



BH & A

BRUCE HOWARD &
ASSOCIATES, INC.

Landscape Architects, Site Planners
& Golf Course Designers



Via Coconut Road

Village of Estero

Landscape Site Analysis

Project Scope

Approx. 2.7 miles (14,308 lf)



Key Elements that affect Design Concept

Analyzing the factors that have the greatest influence on the design:

- **Sight Lines:** with the numerous developments taking place along this roadway, the landscape design in the affected medians is predominantly thin trunk palms with low ground covers.
- **Underground utility locations**
- **Guardrails protecting ponds**
- **Existing walls**
- **Uniformity of sidewalks from back/curb**
- **Adjacent residential and Commercial Buffers**
- **Adjacent vegetation**
- **Views to adjacent ponds**

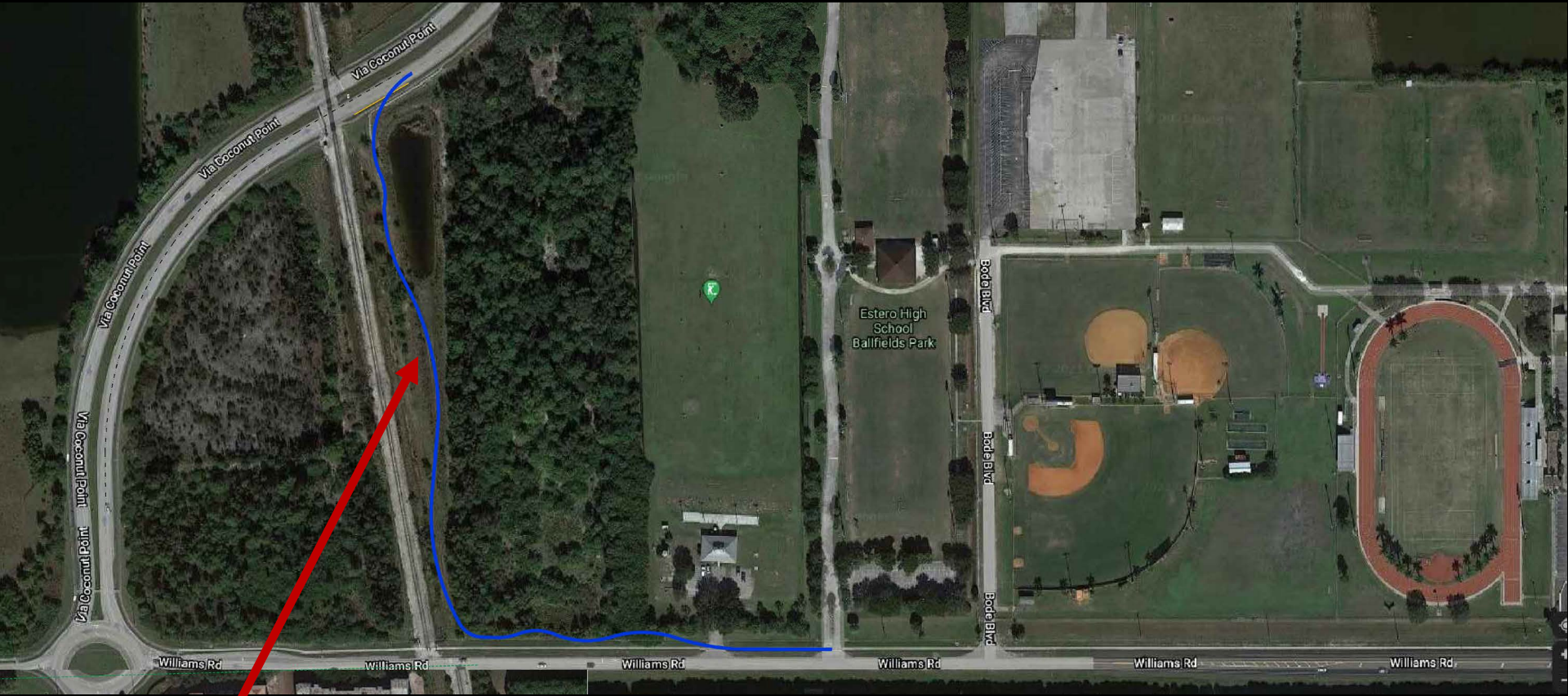
Typical – 600 ft north of Williams Rd, facing North



The sidewalk is at a uniform distance from back/ curb, creating a very sterile look. Guardrails occur at numerous locations.

Multi-Use Path Opportunity

Village owned property east of Rail Road property provides an opportunity for a off road multi-use path



Propose creating a multi-use path to more safely connect Via Coconut Rd. and Williams Rd.

Williams Road Roundabout



Roundabout and medians were landscaped the Village and Reserve at Coconut Pt.

Future bicycle and pedestrian improvements funded by FDOT will be accommodated

Typical - 1 000 ft south of Williams Rd, facing South



Guardrail along pond

Perimeter wall and buffer landscaping along Rapallo

Typical – 1,550 ft south of Williams Rd, facing South



Pond and wetland along Rd

**Work with property owner
to enhance landscaping
and views**

**Uniform spacing of sidewalk from
back of curb**

**Work with Property Owner to obtain
an easement to meander sidewalk
and add varied landscaping.**

Typical – 2,000 ft south of Williams Rd, facing South
Between Brooks and Rapallo



Existing wall to buffer adjacent homes, may no longer be needed with mature landscaping

Work with development to remove

Uniform spacing of sidewalk from back of curb

Work with Property Owner to obtain an easement to meander sidewalk and add varied landscaping.

Typical – 3,200 ft south of Williams Rd, facing south



Exotic vegetation along east side of road

Work with property owners to remove exotic vegetation

Grade difference prevents meandering sidewalk

Existing guard rail, canal and trees prevent meandering sidewalk

View of West Side Developments

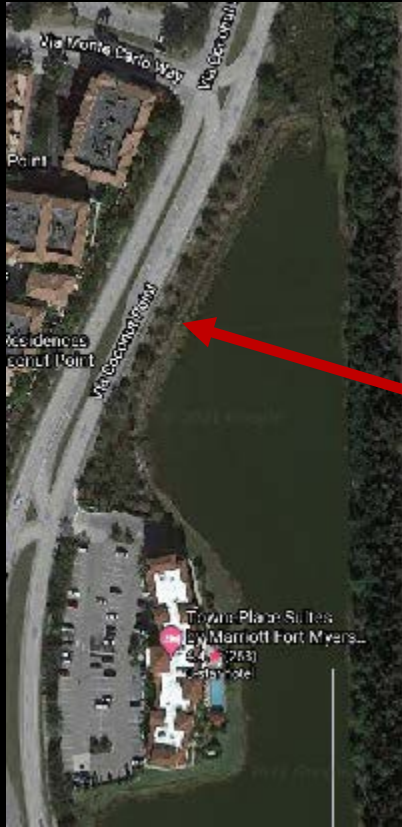


Coconut Point Mall has limited buffering and no wall – work to better buffer service areas and parking lot.



Residential developments have attractive landscaping and wall – only need minimal landscape enhancements.

Pond around Town Place Suites



**Work with property owner to
enhance landscaping and
create pond view corridors**



Pond around Town Place Suites

Work with Property owner to enhance landscaping and pond views along Via Coconut Pt and Coconut Rd



Typical – South of Coconut Road

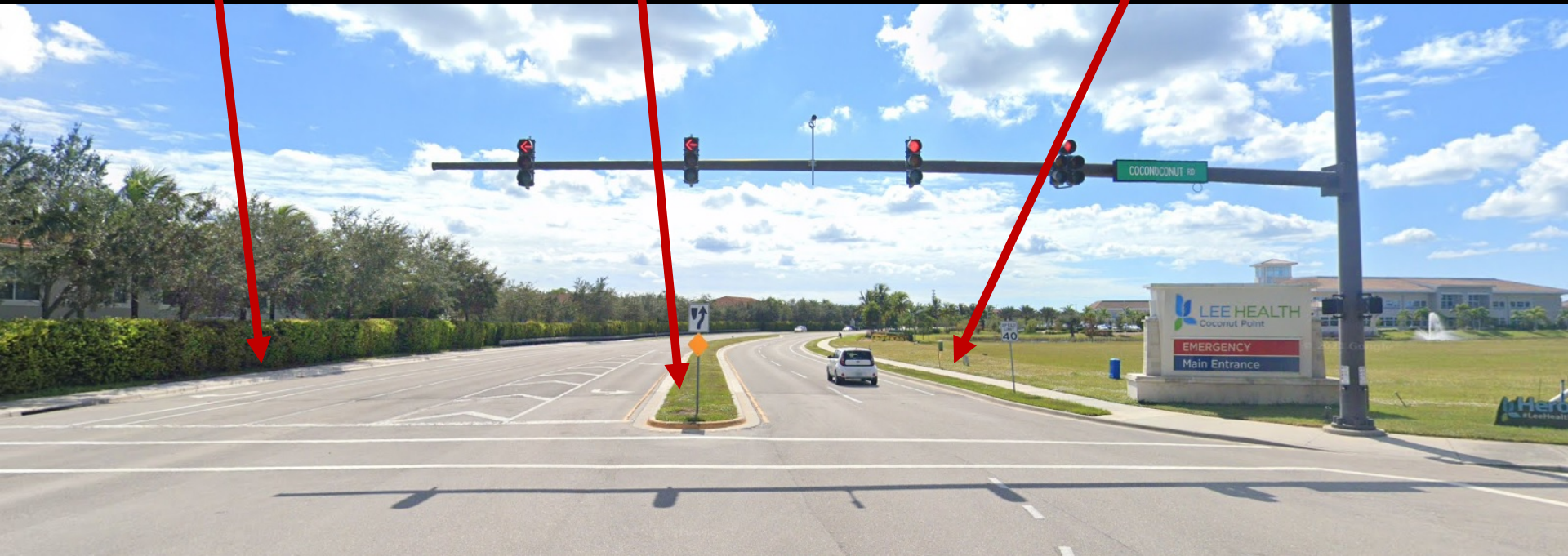
Residential buffer and hedge.

Compliment with low plantings to improve pedestrian experience

Narrow median limited planning opportunity

Uniform spacing of sidewalk from back of curb

Work with Property Owner to obtain an easement to meander sidewalk and add varied landscaping.



Mirasol Buffer



Existing guardrail and buffer limit ability to meander sidewalk

Add shrubs and ground covers to enhance pedestrian experience

Typical – North of Pelican Colony Blvd, facing south

Narrow median with utilities

Add trees where possible, could be limited to shrubs and groundcover



Uniform spacing of sidewalk from back of curb

Work with Property Owner to obtain an easement to meander sidewalk and add varied landscaping.

Pelican Colony Roundabout



Landscape roundabout similar to Williams Road roundabout, while utilizing different types of vegetation.

Analysis Summary

- Sight Lines: predominantly thin trunk palms with low ground covers.
- Utility locations prevent the opportunity to plant trees and large palms
- Guardrails protecting ponds – investigate possibility to remove.
- Existing walls – removed where possible, screen if they can't be removed
- Uniformity of sidewalks – Pursue easements to meander sidewalks and add landscaping
- Adjacent Buffers – Where possible enhance
- Adjacent vegetation – Work with property owners to remove exotic plants, supplement with native where needed.
- Pond view– open up view corridors to allow for better views of these already attractive areas

Via Coconut Road

Village of Estero

Conceptual Planting Design

Conceptual Plant Palette – Trees



Green and Silver Buttonwood



Pink Tabebuia



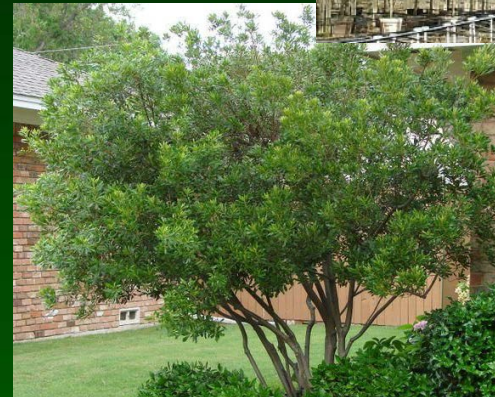
Live Oak



Dahoma Holly



Dombeya



Wax Myrtle



White Geiger

Conceptual Plant Palette – Palms

Sabal Palm



Royal Palm



King Alexander Palm



Thrinax Palm



Silver Saw Palmetto



Conceptual Plant Palette – Shrubs

Wild Coffee



Green and Silver Buttonwood



Coontie Fern



Dwarf Fakahatchee



Muhly Grass



String Lily



Dwarf Porterweed



Red-tip and Horizontal Cocoplum

Conceptual Plant Palette – Shrubs/Ground Covers

Bougainvillea

Carissa Emerald Blanket



Green Island Ficus

Frog Fruit



Sunshine Mimosa



Panama Rose



Perennial Peanut

Wart Fern



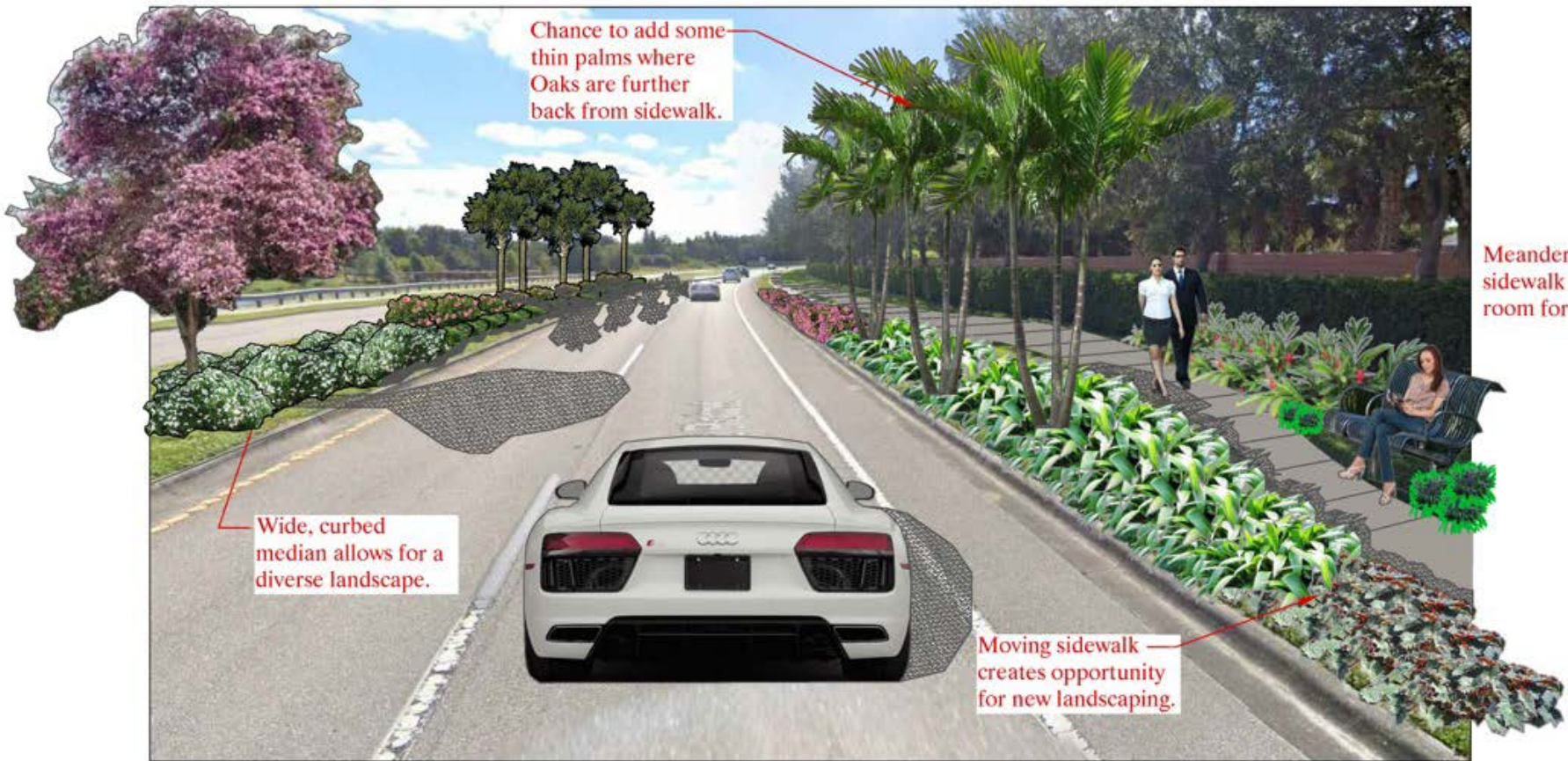
Easement and meandering sidewalk



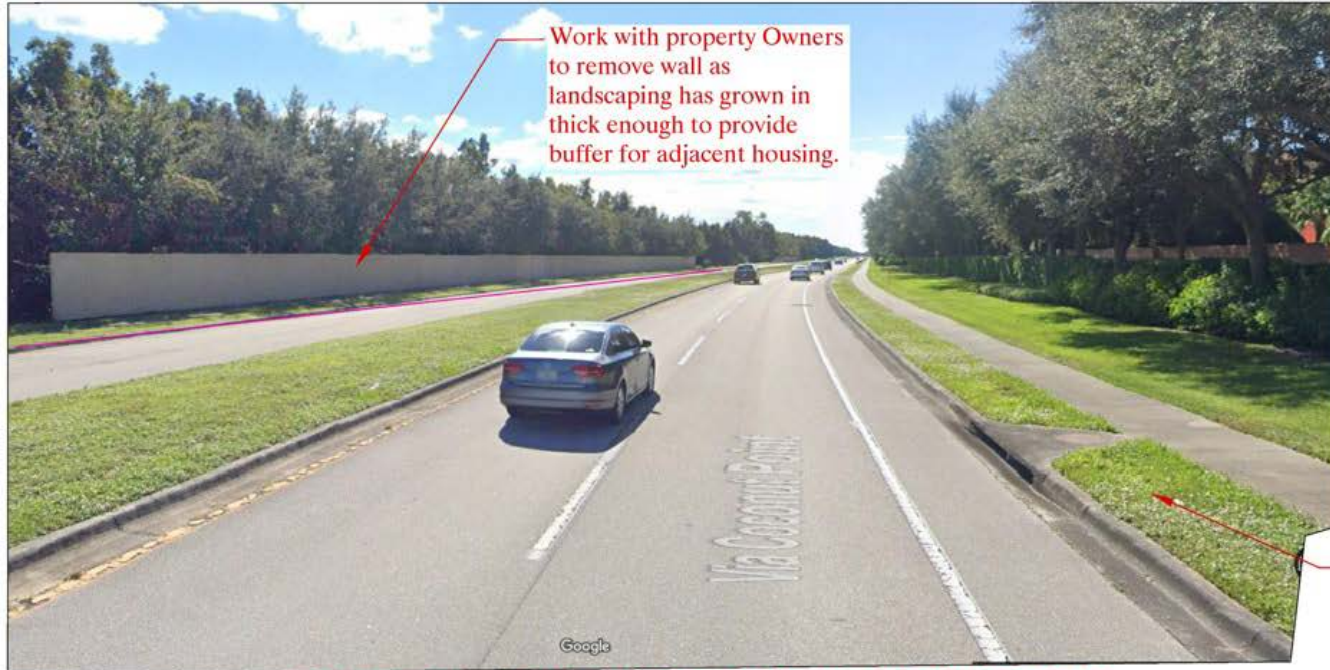
With the shrubs and trees back against buffering wall, there is sufficient space to procure a 10' easement on adjacent property, which would allow for a meandering sidewalk and better landscaping.

SECTION of EXISTING VIA COCONUT with new sidewalk

Easement and meandering sidewalk



Sidewalk to remain

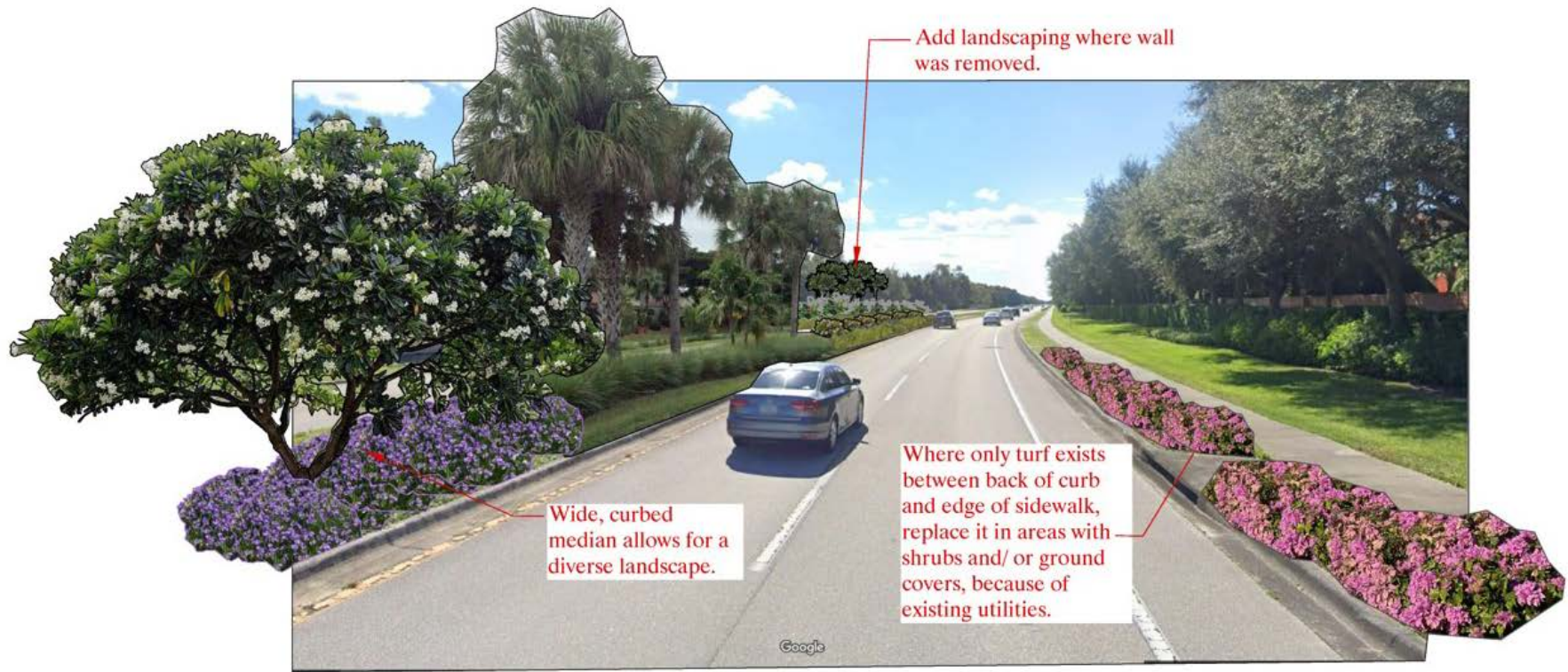


Work with property Owners to remove wall as landscaping has grown in thick enough to provide buffer for adjacent housing.

Sidewalk equidistant from back of curb for long stretches is monotonous.

SECTION of EXISTING VIA COCONUT AS IS

Sidewalk to remain



Lee Health Property Buffer, south of Coconut Road



Lee Health will need to create their own buffer, but we can meander the sidewalk, procure a 10' easement and substantially enhance this area.

Sidewalk equidistant from back of curb for long stretches is monotonous and currently is only sod, which is costly to maintain.

SECTION of EXISTING VIA COCONUT as is

Lee Health Property Buffer, south of Coconut Road



Typical sight line landscaping with thin trunk palms and low ground cover.

Meandering sidewalk provides room for seating and enhanced landscaping.

Pelican Colony Blvd. Roundabout



Pelican Colony Blvd. Roundabout

In keeping with the recently landscaped roundabout at Williams Rd., feature stately palms with picturesque under plantings.





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