (INDIGENOUS)  
 3.50 AC (WITH 10% CREDIT)  
**TOTAL = 4.35 AC**

**INDIGENOUS OPEN SPACE AREA #2**  
 3.85 AC (INDIGENOUS)  
 3.50 AC (WITH 10% CREDIT)  
**TOTAL = 4.35 AC**

**TOTAL PROVIDED = 12.12 AC**

**OPEN SPACE BREAKDOWN**

LOT	LOT AREA	OPEN SPACE PROVIDED	PERCENTAGE OF LOT PROVIDED
RIGHT-OF-WAY (COV. STS)	1.39 AC	0.49 AC (35%/40%)	0.35 AC
COMMERCIAL OUTPARCELS	5.15 AC	1.54 AC (30%)	30%
RESIDENTIAL AREA	31.59 AC	9.88 AC (31%)	31%
INDIGENOUS PRESERVE AREA 1	4.25 AC	1.60 AC (40%)	40%
INDIGENOUS PRESERVE AREA 2	4.25 AC	1.58 AC (40%)	40%
<b>TOTAL</b>	<b>46.54 AC</b>	<b>13.09 AC</b>	<b>28.33 AC</b>

NOTE: 1.5 AC ASSOCIATED WITH THE EX-STAIR ACCESS EASEMENT FOR COR-4 (SOREX WOODLANDS BLVD) EXCLUSIVELY MAINTAINED IN AN INDIGENOUS OPEN SPACE.

**PHASING SCHEDULE**

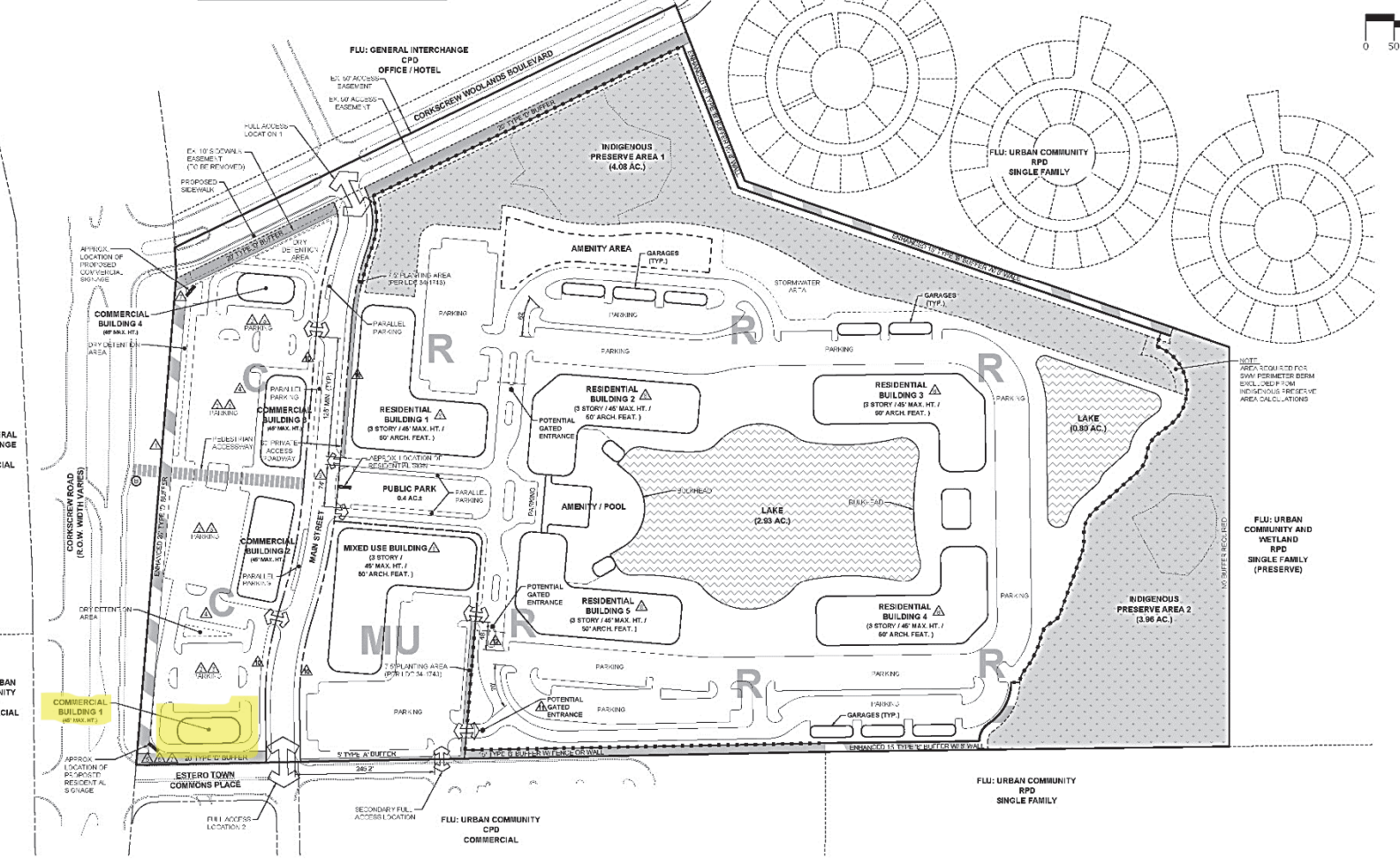
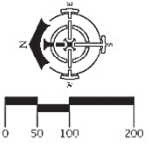
PHASE	PHASE DESCRIPTION
PHASE 1 (G22)	FRONTAGE ROADWAY AND STREET ASSOCIATED INFRASTRUCTURE AND UTILITIES
PHASE 2 (G21)	INITIAL COMMERCIAL DEVELOPMENT (22,270 SF WITH INCLUDING ALL UTILITIES, AND INCLUDING PUBLIC PARK FRONTAGE ROAD AND PUBLIC PARK INFRASTRUCTURE)
PHASE 3 (G21-042)	RESIDENTIAL DEVELOPMENT
PHASE 4 (G21-202)	RESIDENTIAL DEVELOPMENT

**PHASING NOTES:**  
 1. THE INITIAL RESIDENTIAL DEVELOPMENT OPERATOR SHALL INCLUDE ALL PERIMETER BUFFERS AND ANY WORK ASSOCIATED WITH THE INDIGENOUS PRESERVES.  
 2. THE COMMERCIAL BUILDING DEVELOPMENT OPERATOR SHALL

**DEVELOPMENT SCHEDULE:**

**COMMERCIAL AND/OR RETAIL:**  
 MAXIMUM 30% OF THE TOTAL PERMITTED LAND USES  
**RESIDENTIAL:**  
 MAXIMUM 50% OF THE TOTAL PERMITTED LAND USES

- NOTES:**
- INDIGENOUS CREDIT PER LDC 104-100-007 & 107-000-001 WILL BE GIVEN FOR PRESERVES WITH A MINIMUM OF 10% OF THE LOT AREA TO BE SET AS PRESERVE. PRESERVES WITH MORE THAN 10% OF THE LOT AREA TO BE SET AS PRESERVE WILL BE GIVEN FOR PRESERVES WITH A MINIMUM OF 10% OF THE LOT AREA TO BE SET AS PRESERVE.
  - TOTAL AREA INCLUDES SWM FACILITY CONCRETE WALLS AND LULU TYPICAL GRASSWAY (SCHEDULE 1)
  - THE PROJECT IS LOCATED IN THE ESTERO PLANNING COMMUNITY AND WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF ESTERO.
  - ALL EXISTING UTILITIES AND STRUCTURES OR UTILITIES ARE APPROXIMATE. THE PROJECT IS LOCATED WITHIN THE DESIGN DRAINAGE OF THE VILLAGE OF ESTERO AND DEVELOPMENT CANNOT BE PERMITTED WITHOUT OBTAINING A DEVELOPMENT PERMIT FROM THE VILLAGE OF ESTERO.
  - SWIMMING POOL AND OTHER STRUCTURES SHALL BE FULLY SCREENED AND OPEN ED ONLY FROM CORSEBREW ROAD AND THE INTERNAL PRESERVE BUFFER SHALL BE FULLY MAINTAINED.



**DELISI FITZGERALD, INC.**  
 Planning - Engineering - Project Management

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**OWNER / DEVELOPER:**  
**SD ESTERO CROSSING, LLC**  
 11405 W. GOLF COURSE DR. #1110  
 FORT MYERS, FL 33907  
 (239) 693-7348

**PROJ. NO.:**

# ESTERO CROSSING

PLAN/REVISIONS	DATE	DESCRIPTION

**MASTER CONCEPT PLAN**

Project Manager: JTW  
 Drawn by: CAS  
 Checked by: JTW  
 Project Number: 21181  
 Part of Section(s): 35  
 Township: 46 S Range: 25 E  
 County, State: LEE COUNTY, FL

FOR PERMITTING PURPOSES ONLY  
 NOT FOR CONSTRUCTION

Sheet Number: 1



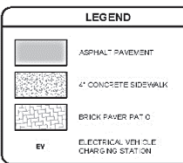
# SITE PLAN

## GENERAL DEVELOPMENT NOTES:

1. ALL CONTRACTORS AND SUB CONTRACTORS SHALL MAINTAIN THE WORK AND THE SITE RELATIVE TO THEIR WORK BY ACCESSING THE SITE FROM WATERS POLLUTION PREVENTION PLAN AND ALL REQUIREMENTS OF THE PERMIT. NO DISBURSEMENT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE COUNTY WITH ALL LOCAL STATE AND FEDERAL REGULATORY REQUIREMENTS.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE VILLAGE OF ESTERO LAND DEVELOPMENT CODE.
4. THE CONTRACTOR SHALL RETURN TO THE WORK SITE AT ALL TIMES COPIES OF ALL PERMIT APPROVALS FOR ANY CONSTRUCTION.
5. THE CONTRACTOR SHALL NOTIFY THE OWNER AND CONTACT ALL UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES. THE AREA TO BE WORKED ON SHALL BE PROTECTED AND ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE VILLAGE OF ESTERO LAND DEVELOPMENT CODE.
6. THE LOCATION OF EX. UTILITY LINES, SEWER LINES, RAILROADS, WATER MAINS AND VESSEL LOCATIONS IN PROPOSED ACCESS AREAS SHALL BE RECORDED IN THE PLANNING DEPARTMENT BY THE CONTRACTOR IN THE FIELD PRIOR TO COMMENCING ANY CONSTRUCTION.
7. THE NORTH ARROW INDICATES THE DIRECTION OF TRAVEL AND SHALL BE USED FOR THE PROJECT.
8. ANY PUBLIC WORKS AND CONSTRUCTION SHALL BE PROTECTED AND ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE VILLAGE OF ESTERO LAND DEVELOPMENT CODE. ANY PUBLIC WORKS DESTROYED MUST BE PROPERLY RECONSTRUCTED BY THE CONTRACTOR.
9. POSTING AND SIGNAGE SHALL BE PROVIDED TO ADEQUATELY NOTIFY THE PUBLIC OF THE PROJECT PRIOR TO COMMENCING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
10. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO COMMENCING CONSTRUCTION. ANY DIMENSIONS OR ELEVATIONS SHALL BE RECORDED TO THE EXISTING AND/OR PROPOSED PLAN BY THE CONTRACTOR.
11. CONTRACTOR IS REQUIRED TO OBTAIN FROM THE ENGINEER WRITTEN APPROVAL FOR ANY DEVIATIONS FROM THE PLAN AND/OR SPECIFICATIONS.
12. UNPROTECTED CONSTRUCTION SHALL NOT BE DONE IN A MANNER THAT RESULTS IN ALL TYPES OF DAMAGE TO EXISTING OR PROPOSED UTILITIES, VESSELS, OR SOIL FROM TRUCKS OR SHALL BE PLACED ONLY ON PREVIOUSLY CLEARED AREAS OR AS DIRECTED BY THE OWNER. CONTRACTOR SHALL NOT REMOVE OR DISTURB ANY TREES AND/OR SHRUBS NOT OTHERWISE APPROVED BY THE OWNER.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC AND ROADWAY AND SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS. TRAFFIC CONTROL AND SAFE PRACTICES SHALL BE SUBJECT TO THE ENGINEER'S APPROVAL PRIOR TO THE BEGINNING OF WORK ACTIVITIES.
14. NO DOWNSTREAM IS PROPOSED WITH THIS PROJECT. IF DOWNSTREAM IS REQUIRED, A PERMIT FROM SWFWMD IN ACCORDANCE WITH SECTION 401 OF THE CWA SHALL BE OBTAINED.
15. THE REPAIR OF EXISTING UTILITIES TO MAINTAIN EXISTING PLANT AND/OR OPERATIONS SHALL BE OBTAINED FROM THE VILLAGE OF ESTERO AND SHALL BE SUBJECT TO THE VILLAGE OF ESTERO LAND DEVELOPMENT CODE. ANY SUCH WORK SHALL BE SUBJECT TO THE VILLAGE OF ESTERO LAND DEVELOPMENT CODE AND SHALL BE IN ACCORDANCE WITH THE VILLAGE OF ESTERO LAND DEVELOPMENT CODE.
16. NO SLASHING IS PROPOSED WITH THIS PROJECT.

## SIGNING AND MARKING NOTES:

1. ALL SIGNAGE AND MARKING SHALL BE IN ACCORDANCE WITH THE VILLAGE OF ESTERO LAND DEVELOPMENT CODE. ALL SIGNAGE SHALL BE PLACED IN THE LOCATION AND MANNER AS NOTED ON THE PLAN AND SHALL BE IN ACCORDANCE WITH THE VILLAGE OF ESTERO LAND DEVELOPMENT CODE.
2. PAVEMENT MARKINGS SHALL BE PERMANENT REFLECTIVE TRAFFIC PAINT TO BE PLACED IN ACCORDANCE WITH THE VILLAGE OF ESTERO LAND DEVELOPMENT CODE.
3. ALL 4" CONCRETE SIDEWALKS SHALL INCLUDE A 2" PAINTED WHITE STOP BAR UNLESS NOTED OTHERWISE.
4. ALL 12" SIGN LOCATIONS SHALL INCLUDE A 2" PAINTED WHITE STOP BAR UNLESS NOTED OTHERWISE.
5. THE CONTRACTOR SHALL COMPLY WITH THE STATE OF FLORIDA MANUAL OF TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REMOVAL OF THE MARKINGS AND SIGNAGE.



### ENTITLEMENT INVENTORY TABLE

USE	MAX INTENSITY (F)	PROPOSED (F)	REVISIONS (F)	TOTAL INT. (F)
MULTI-FAMILY RESIDENTIAL	308 UNITS	0	0	0
TOTAL / COMMERCIAL	6,200 SF	46,354 SF	4,782 SF	51,176 SF

(F) MAXIMUM INTENSITY PER ORDINANCE 2019-29

### REFUSE & SOLID WASTE DISPOSAL FACILITIES

REQUIREMENT	REQUIREMENT PER VILLAGE OF ESTERO LOC. 5-11	PROPOSED CONFORMANCE
REQUIREMENT	125 SP/HL/AC. MORE THAN 5,000 SF UP TO 10,000 SF	4,782 SF
REQUIREMENT	REQUIREMENT AREA	728 SF
REQUIREMENT	10% OF ENCLOSURE	56 SF

NOTES:  
1. THE ENCLOSURE SHALL HAVE A MINIMUM 12 FEET WIDE CLEAR SPACING.  
2. MAXIMUM OVERHEAD CLEARANCE OF 25 FEET IS REQUIRED.

### SITE DEVELOPMENT REGULATIONS PER ORDINANCE 2019-29

REGULATION	REQUIRED	PROPOSED
MINIMUM BUILDING SETBACKS		
CORNER SETBACK (SIDE WALK)	20 FT	32 FT
CORNER SETBACK (SIDE WALK) (OPPOSITE SIDE)	20 FT	N/A
FRONT SETBACK (SIDE WALK)	5 FT	10.0 FT
OTHER PERMETER BOUNDARIES (W/ST BOUNDARY)	20 FT	34 FT
MINIMUM BUILDING SEPARATION	20 FT	19.5 FT
MAXIMUM BUILDING HEIGHT	40 FT (SEE ZONING)	37 FT (SEE ZONING)
MAXIMUM LOT COVERAGE	28%	17%

(F) NOT COVERED FOR THE COMMERCIAL OUTPARCEL. INCLUDES PREVIOUSLY PERMITTED DEVELOPMENT PER ORDINANCE 2019-29.

### BUFFER REQUIREMENTS

PROPERTY LINE	ADJACENT USE	BUFFER REQUIRED
NORTH	R.O.W	20 FT (E)
EAST	R.O.W	20 FT (E)
SOUTH	R.O.W	ALTERNATE 20
WEST	R.O.W	20 FT (E)

(E) 20 MINUTE TYPE 'D' BUFFER REQUIRED PER ORDINANCE 2019-29  
(2) ALTERNATE PLANTING PER BUFFER BOOK PER ORDINANCE 2019-29

### PARKING SUMMARY

USE	RATIO	REQUIRED	PROVIDED
MULTIPLE PERMITTED BUILDINGS (PER LOC 2300-807 AND 2305-201-E163)			
MULTIPLE OCCUPANCY COMPLEX	4.5 PER 1,000 SF OF FLOOR AREA (24,800 SF)	108	108
RESTAURANT (WALK & STONE)	12.5 PER 1,000 SF OF FLOOR AREA (1,300 SF + 179 OUTDOOR SEATING)	88	88
TOTAL			33
RESTAURANT BUILDING	12 PER 1,200 SF OF FLOOR AREA (180.7 SF)	23.5	
TOTAL	1 PER 350 SF OF FLOOR AREA (297.5 SF)	8.5	
(S&L) NOTED: TOTAL SPACES		276	276(10)

### BUILDING SUMMARY

BUILDING	FLOOR AREA (SQ FT)	STORIES
BLDG 1	4,782	1

### COMMERCIAL OUTPARCEL OPEN SPACE

INTEGRATED OPEN SPACE	REQUIRED OPEN SPACE (PER ORDINANCE 2019-29)	PROVIDED OPEN SPACE (PER ORDINANCE 2019-29)
0.87 AC	0.67 AC (10% MIN)	1.71 AC

NOTES:  
REQUIRED OPEN SPACE PER ORDINANCE 2019-29

### ELECTRICAL VEHICLE (EV) CHARGING STATIONS

COMMERICAL	100 SQUARE FEET OF FLOOR AREA (100 SQ FT)	REQUIRED	PROVIDED
		3	4

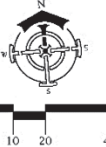
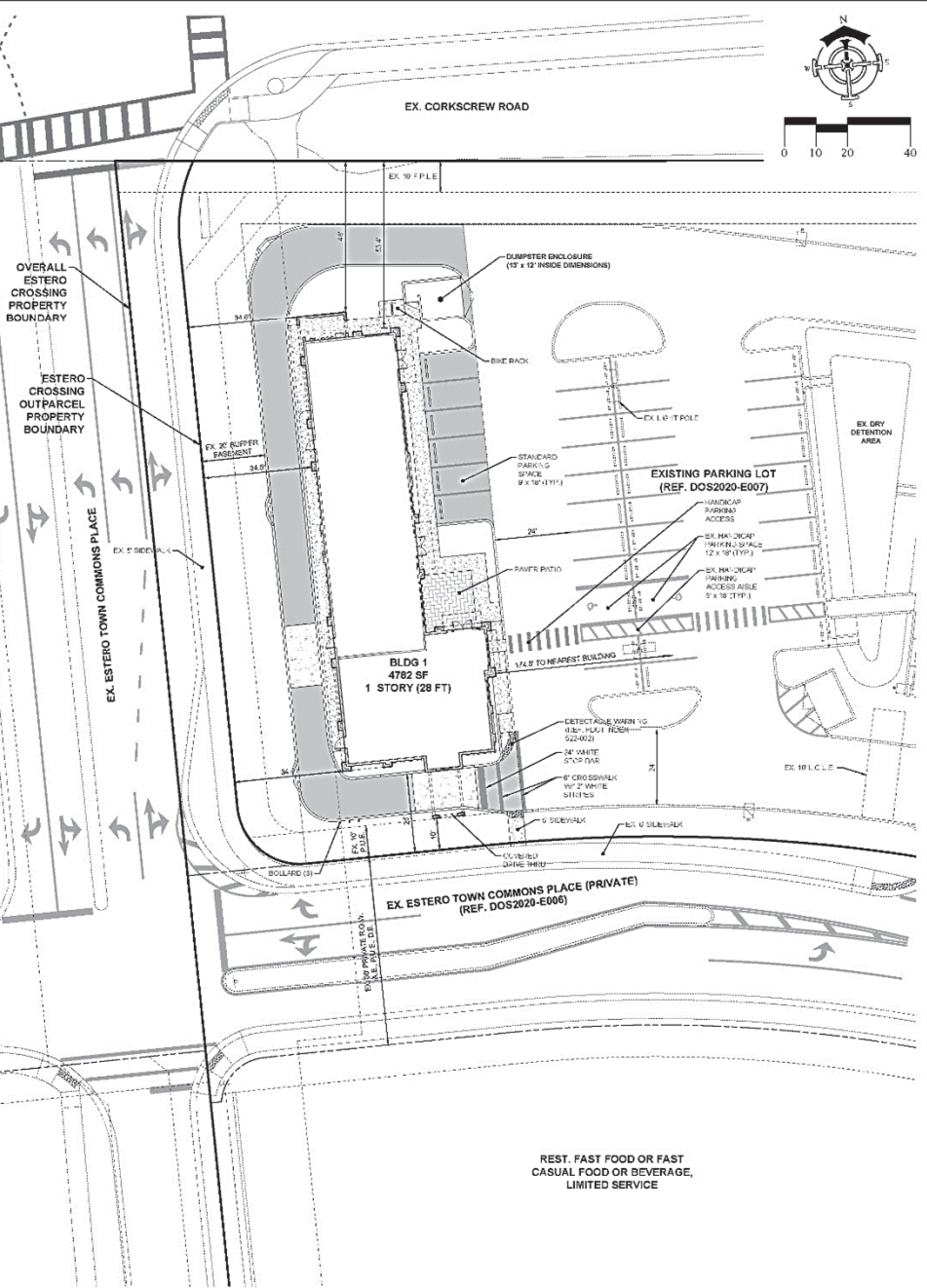
### BIKE PARKING FACILITIES

COMMERICAL	5% OF REQUIRED PARKING SPACES	REQUIRED	PROVIDED
		13	13 (SEE NOTES)

### LOADING SPACES

COMMERICAL	1 SPACE FOR THE FIRST 10,000 SF OF FLOOR AREA (5,300 SF)	REQUIRED	PROVIDED
		1	0

- NOTES:  
 1. "R" REPRESENTS THE NUMBER OF REQUIRED SPACES INCLUDED IN THE TOTAL SPACES.  
 2. "P" INDICATES THE NUMBER OF PROVIDED SPACES.  
 3. BIKE PARKING REQUIREMENTS PER VILLAGE OF ESTERO LOC. 5-206.  
 4. "S" SHALL NOT BE USED IN THE CALCULATION OF THE TOTAL TRUCK TRAILER OR TRAILER TRUCK SPACES. TRAILER TRUCK SPACES ARE REQUIRED PER VILLAGE OF ESTERO LOC. 5-206.  
 5. 10 BICYCLE SPACES WERE PROVIDED UNDER DISCOUNTED BICYCLE SPACES WERE PROVIDED.  
 6. INCLUDES 1 CHAIR FOR PARKING SPACES.



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 of Registration  
 Engineering 18-26978

ENGINEER OF RECORD  
 JOHN W. WOODALL, C.E., P.E.  
 FLOOR PLAN SHEET 11  
 EX. 10' P.F.L.E.

OWNER / DEVELOPER:  
**SD ESTERO CROSSING, LLC**  
 3000 WESTERN AVENUE, SUITE 111  
 WEST PALM BEACH, FL 33411  
 (561) 848-4444

PROJECT:  
**DUNKIN DONUTS AT ESTERO CROSSING**

PLANNING		DATE	DESCRIPTION

DATE	DESCRIPTION	BY

**SITE LAYOUT, SIGNING AND MARKING PLAN**

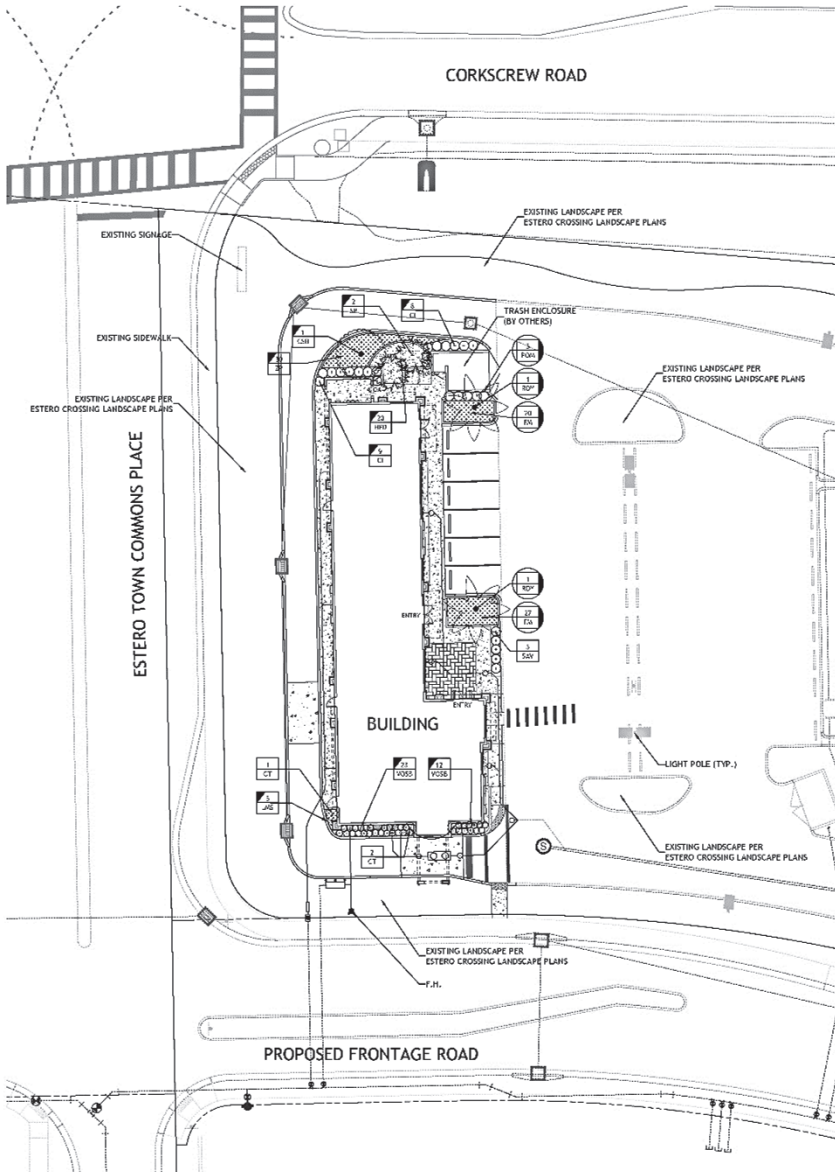
Project Manager: JTW  
 Drawn By: WK  
 Checked By: JTW  
 Project Number: 21613  
 Located in Section: 23  
 Township: 46 S Range: 25 E  
 County State: LEE COUNTY, FL

State:  
 CONSTRUCTION PLANS  
 SUBJECT TO ALL PERMIT APPROVALS

Sheet Number: 4

REST. FAST FOOD OR FAST CASUAL FOOD OR BEVERAGE, LIMITED SERVICE

# LANDSCAPE PLANS



## BUILDING PERIMETER PLANT MATERIAL SCHEDULE

**PLANT MATERIAL NOTES:**  
 1. THE CONTRACTOR SHALL BID AND BE RESPONSIBLE FOR THE PLANT SIZE AND NOT SOLELY BY THE CONTAINER. CONTAINER IS PROVIDED AS A MIN. SIZE.  
 2. THE GENERAL CONTRACTOR/LANDSCAPE CONTRACTOR SHALL PERFORM A MIN. OF 3 SOIL TEST FROM VARIOUS LOCATION AROUND SITE AFTER FILL HAS BEEN COMPLETED. TEST SHALL BE SUBMITTED TO OWNER/LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO ANY PLANTS BEING INSTALLED. SITES LARGER THAN 30 ACRES SHALL HAVE A MIN. OF 5 SOILS SAMPLES TESTED.  
 3. IN A CONFLICT BETWEEN THE PLANS AND THE SPECIFICATIONS/PLANT MATERIAL SCHEDULE, THE PLANS SHALL GOVERN.

QTY	CODE	BOTANICAL NAME	COMMON NAME	SPECIFICATION	NATIVE	DROUGHT TOLERANCE	NOTES
1	CI	CHRYSOBALANUS ICACAO	GREEN COCOPLUM	7 GAL., 16" HT.	YES	YES	
1	CSB	CORDIA SEBESTENA	ORANGE GEIGER TREE	10' HT. X 4.5'-5' SPD., 2" CAL.	YES	YES	
3	CT	CORYDINE FRUTICOSA	HAWAIIAN TI PLANT	3 GAL. 30-36" HT., MULTI TRUNK	NO	NO	RED SISTER TI
47	FAI	FIGUS MICROCARPA "GREEN ISLAND"	GREEN ISLAND FIGUS	3 GAL. 16-18" HT. X 12" SPD., FULL	NO	YES	
20	HPD	HAMELIA HODGSONA	DWARF FIREBUSH	3 GAL., 16"-18" HT. X 14" SPD.	YES	YES	
5	LMS	LIRIOPE MUSCARI "SLIPPER BLUE"	SUPER BLUE LIRIOPE	1 GAL., 12" HT. X 12" SPD.	YES	YES	
2	ROY	ROYSTONIA ELATA	FLORIDA ROYAL PALM	8-10' GRAY WOOD, 2" GA	YES	YES	HEAVY TRUNK
5	SAV	SCHEFFLERA ARBORICOLA "TRINETTE"	VARIEGATED SCHEFFLERA	3 GAL., 24" HT. X 16" SPD., FULL	NO	YES	
2	SP	SABAL PALMETTO	CABBAGE PALM	SEE PLAN FOR CLEAR TRUNK HEIGHTS	NO	YES	
34	VOBS	V. OBovatUM MRS SCHILLER'S DELIGHT	MRS SCHILLER'S VIBURNUM	7 GAL., 28" HT. X 18" SPD., FULL	YES	YES	
30	ZP	ZAHIA PANULA	COOHTIE	3 GAL., 20"-22" HT. X 10" SPD.	YES	YES	

**NO LET** REQUIRED NATIVE FOUNDATION PLANTING

**NO LET** VEHICULAR USE LANDSCAPE PLANTINGS

### LANDSCAPE MATERIAL QUANTITIES

SHREDED HARDWOOD MULCH, COLOR COCAIN BROWN	7.5 C.Y.
--	----------

\*QUANTITIES ARE PROVIDED AS A COURTESY. CONTRACTOR TO VERIFY ALL QUANTITIES. TREES NOT INCLUDED IN PLANT BEDS TO HAVE A MIN. 4" DIA. MULCH RING

### BUILDING FOUNDATION LANDSCAPE AREA REQUIREMENTS

BUILDING	BUILDING FOOTPRINT	BUILDING PERIMETER	LANDSCAPE REQUIRED	LANDSCAPE PROVIDED
BUILDING	4800 S.F.	380 L.F.	480 S.F.	620 S.F.

### NATIVE PLANT MATERIAL REQUIREMENTS

AT LEAST 75 PERCENT OF THE TREES AND 50 PERCENT OF THE SHRUBS USED SHALL BE NATIVE FLORIDA SPECIES.

DESCRIPTION	QTY.	PERCENT
NATIVE TREE/PALM VARIETIES	3	100%
NON-NATIVE TREE/PALM VARIETIES	0	0%
TOTAL:	3	100%
NATIVE SHRUB/CC VARIETIES	5	62.5%
NON-NATIVE SHRUB/CC VARIETIES	3	37.5%
TOTAL:	8	100%

### VEHICULAR USE AREA LANDSCAPE REQUIREMENTS

DESCRIPTION	QUANTITY REQUIRED	PERCENTAGE REQUIRED	QUANTITY PROVIDED
TOTAL VEHICULAR USE AREA (VUA)	950 S.F.		
INTERIOR LANDSCAPE AREA	95 S.F.	10%(VUA)	320 S.F.
TOTAL CANOPY TREES	1 TOTAL	8,327 / 250 S.F.	34

## GENERAL NOTES

- CONTRACTOR SHALL VISIT THE SITE AND INFORM HIMSELF FULLY AS TO CONDITIONS THEREON AND OF ADJACENT SITES WHICH WILL BE AFFECTED BY THE WORK.
- DO NOT WILLFULLY INSTALL OR CONSTRUCT ITEMS AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, EXISTING TREE CANOPIES, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE DESIGN/ENGINEERING. SUCH OBSERVATIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT/OWNER'S REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT REPORTED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- THE DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. ALL BRACING, TEMPORARY SUPPORTS, SHORING, ETC. ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. OBSERVATION VISITS TO THE JOB SITE BY THE LANDSCAPE ARCHITECT/OWNER'S REPRESENTATIVE DOES NOT INCLUDE INSPECTION OF CONSTRUCTION METHODS AND FOR SAFETY CONDITIONS AT THE WORK SITE. THESE VISITS SHALL NOT BE CONSIDERED AS CONTINUOUS AND DETAILED INSPECTIONS.
- CONTRACTOR SHALL CHECK AND VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ELEVATIONS PRIOR TO STARTING CONSTRUCTION AND BE RESPONSIBLE FOR SAME. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- NO CONTRACTOR IDENTIFICATION SIGNS SHALL BE PERMITTED ON THE PROJECT, EXCEPT AS APPROVED BY THE OWNER.
- ALL PERMITS NECESSARY ARE TO BE PROVIDED BY THE INSTALLING CONTRACTOR INCLUDING ALL COSTS. THE CONTRACTOR SHALL NOT KNOWINGLY VIOLATE CONDITIONS OF THE PERMITS. ALL CONFLICTS WITH THE PERMIT CONDITIONS AND THE PLANS, DETAILS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT REPRESENTATIVE. THE CONTRACTOR SHALL FAMILIARIZE AND SHALL COMPLY WITH ALL TERMS AND CONDITIONS OF THE APPROVED FDEP PERMIT.
- ALL UTILITIES TO REMAIN IN PLACE, EXCEPT AS INDICATED ON THE DRAWINGS, CONTACT "ONE-CALL" AT 811 AT LEAST 48 TO 72 HOURS PRIOR TO EXCAVATION FOR VERIFICATION OF EXISTING UTILITY LOCATIONS PRIOR TO ANY EXCAVATIONS. NOT ALL UTILITIES ARE MEMBERS OF THE "ONE-CALL" SYSTEM; THEREFORE, DIRECT CONTACT WITH THE UTILITY COMPANY MAY BE REQUIRED. CONTRACTOR SHALL CONTACT CITY OF TREASURE ISLAND FOR LOCATION OF UNDERGROUND STORM WASTE, SEWER AND WATER UTILITIES AND LATERAL LINES THAT MIGHT BE PRESENT. ALL UTILITIES TO REMAIN IN PLACE, EXCEPT AS INDICATED ON THE PLANS.
- LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS, BUT DO NOT PURPORT TO BE ABSOLUTELY CORRECT. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING HIS WORK PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAKE ALL EFFORTS TO LIMIT THE "TRACKING" OF SOIL ONTO CITY/COUNTY STREETS FROM HAULING ACTIVITIES. CONTRACTOR SHALL REMOVE ALL SOIL FROM CITY/COUNTY STREETS RESULTING FROM CONSTRUCTION ACTIVITIES.
- CAREFULLY REVIEW THE PLANS AND THE SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ITEMS CONTAINED HEREIN. IF THERE IS A CONFLICT BETWEEN THE PLANS AND THE SPECIFICATIONS, CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- IN A CONFLICT BETWEEN THE PLANS AND THE SPECIFICATIONS, THE PLANS SHALL GOVERN.
- THE CONTRACTOR SHALL PROVIDE A SUBMITTAL LOG FOR APPROVAL BY THE PROJECT REPRESENTATIVE. ALL SUBMITTALS ARE TO INCLUDE THE NUMBERING SYSTEM DEVELOPED IN THE SUBMITTAL LOG.
- THE CONTRACTOR SHALL PROVIDE A 24 HOUR EMERGENCY CONTACT PERSON AT THE PRE CONSTRUCTION MEETING.
- UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE LANDSCAPE ARCHITECT IN WRITING, AND REQUEST A FINAL INSPECTION. ANY ITEMS THAT ARE JUDGED INCOMPLETE OR UNSATISFACTORY BY THE OWNER OR THE LANDSCAPE ARCHITECT SHALL BE PROMPTLY CORRECTED BY THE CONTRACTOR.
- SIDEWALK / PAVING LAYOUT SHALL BE FIELD-STARDED USING G.P.S. BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO FORM WORK AND INSTALLATION. THE CONTRACTOR MUST NOTIFY THE L.A. AT LEAST FORTY EIGHT HOURS IN ADVANCE OF THE REQUIRED REVIEW. ALL OF THE PROPOSED LOCATIONS SHALL BE MARKED FOR A SPECIFIC PHASE OF WORK PRIOR TO CALLING FOR A REVIEW. COORDINATES THAT DO NOT RESULT IN THE GEOMETRY SHOWN ON THE PLANS SHALL BE CHECKED BY THE CONTRACTOR'S SURVEY CREW. CORRECTIONS OF TRAIL SHALL BE VERIFIED BY THE LANDSCAPE ARCHITECT. LAYOUT MUST COMPLY WITH FDEP PERMIT.
- ALL CONCRETE WALKS SHALL NOT EXCEED A SLOPE OF 1:20, AND CROSS SLOPES ON ALL CONCRETE SIDEWALKS SHALL NOT EXCEED 2%. IF THE SIDEWALK DOES EXCEED THIS SLOPE, ADA COMPLIANT HANDICAP RAMPS WILL BE REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING AND THE COST OF ALL REQUIRED CONCRETE TESTING. TESTING SHALL INCLUDE BUT NOT BE LIMITED TO MATERIALS FOR PAVING SUB-BASE, ASPHALT PAVING, STRUCTURAL AND PAVING CONCRETE.
- CONTRACTOR TO MAINTAIN EXISTING BENCH MARKS, MONUMENTS, AND OTHER REFERENCE POINTS WITHIN AND ADJACENT TO THE PROJECT LIMITS. CONTRACTOR TO CONTACT ALL RESPONSIBLE PARTIES IF RELOCATION IS REQUIRED OF BENCHMARKS AND OTHER REFERENCE POINTS.
- CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE CITY'S ARCHAEOLOGICAL EXPERT IF DURING THE EXCAVATION PROCESS ARTICLES OF SIGNIFICANCE ARE UNCOVERED.
- ANY CHANGES MADE IN THE FILED BY THE CONTRACTOR OR OWNER REGARDING THE HARDSCAPE PLACEMENT SHALL BE FULLY RECORDED WITH AS-BUILTS AND PROVIDED TO THE OWNER AND L.A.
- DESIGN, MATERIALS, EQUIPMENT AND PRODUCTS OTHER THAN THOSE DESCRIBED BELOW OR INDICATED ON THE DRAWINGS MAY BE CONSIDERED FOR USE, PROVIDED PRIOR APPROVAL IS OBTAINED FROM THE OWNER, OWNER'S REPRESENTATIVE AND THE APPLICABLE GOVERNING CODE AUTHORITY.
- DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

- IRRIGATION SYSTEM TO BE DESIGNED TO ELIMINATE WATERING OF IMPERVIOUS SURFACES



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 ST. PETERSBURG, FL 33701  
 772.721.5019  
 CONSULTANTS  
 C/O: SHARON  
 DELISI FITZGERALD  
 1605 HENRY STREET  
 FT WORTH, FLORIDA  
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**OWNER**  
 STOCK DEVELOPMENT  
 7630 PROFESSIONAL CIRCUIT F, SUITE 107  
 NAPLES, FLORIDA  
 77.339-997-7384

**ESTERO CROSSING DUNKIN' DONUTS**  
 CORKSCREW ROAD  
 ESTERO | FLORIDA

SIGNATURE & SEAL

FL Registration: LC20000471

### PERMIT SET

ISSUE DATE

1 PERMIT SET 03.23.2022

### REVISIONS

OWNER REVISION 03.24.22

NO. COMMENTS DATE

SHEET INFORMATION 2/01/21

JOB NUMBER 22013

DRAWN BY FS

CHECKED BY HB, J

SCALE: 1"=20'-0"

**LANDSCAPE DEVELOPMENT PLAN**

**L3.00**



LANDSCAPE PLAN RENDERING



# ARCHITECTURAL CHARACTER

## “Mediterranean” Style Architecture

The “Mediterranean” style embraces the historical design of the Mediterranean regions with the modernity of “Florida Coastal” style of architecture. Exterior elements such as **white smooth finished stucco, barrel tile roofs, arched openings** and **detailed gables** give the Mediterranean flavor. The clean modern massing of the architecture and the resort atmosphere created by lush landscaping and inviting amenity spaces, lend towards the “Florida Coastal” style. This elegant composition achieves a **harmonious** and **stylish** design of architecture that is timeless, graceful and will enhance the community of the Village of Estero for years to come.

## Design Approach

Create a design that is timeless and graceful

- Barrel tiled roofs of warm and rich texture.
- Detailed roof gables with simple but enhancing design elements.
- Stylized windows – respectful yet contemporary.
- White smooth finished stucco – blending of classic and modern styles.
- Balconies with rustic wood detailing and respectfully placed arches.
- Identifiable and inviting building entries.
- Architecture and exterior spaces that create a resort style experience.



# FLOOR PLAN

## A NEW CONSTRUCTION BUILDING: ESTERO CROSSING - BUILDING 1

CORKSCREW RD.  
ESTERO, FL 33928  
STRAP : 35-46-25-E1-U2192.2338

### RENDERINGS



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FORT MYERS, FL 33907  
P: 239.275.0225 F: 239.275.7123

ESTERO CROSSING  
OUTPARCEL - BUILDING 1  
ESTERO, FLORIDA  
COVER SHEET

ISSUE HISTORY	
PROPOSED	●
DATE	2-28-22
PROPOSED	▲
DATE	
PROPOSED	▲
DATE	
PROPOSED	▲
DATE	
PROPOSED	▲
DATE	
PROPOSED	▲
DATE	
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DATE	
PROPOSED	▲
DATE	
PROPOSED	▲
DATE	

FOR THE FIRM

JOB NO. 22001

CS1

PLOT SCALE

AND TITLES/SCALE

# FLOOR PLAN

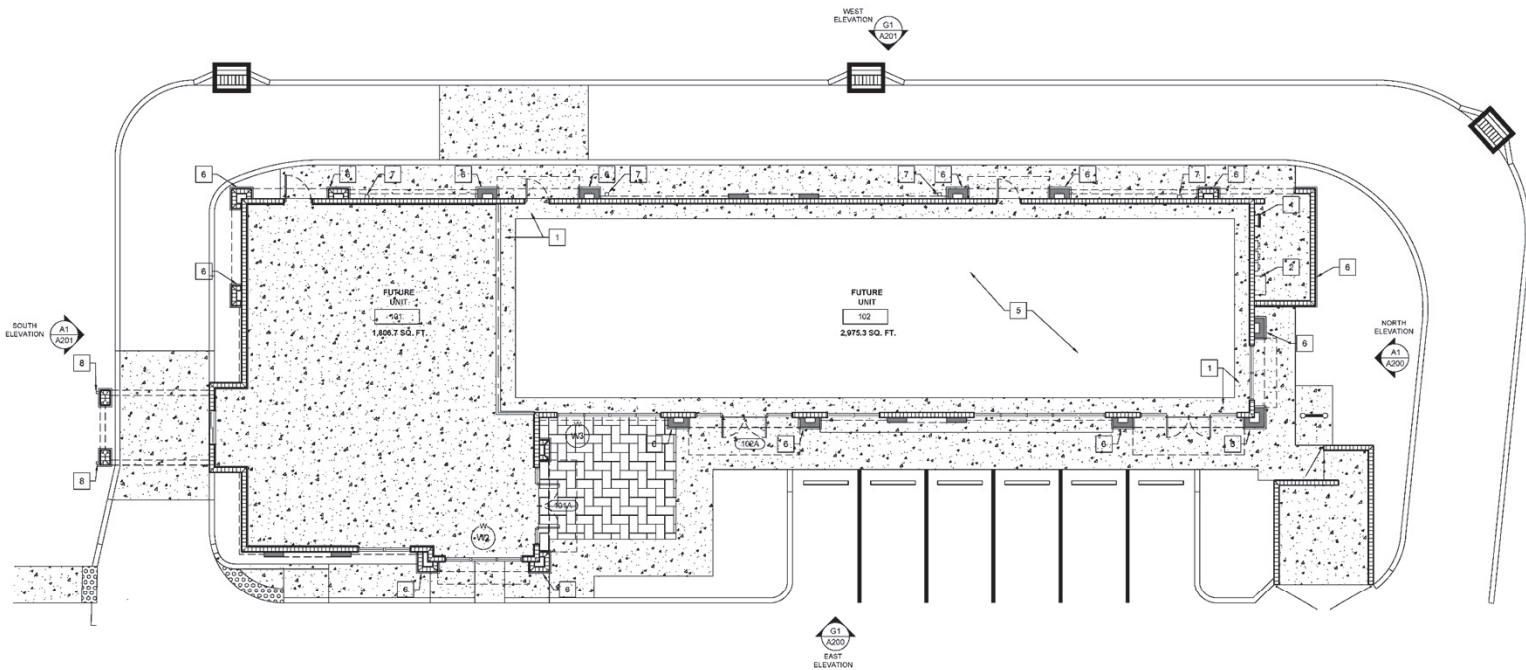
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16

## FLOOR PLAN NOTES

TAG	DESCRIPTION
1	2" WIDE CONCRETE SLAB RIBBON AT PERIMETER OF EXTERIOR WALLS
2	ELECTRICAL SERVICE LOCATION, SEE ELECTRICAL PLANS
3	NATURAL GAS SERVICE, SEE PLUMBING PLANS
4	ROOF ACCESS LADDER, SEE DETAIL A5A305
5	NO CONCRETE SLAB THIS AREA, SHEET 10 MIL VAPOR BARRIER W/ ALL SEAMS CONT. TAPED & SEALED W/ 2" MIN. SAND/CEMENT MIX, 2" V.
6	STONE VENEER, EL DORADO STONE MOUNTAIN LEDGE, SEIRVA
7	2"Ø FINISHED MTL. DOWNSPOUT TIED TO UNDERGROUND STORM DRAINAGE SYSTEM
8	4"Ø FINISHED MTL. DOWNSPOUT TIED TO UNDERGROUND STORM DRAINAGE SYSTEM
9	ELECTRICAL PANEL LOCATION, SEE ELECTRICAL PLANS

## FLOOR PLAN LEGEND

SYMBOL	DESCRIPTION
	MIN. 2-HR FIRE RATED CMU WALL PER FBC 721.1(2) W/ 3/8" PAINTED STUCCO EXTERIOR FINISH & LIQUID APPLIED VAPOR DIFFUSION BARRIER INTERIOR FINISH
	MIN. 2-HR FIRE RATED CMU WALL PER FBC 721.1(2) W/ 3/8" PAINTED STUCCO EXTERIOR FINISH & 3/8" OFF BD. INTERIOR FINISH
	MIN. 2-HR FIRE RATED CMU WALL PER FBC 721.1(2) W/ MTL. FRAMING, 3/8" GENSGLASS, & 3/8" PAINTED STUCCO EXTERIOR FINISH
	MIN. 2-HR FIRE RATED CMU WALL PER FBC 721.1(2) W/ 4" MTL. FRAMING, 3/8" GENSGLASS, & STONE VENEER EXTERIOR FINISH
	MIN. 2-HR FIRE RATED CMU WALL PER FBC 721.1(2) W/ STONE VENEER EXTERIOR FINISH
	EXTERIOR ELEVATION MARKER DETAIL / SHEET



ALL ROOM PARTITIONS, WALLS AND ALL DOORWAYS SHALL BE CONSTRUCTED TO RESIST THE PASSAGE OF FIRE AND SMOKE FOR THE PERIOD OF ONE HOUR UNLESS OTHERWISE SPECIFIED. ALL DOORWAYS SHALL BE PROVIDED WITH 1 1/2 HOUR FIRE RATED DOORS AND 1 1/2 HOUR FIRE RATED GLASS BLOCK OR GLASS DOORS. ALL DOORWAYS SHALL BE PROVIDED WITH 1 1/2 HOUR FIRE RATED GLASS BLOCK OR GLASS DOORS. ALL DOORWAYS SHALL BE PROVIDED WITH 1 1/2 HOUR FIRE RATED GLASS BLOCK OR GLASS DOORS. ALL DOORWAYS SHALL BE PROVIDED WITH 1 1/2 HOUR FIRE RATED GLASS BLOCK OR GLASS DOORS.

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**ESTERO CROSSING  
OUTPARCEL - BUILDING 1**  
ESTERO CROSSING, FLORIDA  
NOTED FLOOR PLAN

### ISSUE HISTORY

NO.	DATE	PURPOSE	STATUS
1	3-29-21	ISSUE FOR PERMIT	●
2			▲
3			▲
4			▲
5			▲
6			▲
7			▲
8			▲
9			▲
10			▲
11			▲
12			▲
13			▲
14			▲
15			▲
16			▲



**A1 NOTED FLOOR PLAN**

SCALE 1/8" = 1'-0"

FOR THE FIRM

JOB NO. 22001

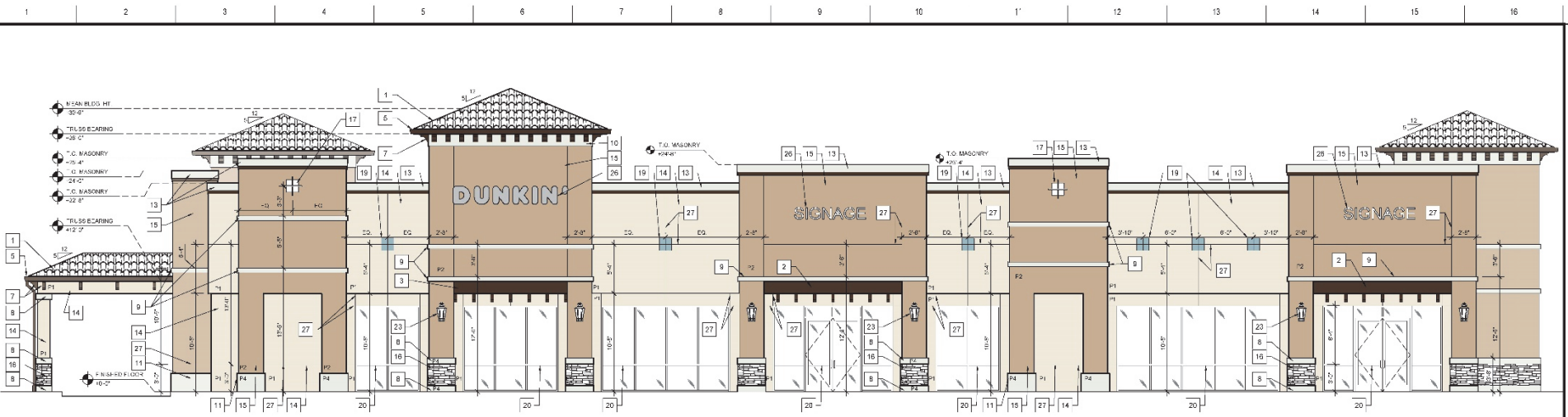
**A100**

ARCHITECTS SEAL

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16



# BUILDING ELEVATIONS



G1 EAST EXTERIOR ELEVATION - FRONT

SCALE 3/16" = 1'-0"



A1 NORTH EXTERIOR ELEVATION - CORKSCREW FACADE

SCALE 3/16" = 1'-0"

## COLOR PALETTE

<b>SW 7005</b> Pure White Interior / Exterior Location Number: 255-C1	<b>TRIM COLOR (P4)</b> SW 6069 French Roast Interior / Exterior Location Number: 196-C7	<b>ACCENT TRIM COLOR (P5)</b> SW 7713 Tawny Tan Interior / Exterior Location Number: 267-C4	<b>TOWER WALL COLOR (P2)</b> SW 7012 Creamy Interior / Exterior Location Number: 251-C3	<b>BASE WALL COLOR (P1)</b> SW 7012 Creamy Interior / Exterior Location Number: 251-C3
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### EXTERIOR ELEVATION KEY NOTES

TAG	DESCRIPTION
1	EXISTING IRON SIGNAGE - 11' H X 4' W
2	NEW 1/2" ALUMINUM FINISH 1 1/2" H X 2 1/2" W SIGNAGE - 2' H X 1' W - PERGOLA TRUSS TAILS (P3)
3	FINISHED METAL TRUSS TAIL END ON DECORATIVE PERGOLA TRUSS TAILS (P3)
4	FINISH - 1/4" FINISH - 1/4" H X 4' W
5	FINISHED METAL CUTTER - A POWER-SHUT TIED TO UNDERGROUND STEELWORK
6	FINISHED METAL SCUPPER BOX W/D DOWNSPOUT TIED TO UNDERGROUND STEELWORK
7	FINISH - 1/4" FINISH - 1/4" H X 4' W
8	2 1/2" PAINTED SMOOTH STUCCO BAND (P4)
9	2 1/2" PAINTED SMOOTH STUCCO BAND (P4)
10	2 1/2" FINISH - 1/4" FINISH - 1/4" H X 4' W
11	2 1/2" SMOOTH STUCCO BAND (P4)
12	2 1/2" FINISH - 1/4" FINISH - 1/4" H X 4' W
13	2 1/2" FINISH - 1/4" FINISH - 1/4" H X 4' W
14	2 1/2" FINISH - 1/4" FINISH - 1/4" H X 4' W
15	2 1/2" FINISH - 1/4" FINISH - 1/4" H X 4' W

16	STONE VENEER (S1), S. ELDRADO STONE MOUNTAIN LEDGE - SIERRA (S1 C3)
17	NEW 1/2" ALUMINUM FINISH - NO GLAZING W/D DECORATIVE METAL WORK (S1) TO MATCH (S1) BUILDINGS 2 & 3
18	NEW 1/2" ALUMINUM FINISH - NO GLAZING W/D DECORATIVE METAL WORK (S1) TO MATCH (S1) BUILDINGS 2 & 3
19	NEW DECORATIVE 'FLAC ACENT', MEDICAL INTO STUDIO INTERIOR - FLOOR FINISH - BUTLER FINISH - 3/4" TILES W/D FINISH - 1/4" H X 1/4" W (S1) TO ALUMINUM
20	STONE - FINISH - 1/4" FINISH - 1/4" H X 4' W
21	PAINTED SMOOTH METAL - DOOR & FRAME (P3) SEE DOOR SCHEDULE
22	NOT USED
23	EXTERIOR BONDING LED LIGHT FIXTURE TO MATCH BUILDING 2 & 3, SEE ELECTRICAL PLANS FOR LIGHT FIXTURE SCHEDULE
24	2 1/2" FINISH - 1/4" FINISH - 1/4" H X 4' W
25	2 1/2" FINISH - 1/4" FINISH - 1/4" H X 4' W
26	ILLUMINATED SIGNAGE UNDER SEPARATE PERMIT
27	FINISH CONTROL JOINT (S1)

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ESTERO CROSSING  
 OUTPARCEL - BUILDING 1  
 ESTERO CROSSING PLACE  
 ESTERO, FLORIDA

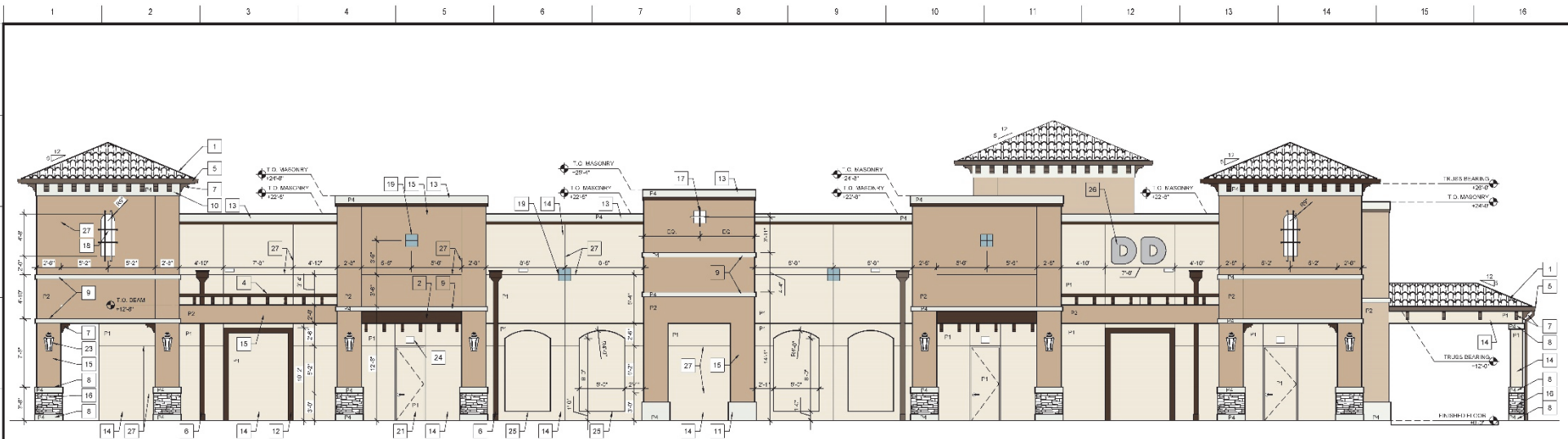
EXTERIOR ELEVATIONS

### ISSUE HISTORY

NO.	DATE	DESCRIPTION
1	01/11/2023	ISSUE
2	01/11/2023	ISSUE
3	01/11/2023	ISSUE
4	01/11/2023	ISSUE
5	01/11/2023	ISSUE
6	01/11/2023	ISSUE
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8	01/11/2023	ISSUE
9	01/11/2023	ISSUE
10	01/11/2023	ISSUE

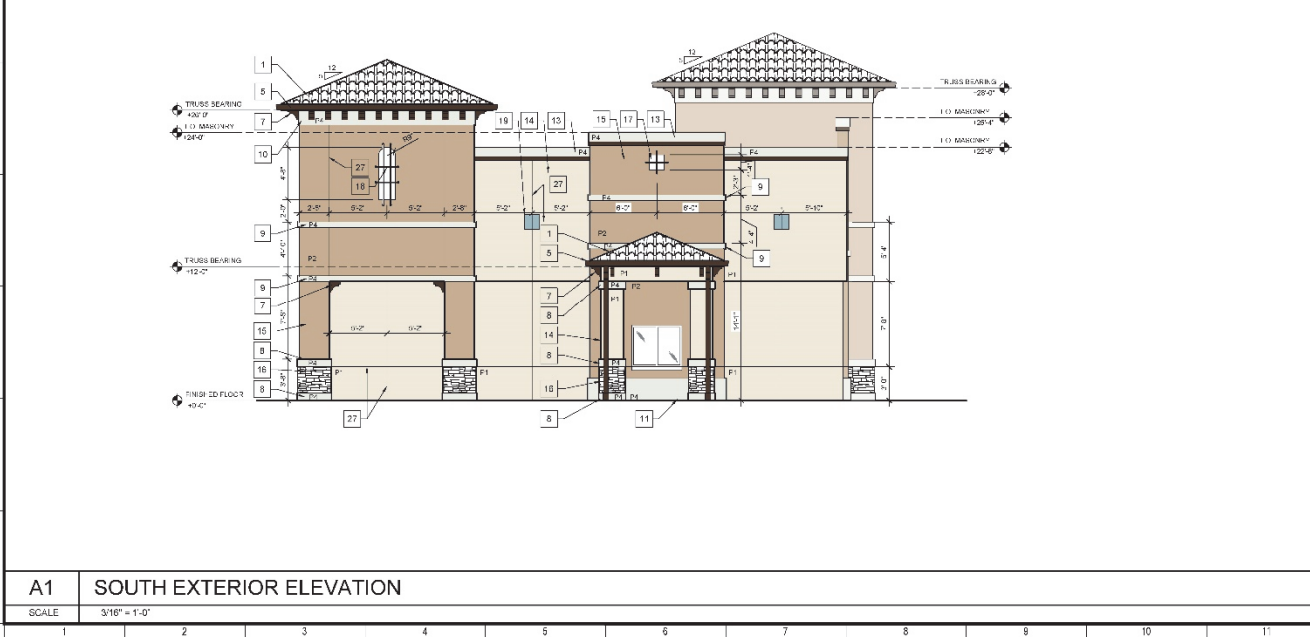
FOR THE FIRM  
 JOB NO. 22001  
**A200**

# BUILDING ELEVATIONS



**G1 WEST EXTERIOR ELEVATION - REAR**

SCALE: 3/16" = 1'-0"



**A1 SOUTH EXTERIOR ELEVATION**

SCALE: 3/16" = 1'-0"

**EXTERIOR ELEVATION KEY NOTES**

TAG	ESSER ITEM
1	CONCRETE BARRI, TILE ROOF
2	SELF-DRAWING FINISHED METAL FINISHING OF DECORATIVE PERGOLA TRUSS (ALS P5)
3	FINISH METAL TUBING ON DECORATIVE PERGOLA TRUSS (ALS P5)
4	FINISHED METAL PERGOLA (P5)
5	FINISH METAL GUTTER & DOWNSPOUT (FINISH TO UNDERGROUND) STORAGE
6	FINISH METAL GUTTER BOX W/ DOWNSPOUT TIED TO UNDERGROUND STORAGE
7	FINISH CORBEL (P5, SEE DETAIL DRAWING)
8	FINISH PAINTED SMOOTH STUCCO SAND (P4)
9	2x6 PAINTED SMOOTH STUCCO SAND (P4)
10	1x10 PAINTED SMOOTH STUCCO SAND (P4)
11	FINISH SMOOTH STUCCO SAND (P4)
12	1/2" X 1/2" SMOOTH STUCCO SAND (P4)
13	1x1 PAINTED 1x8 SAND FINISH SMOOTH STUCCO TEXTURE (P4, P5, SEE DETAIL DRAWING)
14	FINISH SMOOTH STUCCO SAND (P4) TO MATCH BUILDING SAND & S ON THIS PROPERTY. SEE ELEVATIONS FOR PAINT COLOR.
15	PAINTED FINISH SAND FINISH STUCCO TEXTURE TO MATCH BUILDING SAND & S ON THIS PROPERTY. SEE ELEVATIONS FOR PAINT COLOR.

16	STONE VENEER (FIN. ELBORADO STONE MOUNTAIN LEDGE, SERRA CR RD)
17	FINISH CONCRETE ON NO CLADDING W/ DECORATIVE METAL WORK (SEE FIN. DETAIL DRAWING 2 & 3)
18	FINISH CONCRETE ON NO CLADDING W/ DECORATIVE METAL WORK (SEE DETAIL DRAWING 2 & 3)
19	FINISH CONCRETE ON NO CLADDING W/ DECORATIVE METAL WORK (SEE DETAIL DRAWING 2 & 3)
20	FINISH CONCRETE ON NO CLADDING W/ DECORATIVE METAL WORK (SEE DETAIL DRAWING 2 & 3)
21	FINISH CONCRETE ON NO CLADDING W/ DECORATIVE METAL WORK (SEE DETAIL DRAWING 2 & 3)
22	NOT USED
23	EXTERIOR ROOMING LED LIGHT FIXTURE TO MATCH BUILDING 2 & 3, 1x4-1x6 NEAR FINISH (SEE DETAIL DRAWING 10 & 11)
24	FINISH CONCRETE ON NO CLADDING W/ DECORATIVE METAL WORK (SEE DETAIL DRAWING 2 & 3)
25	FINISH CONCRETE ON NO CLADDING W/ DECORATIVE METAL WORK (SEE DETAIL DRAWING 2 & 3)
26	FINISH CONCRETE ON NO CLADDING W/ DECORATIVE METAL WORK (SEE DETAIL DRAWING 2 & 3)
27	FINISH CONCRETE ON NO CLADDING W/ DECORATIVE METAL WORK (SEE DETAIL DRAWING 2 & 3)

**ESTERO CROSSING OUTPARCEL - BUILDING 1**  
 ESTERO CROSSING CROSSING PLACE  
 ESTERO, FLORIDA

**EXTERIOR ELEVATIONS**

**ISSUE HISTORY**

NO.	DATE	DESCRIPTION	BY	CHK
1	01/20/22	ISSUE FOR PERMIT	APR	APR
2	02/01/22	ISSUE FOR PERMIT	APR	APR
3	02/01/22	ISSUE FOR PERMIT	APR	APR
4	02/01/22	ISSUE FOR PERMIT	APR	APR
5	02/01/22	ISSUE FOR PERMIT	APR	APR
6	02/01/22	ISSUE FOR PERMIT	APR	APR
7	02/01/22	ISSUE FOR PERMIT	APR	APR
8	02/01/22	ISSUE FOR PERMIT	APR	APR
9	02/01/22	ISSUE FOR PERMIT	APR	APR
10	02/01/22	ISSUE FOR PERMIT	APR	APR
11	02/01/22	ISSUE FOR PERMIT	APR	APR
12	02/01/22	ISSUE FOR PERMIT	APR	APR
13	02/01/22	ISSUE FOR PERMIT	APR	APR
14	02/01/22	ISSUE FOR PERMIT	APR	APR
15	02/01/22	ISSUE FOR PERMIT	APR	APR
16	02/01/22	ISSUE FOR PERMIT	APR	APR
17	02/01/22	ISSUE FOR PERMIT	APR	APR
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21	02/01/22	ISSUE FOR PERMIT	APR	APR
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23	02/01/22	ISSUE FOR PERMIT	APR	APR
24	02/01/22	ISSUE FOR PERMIT	APR	APR
25	02/01/22	ISSUE FOR PERMIT	APR	APR
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27	02/01/22	ISSUE FOR PERMIT	APR	APR

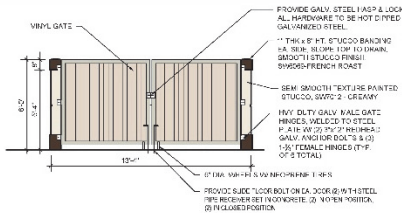
**FOR THE FIRM**

**JOB NO. 22001**  
**A200**

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 P. 239.275.0225 F. 239.275.7123

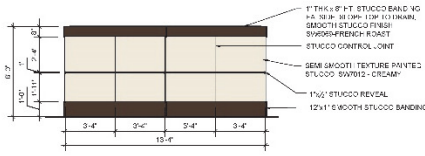


# SOLID WASTE ENCLOSURE



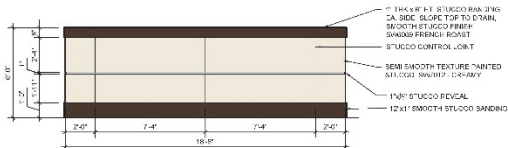
**K1 FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



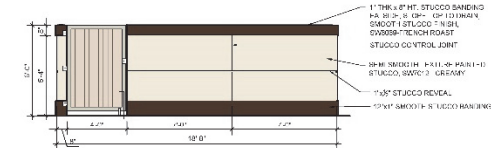
**K6 REAR ELEVATION**

SCALE: 1/4" = 1'-0"



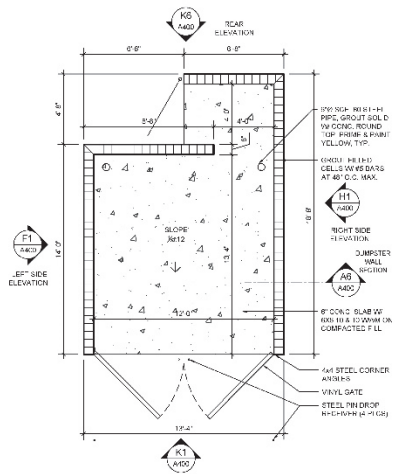
**H1 RIGHT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



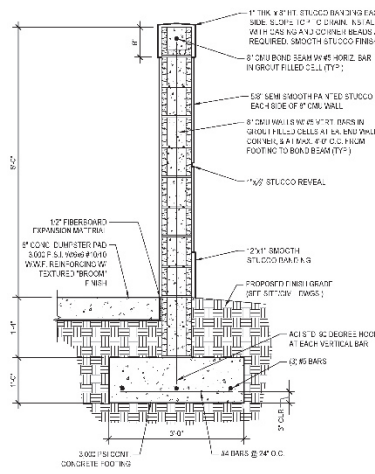
**F1 LEFT SIDE ELEVATION - DUMPSTER ENCLOSURE**

SCALE: 1/4" = 1'-0"



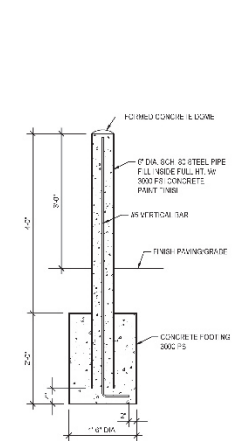
**A1 ENLARGED PLAN - DUMPSTER ENCLOSURE**

SCALE: 1/4" = 1'-0"



**A6 DUMPSTER WALL SECTION**

SCALE: 3/4" = 1'-0"



**A11 BOLLARD DETAIL**

SCALE: 3/4" = 1'-0"

ALL DIMENSIONS UNLESS NOTED OTHERWISE SHALL BE IN FEET AND INCHES. DIMENSIONS SHALL BE TO FACE UNLESS NOTED OTHERWISE. ALL DIMENSIONS SHALL BE TO FACE UNLESS NOTED OTHERWISE. ALL DIMENSIONS SHALL BE TO FACE UNLESS NOTED OTHERWISE.

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**ARCHITECTS**  
**PLANNERS**

**ESTERO CROSSING**  
 OUTPARCEL - BUILDING 1  
 ESTERO CROSSING COMMONS PLACE  
 ESTERO, FLORIDA  
**DUMPSTER ENCLOSURE & GATE DETAILS**

DATE	DESCRIPTION	BY	CHKD
10/20/2020	ISSUE HISTORY		
10/20/2020	ISSUE 001		
10/20/2020	ISSUE 002		
10/20/2020	ISSUE 003		
10/20/2020	ISSUE 004		
10/20/2020	ISSUE 005		
10/20/2020	ISSUE 006		
10/20/2020	ISSUE 007		
10/20/2020	ISSUE 008		
10/20/2020	ISSUE 009		
10/20/2020	ISSUE 010		
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10/20/2020	ISSUE 014		
10/20/2020	ISSUE 015		
10/20/2020	ISSUE 016		
10/20/2020	ISSUE 017		
10/20/2020	ISSUE 018		
10/20/2020	ISSUE 019		
10/20/2020	ISSUE 020		

FOR THE FIRM JOB NO. 22001

**A400**



PERSPECTIVES

