

Ginsberg Eye at Corkscrew Palms



Planning Zoning & Design Board

Public Information Meeting

May 10, 2022



Applicant Representatives

- **Stacy Ellis Hewitt, AICP**



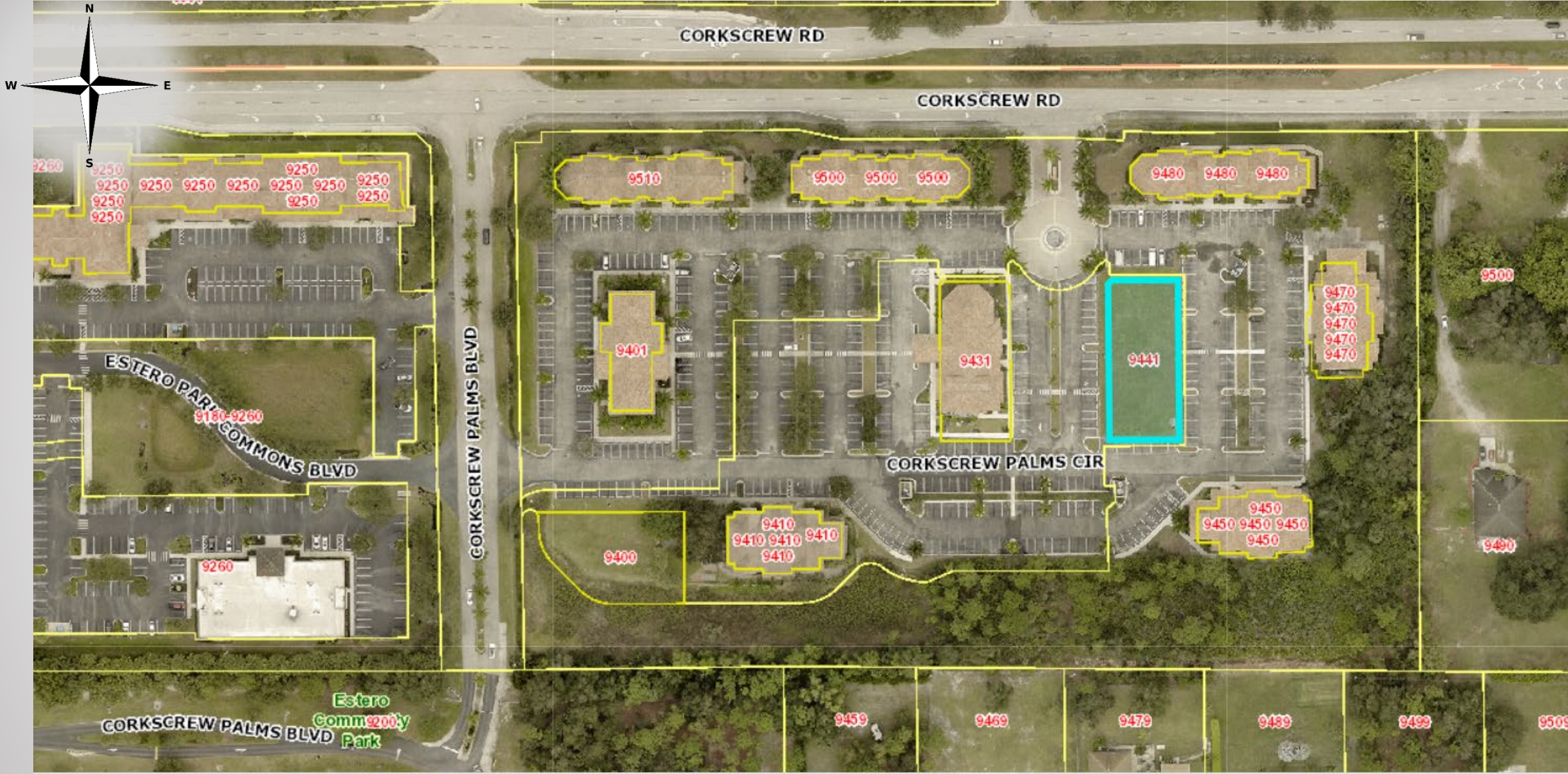
- **Scott Mann, AIA**



- **Gregory J. Diserio, RLA**



Project Location/Aerial



STRAP	Folio	Owner Name	Site Address	Last Trans. Date	Last Trans. Amt	Just Value	Taxable Value
I-46-25-E1-19000.00D1	10569177	EYEBUILD LLC	9441 CORKSCREW PALMS CIR, ESTERO	12-2021	\$ 600,000	\$ 229,600	\$ 229,600

Existing Buildings



Northeast View



North View



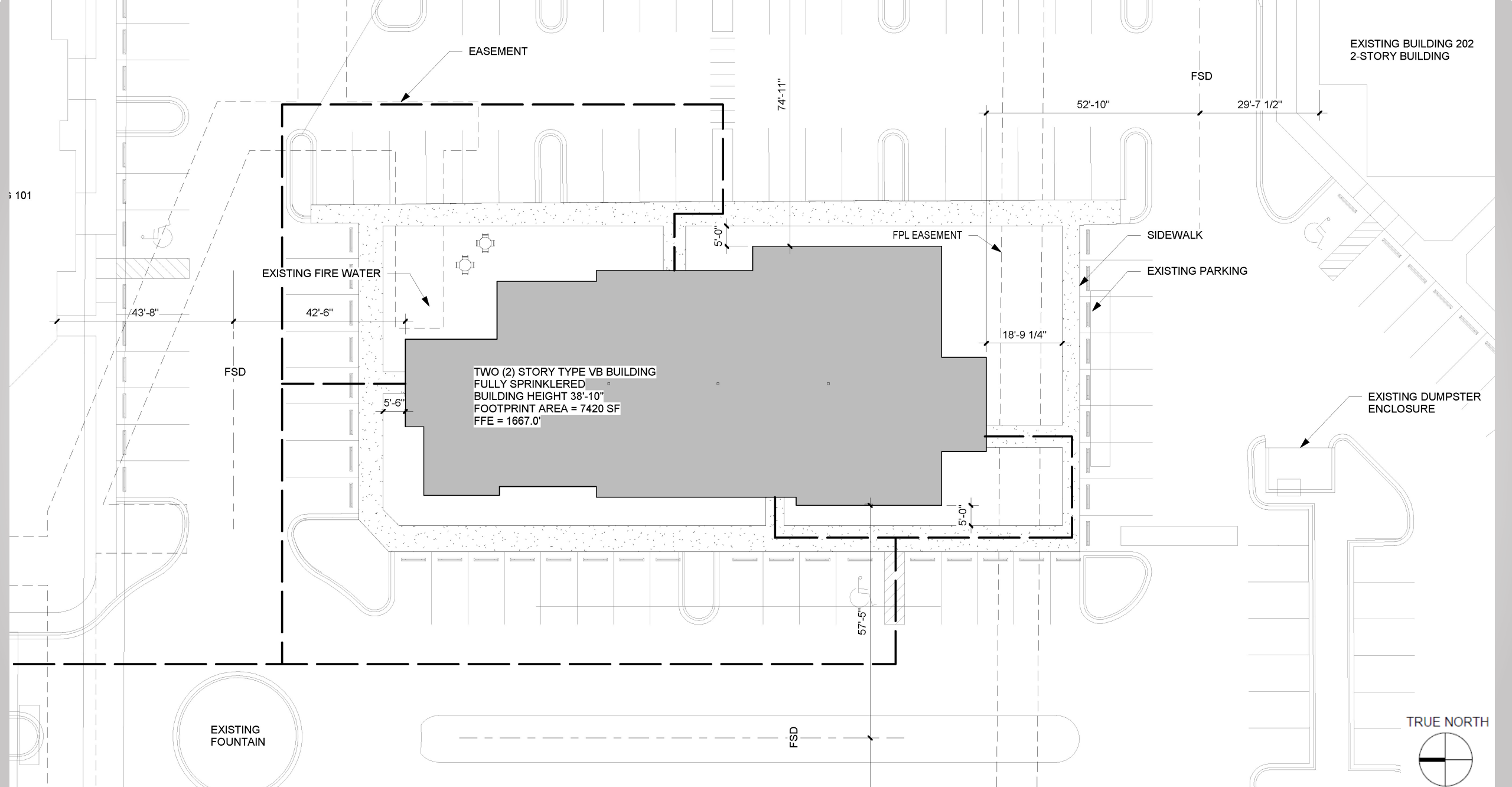
Southwest View



West View

Project Summary

- Pending Development Order for 2-story, 14,840± SF building footprint on Unit D-1 of 204 Corkscrew Palms.
 - Second Floor (7,015± SF) – Ginsberg Eye medical office
 - First Floor (7,033± SF) – Future Tenant Space (1-3 tenants)
- Allowable use in existing CPD
- Reduction from DO Approval of 17,900 SF
 - Parking was calculated at $1/300 = 60$ spaces allocated
- Multiple Occupancy Complex requires 4.5 spaces/1,000 SF
 - $14,840 \text{ SF}/1000 \times 4.5 = 67$ spaces required
 - Adjacent Estero Dialysis/Davita to west had 19 excess parking spaces remaining which exceeds the 7 additional spaces required



101

EXISTING BUILDING 202
2-STORY BUILDING

EXISTING
FOUNTAIN

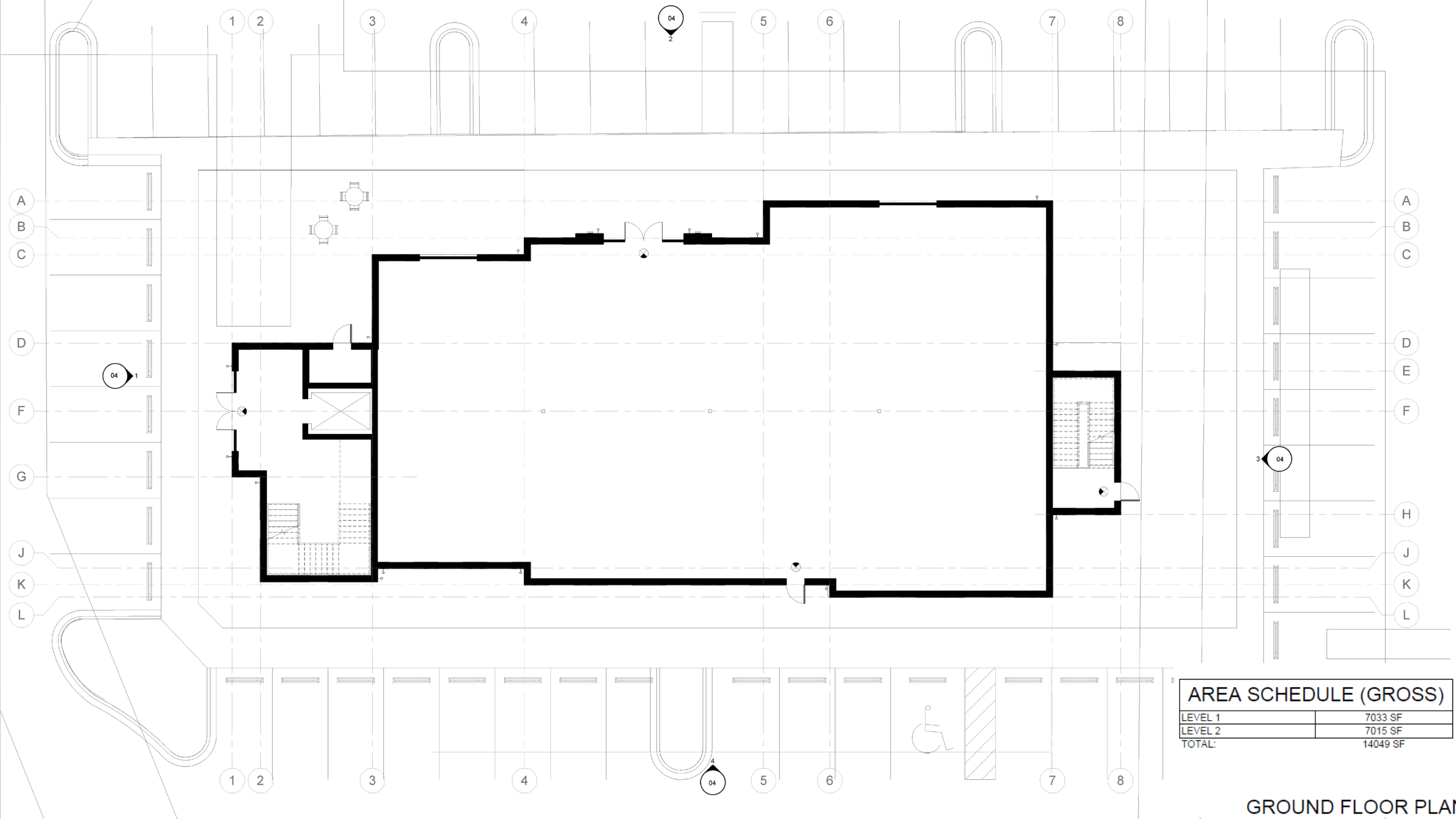
EXISTING DUMPSTER
ENCLOSURE

TRUE NORTH

Architect

Scott Mann, AIA

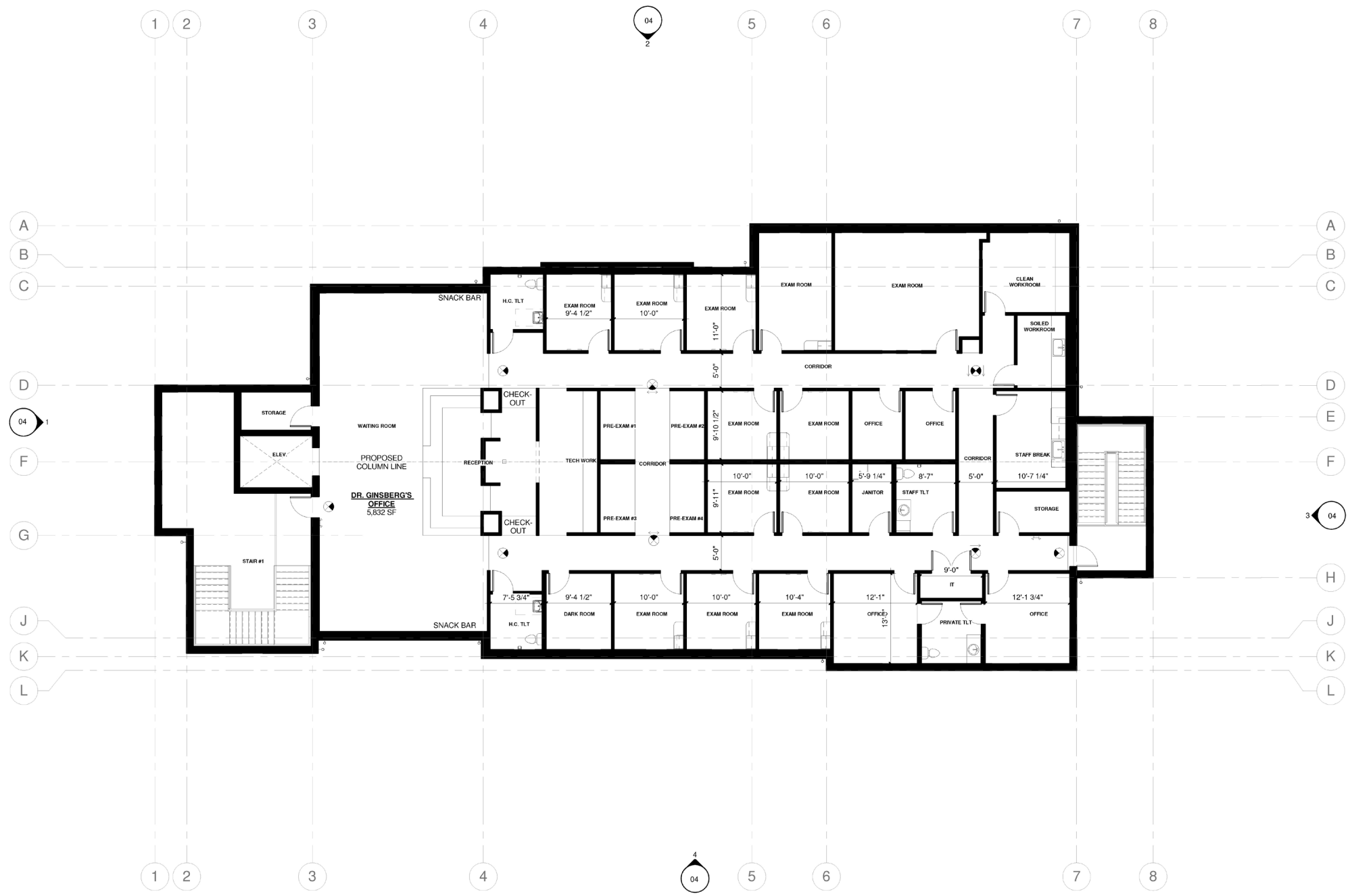
studio+



AREA SCHEDULE (GROSS)

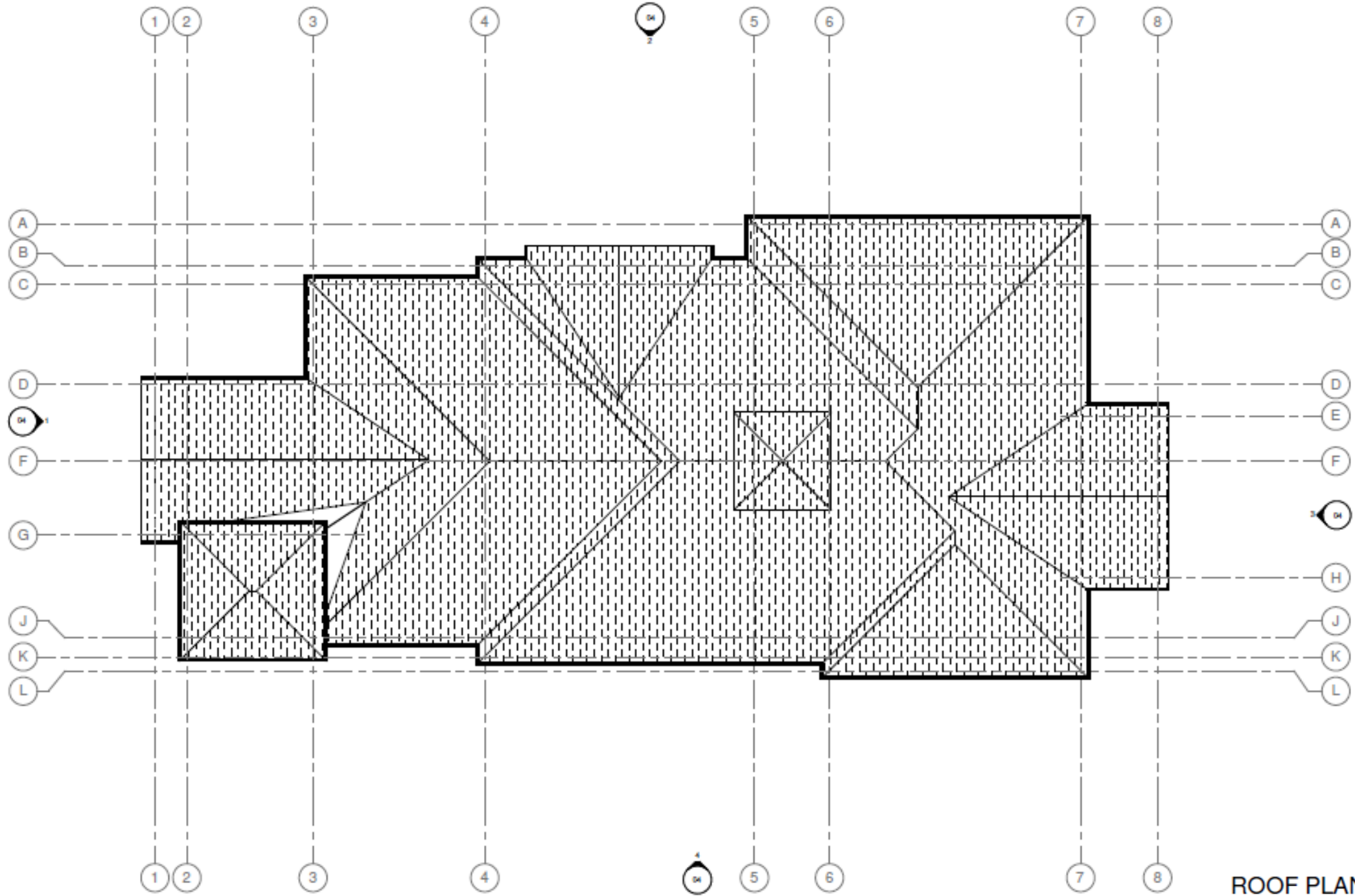
LEVEL 1	7033 SF
LEVEL 2	7015 SF
TOTAL:	14049 SF

GROUND FLOOR PLAN



AREA SCHEDULE (GROSS)	
LEVEL 1	7033 SF
LEVEL 2	7015 SF
TOTAL:	14049 SF

SECOND FLOOR PLAN



ROOF PLAN



EAST 1



SOUTH 2



WEST | 3



NORTH | 4

Pre-Application Meeting

- March 31, 2022
 - Add cupola
 - Make some windows arched
- Will match existing surrounding building colors
- Will coordinate with Condominium Association



NORTH



EAST



SOUTH

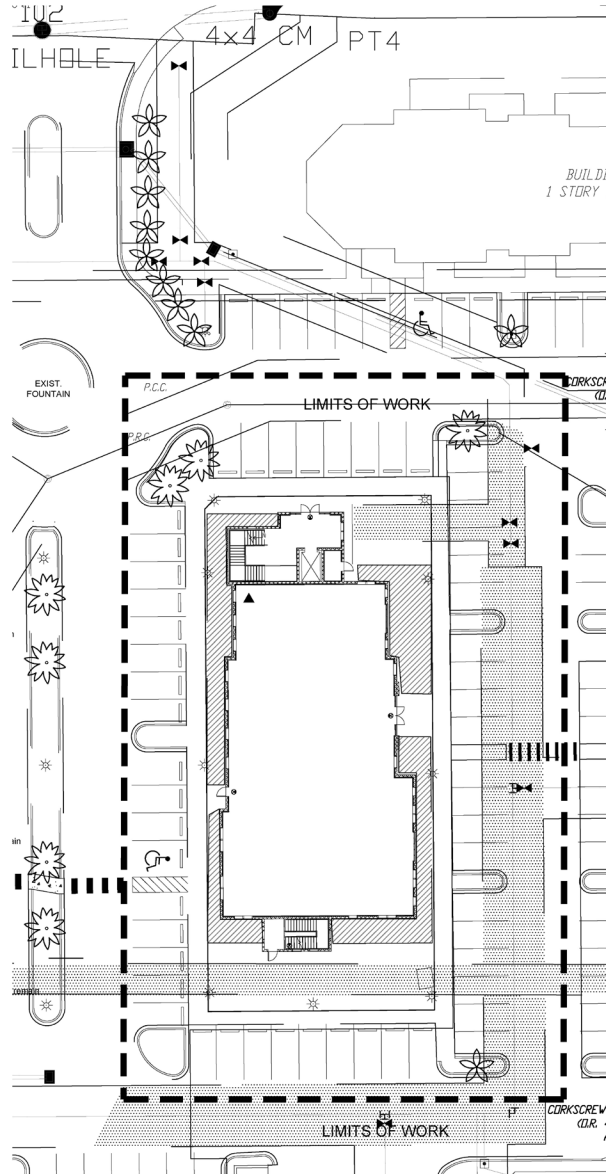


WEST

Landscape Architect

Gregory J. Diserio, RLA





SITE LANDSCAPE CALCULATIONS

SCALE 1" = 20'



LANDSCAPE CALCULATIONS FOR LIMITS OF WORK AREA ONLY

TOTAL SITE =NOT APPLICABLE

OPEN SPACE REQUIREMENTS

NO CHANGE IN EXISTING OPEN SPACE

INDIGENOUS OPEN SPACE REQUIREMENTS

NOT APPLICABLE TO LIMITS OF WORK

GENERAL TREE REQUIREMENTS

Not Applicable

INTERNAL PARKING LANDSCAPE REQUIREMENTS

Not Applicable Parking Existing
Max 10% sod in parking landscape islands

BUILDING PERIMETER PLANTING REQUIREMENTS

7,420 SF OF BUILDING X 10% = 742 SF OF BUILDING PERIMETER PLANTING REQUIRED.

2,100 SF OF PLANTING AREA PROVIDED PER HATCHINH



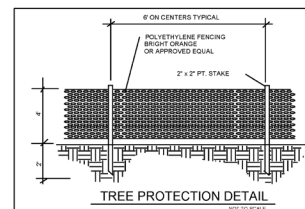
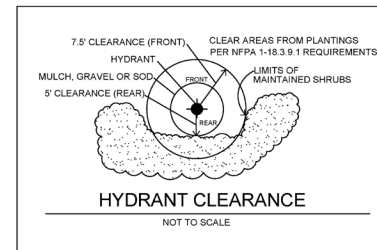
BUFFER REQUIREMENTS:

PROJECT BUFFERS

Not applicable.

GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL COORDINATE IRRIGATION RENOVATIONS WITH OWNER PRIOR TO CONSTRUCTION. IRRIGATION SYSTEM OUTSIDE LIMITS OF WORK SHALL REMAIN IN GOOD WORKING ORDER THROUGHOUT CONSTRUCTION.
2. IRRIGATION CONTROL VALVES ARE LOCATED ON EAST SIDE OF ENTRY CANOPY.



INSTALLATION NOTES

- 1) Around an area at or greater than a six-foot radius
of all sections of mangroves and protected tidal Pines
- 2) Around an area at or greater than the full dipline
of all protected native palms
- 3) Around an area at or greater than two-thirds of the dipline of all other protected species.

GENERAL LANDSCAPE NOTES

1. THE QUALITY OF ALL PLANT MATERIAL WILL MEET THE STANDARDS FOR FLORIDA GRADE NO. 1 (or better), AS GOVERNED IN "GRADES AND STANDARDS FOR NURSERY PLANTS".
2. ALL PLANTED TREES AND PALMS WILL HAVE A 3" DEEP SAUCER CONSTRUCTED FROM THE TRUNK OF THE TREE OR PALM. MINIMUM OF 4" DIAMETER.
3. ALL PLANTING BEDS SHALL BE COVERED WITH A 3" MINIMUM DEPTH OF MULCH AND SHALL BE WEED FREE. MULCH SHALL BE GRADE B OR BETTER. CONTRACTOR SHALL REMOVE ANY VEGETATIVE GROWTH AND APPLY A PRE-EMERGENT WEED KILLER PER SPECIFICATIONS PRIOR TO MULCHING.
4. NO CODE REQUIRED PLANTINGS SHALL BE INSTALLED IN EASEMENTS. ABOVE CODE PLANTINGS SHALL BE REPLACED AT THE OPTION AND COST OF DEVELOPER SHOULD FUTURE UTILITY WORK REQUIRE REMOVAL.
5. ANY AND ALL EXOTIC VEGETATION INCLUDING: EARLEAF ACACIA, WOMAN'S TONGUE, BISHOPWOOD, AUSTRALIAN PINE, CARROTWOOD, ROSEWOOD, AIR POTATO, MURRAY RED GUM, WEEPING FIG, CUBAN LAUREL FIG, JAPANESE CLIMBING FERN, OLD WORD CLIMBING FERN, MELALEUCA, DOWNY ROSE MYRTLE, CHINESE TALLOW, BRAZILLIAN PEPPER, FLORIDA HOLLY, TROPICAL SODA APPLE, JAVA PLUM, ROSE APPLE, CORK TREE AND WEDELIA, ON THE PROPERTY SHALL BE COMPLETELY REMOVED AND DISPOSED OF OFF SITE BY THE CONTRACTOR. THE SITE SHALL BE MAINTAINED FREE OF INVASIVE EXOTIC VEGETATION IN PERPETUITY.
6. TREES SHALL BE A MINIMUM OF 12'-14" IN HEIGHT WITH A 3" CALIPER MEASURED AT 1' ABOVE GROUND LEVEL WITH A SIX FOOT CANOPY UNLESS SPECIFIED OTHERWISE PER PLAN AND PLANT LIST.
7. A MINIMUM OF 100% OF THE CODE BUFFER TREES AND SHRUBS SHALL BE OF A NATIVE SPECIES.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH THE LOCATIONS OF ALL UTILITIES AND ALL SITE CONDITIONS PRIOR TO THE START OF LANDSCAPE INSTALLATION.
9. FERTILIZER SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND LEE COUNTY ORDINANCES
10. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FINE GRADE ALL PLANTING AND SODDING AREAS PRIOR TO PLANT OR SOD INSTALLATION. CONTRACTOR SHALL OBTAIN OWNER APPROVAL OF FINAL GRADES.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE TAKEOFFS. PLANT LIST IS PROVIDED FOR REFERENCE ONLY.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE UNTIL FINAL ACCEPTANCE AND IN COMPLIANCE WITH SPECIFICATIONS.
13. CONTRACTOR SHALL REMOVE ALL TAGS, TAPE AND SUPPORTS (EXCEPT STAKING GUYS) FROM ALL PLANTINGS PRIOR TO FINAL ACCEPTANCE.
14. ALL AREAS OF THE SITE NOT PLANTED SHALL BE SODDED IN ACCORDANCE WITH PLANS. REFER TO ENGINEERING PLANS FOR ADDITIONAL SPECIFICATIONS.
15. THE REQUIRED PLANTINGS SHALL BE IRRIGATED IN ACCORDANCE WITH LDC REQUIREMENTS. REFER TO CONSTRUCTION DOCUMENTS FOR COMPLETE IRRIGATION PLANS.
16. THE PARKING LOTS SHALL BE SLEEVED FOR IRRIGATION BY THE LANDSCAPE CONTRACTOR. COORDINATE WITH CIVIL ENGINEERING PLANS.
17. ALL BASE ROCK SHALL BE REMOVED FROM LANDSCAPE PARKING ISLANDS.
18. PRIOR TO CERTIFICATE OF COMPLIANCE NO TREES SHALL BE PLANTED WHERE THEY INTERFERE WITH BUILDINGS, UTILITIES, SITE DRAINAGE, VIEWS, SIGNS, OR WHERE THEY WILL REQUIRE FREQUENT PRUNING TO AVOID POWER LINES AT MATURE HEIGHTS IN PERPETUITY UNLESS A WRITTEN STATEMENT IS PROVIDED PER LDC SEC. 10-421 A.5
19. THE CONTRACTOR SHALL PROVIDE (PRESSURE COMPENSATING SCREENS) AS NECESSARY TO REDUCE OR ELIMINATE OVERSPRAY INTO STREETS, WALKS OR OTHER AREAS AS DICTATED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
20. PLANS PREPARED FOR DEVELOPMENT ORDER APPROVAL. REFER TO ADDITIONAL LANDSCAPE CONSTRUCTION DOCUMENTS FOR ADDITIONAL REQUIREMENTS.



DMJA

DAVID M. JONES, JR.
AND ASSOCIATES, INC.

LANDSCAPE ARCHITECTS
AND PLANNERS

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Fort Myers, Florida 33901
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FAX (239) 337-4194

2703 Tamiami Trail, Bldg. 5,
Unit 201
Port Charlotte, Florida 33952
PHONE: (941) 639-2450
FAX (941) 639-2438
L.A. LICENSE: LC 000063

PROJECT INFORMATION:

**GINSBERG
EYE
at
CORKSCREW**

ESTERO, FLORIDA

PREPARED FOR:

Banks Engineering
10511 Six Mile Cypress Pkwy
Fort Myers, Florida 33966

CONSULTANT:

DESIGN PROFESSIONAL:

GREGORY J. DESERIO, RLA
P.E. No. 546 DATE
STATE OF FLORIDA

PROJECT NO:	222056
PROJECT MGR:	GJD
FILE NAME:	GINSBERG EYE.LBS
DESIGNER:	GJD
CAD TECH:	GJD
CHECKED BY:	GJD
ISSUED FOR:	Public Meeting

ISSUED DATE: APRIL 28, 2022

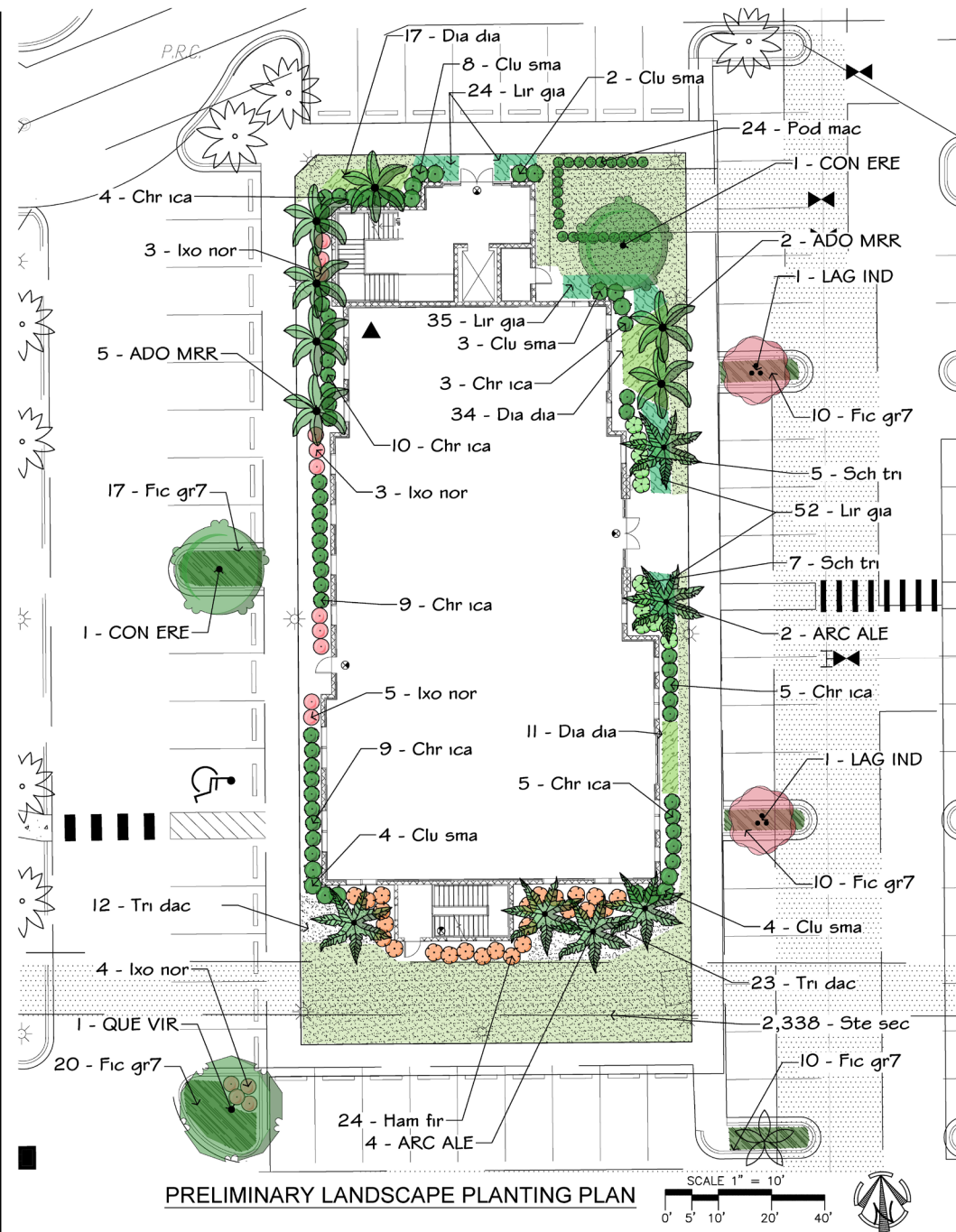
REVISIONS:	

SHEET TITLE:
**LANDSCAPE
CALCULATIONS**

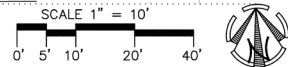
SHEET NUMBER:

1-1





PRELIMINARY LANDSCAPE PLANTING PLAN



PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	
	ADO MRR	7	Adonia merrillii Manila Palm NON NATIVE-GENERAL TREE	10'-12' CT	
	ARC ALE	6	Archontophoenix alexandrae Alexandra Palm NON NATIVE-GENERAL TREE	10'-12' CT	
	CON ERE	2	Conocarpus erectus Buttonwood NATIVE	Min. 2" Cal., 10' Ht., 4' Sprd.	
	LAG IND	2	Lagerstroemia indica Crape Myrtle	12' - 14' O.A., Multi-Stem	
	QUE VIR	1	Quercus virginiana Southern Live Oak NATIVE	Min. 2" Cal., 10' Ht., 4' Sprd.	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	
	Chr ica	45	Chrysobalanus icaco Coco Plum	3 gal., 24" ht	
	Clu sma	21	Clusia guttifera Small Leaf Clusia	Min. 24" Ht., 3 Gallon	
	Ham fir	24	Hamelia patens Firebush	3 gallon, 24" ht. @ 3' oc.	
	Ixo nor	15	Ixora coccinea 'Nora Grant' Nora Grant Pink Ixora	3 gal., 18"-24" ht	
	Pod mac	24	Podocarpus macrophyllus Yew Pine	3' Ht.	
	Sch tri	12	Schefflera arboricola 'Trinette' Trinette Variegated Schefflera	3 gal., 18"-24" ht	
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING
	Dia dia	62	Dianella caerulea Flax Lily	1 gal.	24" o.c.
	Fic gr7	67	Ficus microcarpa 'Green Island' Green Island Fig	1 gal.	30" o.c.
	Lir gia	111	Liriope muscari 'Evergreen Giant' Evergreen Giant Lilyturf	1 gal.	18" o.c.
	Tri dac	35	Tripsacum dactyloides nana Dwarf Fakahatchee Grass NATIVE	1 gal.	36" o.c.

GENERAL LANDSCAPE NOTES

1. THE CONTRACTOR SHALL COORDINATE LANDSCAPE RENOVATIONS WITH OWNER PRIOR TO CONSTRUCTION.
2. LANDSCAPE PLAN HAS BEEN DEVELOPED TO MATCH AND/OR COMPLIMENT EXISTING LANDSCAPING.
3. EXISTING PLANTINGS TO REMAIN ADJACENT TO WORK LIMITS ARE TO REMAIN AND ARE NOT SHOWN FOR GRAPHIC CLARITY.
4. ALL PLANTINGS TO BE IRRIGATED WITH SYSTEM TO MATCH EXISTING IRRIGATION COMPONENTS



NORTH ELEVATION 2
1/8" = 1'-0"



EAST ELEVATION 1
1/8" = 1'-0"



SOUTH ELEVATION 4



WEST ELEVATION 3

Note: Building Renderings shown are before revisions from pre-application meeting

Questions?