



CORSA AT ESTERO CROSSING – PZDB MEETING

ESTERO, FL
JUNE 14, 2022
DOS2021-E007

CONSULTANT TEAM

STOCK DEVELOPMENT, *Developer*



BOOTH DESIGN GROUP, *Landscape Architecture*



CHARLAN BROCK ARCHITECTS, *Architect*



DELISI FITZGERALD, INC., *Civil Engineering*



ESTERO CROSSING

VICINITY MAP



ESTERO CROSSING

PROJEC OVERVIEW

DEVELOPMENT ORDER DOS2021-E007

306 MULTI-FAMILY UNITS IN 6 3-STORY BUILDINGS

MIXED USE BUILDING WITH 15,000 SF OF NON-RESIDENTIAL ON GOUND FLOOR

AMENITY/LEASING BUILDING AT END OF POCKET PARK

AMENITIES INCLUDE INTERNAL WALKING PATH, POOL, DOG PARK, PAVILION, GRILL AREA, BOWLING ALLEY, GOLF SIMULATOR AND MORE

PUBLIC INFORMATION MEETING: AUGUST 2021

WORKSHOP: JANUARY 2022

PIM/WORKSHOP COMMENTS

COMMENTS FROM AUGUST 2021 PIM MEETING

COMMENT: CONSISTENCY WITH PATTERN BOOK

RESPONSE/REVISION: COLORS HAVE BEEN REVISED TO MATCH THE PALETTE AND APPLICATION UTILIZED IN THE PATTERN BOOK.

COMMENTS FROM JANUARY 2022 WORKSHOP

COMMENT: DARK RAIL/COLUMNS BREAK UP BUMP-OUT

RESPONSE/REVISION: COLUMNS REVISED TO UTILIZE WALL COLOR AS PRIMARY COLOR ANY ONLY UTILIZE DARK COLOR AS ACCENT.

COMMENT: PARKING AT CLUBHOUSE

(SUGGESTION TO PROVIDE PARKING EQUAL T 15% OF UNITS IN SOUTHERN BUILDING)

RESPONSE/REVISION: PARKING LOT AT CLUBHOUSE REVISED TO PROVIDE 12 SPACES (PREVIOUSLY 10) ADDITIONAL 18 ON-STREET SPACES AVAILABLE ADJACENT TO CLUBHOUSE AT POCKET PARK. THESE SPACES ARE NOT UTILIZED TOWARD CODE REQUIRED PARKING. SITE AS A WHOLE EXCEEDS REQUIRED PARKING.

BUILDING SUMMARY		
BUILDING	GROSS FLOOR AREA / UNITS	STORIES
BUILDING #1	60 UNITS	3
BUILDING #2	51 UNITS	3
BUILDING #3	50 UNITS	3
BUILDING #4	50 UNITS	3
BUILDING #5	51 UNITS	3
BUILDING #6	15,546 SF / 44 UNITS	3
BUILDING #7	21,364 SF	2

ENTITLEMENT INVENTORY TABLE			
USE	MAX INTENSITY ⁽¹⁾	PROPOSED THIS PROJECT	TOTAL TO DATE
MULTI-FAMILY RESIDENTIAL	306 UNITS	306	306
RETAIL / COMMERCIAL	60,000 SF	15,546 SF	44,675 SF

(1) MAXIMUM INTENSITIES PER ORDINANCE 2019-29.

BUFFER REQUIREMENTS		
PROPERTY LINE	ADJACENT USE	BUFFER REQUIRED
NORTH	R.O.W.	ALTERNATE ⁽²⁾
EAST ⁽³⁾	R.O.W.	20' TYPE 'D'
EAST ⁽³⁾	RESIDENTIAL	15' TYPE 'B' ⁽¹⁾
SOUTH	PRESERVE	NONE
WEST ⁽³⁾	COMMERCIAL	15' TYPE 'B'
WEST ⁽³⁾	RESIDENTIAL	15' TYPE 'B' ⁽¹⁾

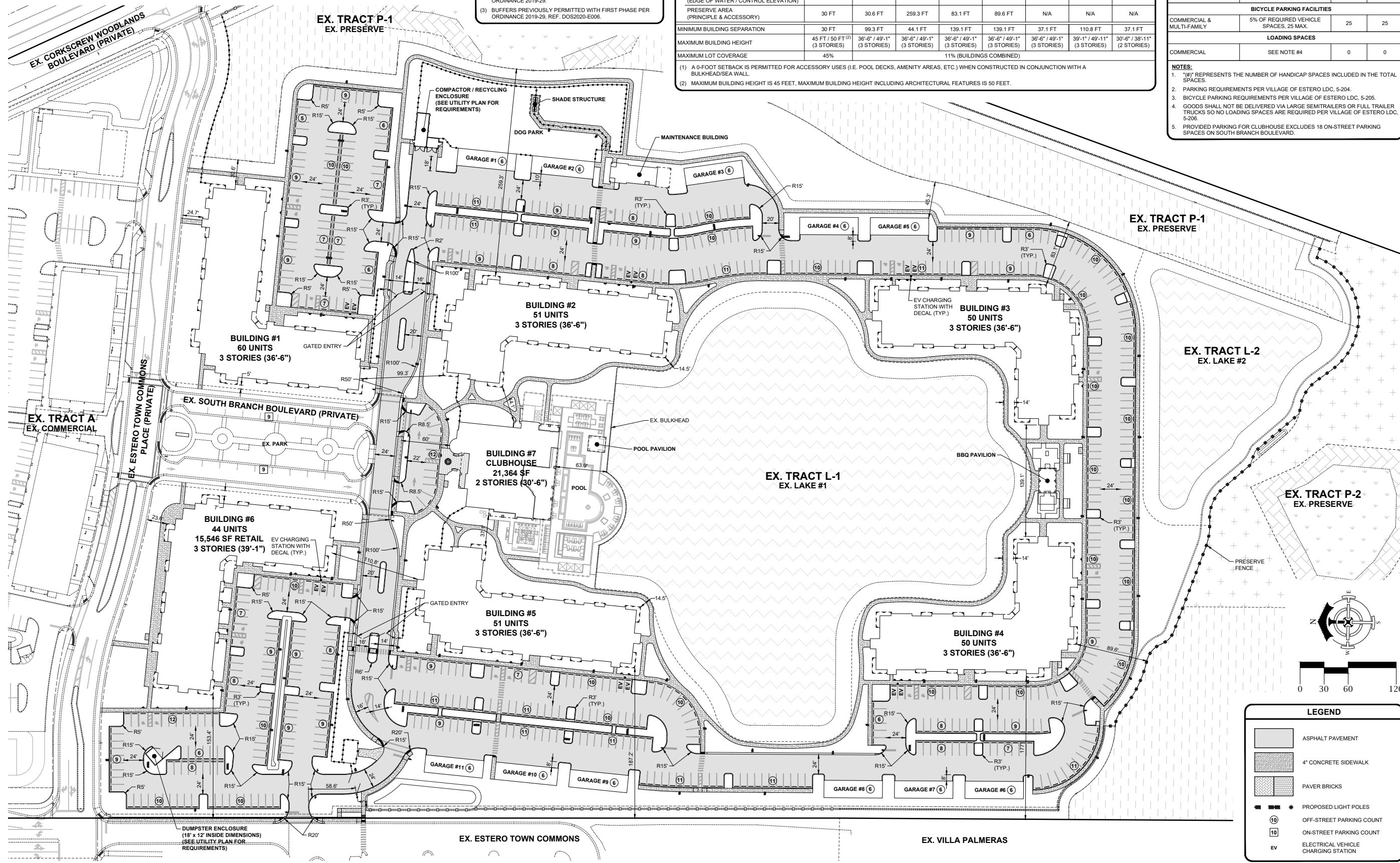
(1) 15' ENHANCED TYPE 'B' BUFFER REQUIRED PER ORDINANCE 2019-29.
 (2) ALTERNATE PLANTING PER PATTERN BOOK PER ORDINANCE 2019-29.
 (3) BUFFERS PREVIOUSLY PERMITTED WITH FIRST PHASE PER ORDINANCE 2019-29, REF. DOS2020-E006.

SITE DEVELOPMENT REGULATIONS PER ORDINANCE 2019-29								
CATEGORY	REQUIRED	BUILDING #1 PROVIDED	BUILDING #2 PROVIDED	BUILDING #3 PROVIDED	BUILDING #4 PROVIDED	BUILDING #5 PROVIDED	BUILDING #6 PROVIDED	BUILDING #7 PROVIDED
MINIMUM BUILDING SETBACKS								
"MAIN STREET" ROADWAY (ESTERO TOWN COMMONS PLACE)	5 FT	24.7 FT	N/A	N/A	N/A	N/A	23.6 FT	N/A
INTERNAL PRIVATE ROADWAYS / ACCESSWAYS	5 FT	5.0 FT	N/A	N/A	N/A	N/A	7.0 FT	60.0 FT
OTHER PERIMETER BOUNDARIES	20 FT	N/A	N/A	N/A	177.0 FT	187.2 FT	153.4 FT	N/A
OTHER INTERNAL BOUNDARIES	5 FT	30.0 FT	14.5 FT	14.0 FT	14.0 FT	14.5 FT	N/A	63.9 FT
WATERBODY (EDGE OF WATER / CONTROL ELEVATION)	20 FT ⁽¹⁾	N/A	34.5 FT	34.0 FT	34.0 FT	34.5 FT	N/A	63.9 FT
PRESERVE AREA (PRINCIPLE & ACCESSORY)	30 FT	30.6 FT	259.3 FT	83.1 FT	89.6 FT	N/A	N/A	N/A
MINIMUM BUILDING SEPARATION	30 FT	99.3 FT	44.1 FT	139.1 FT	139.1 FT	37.1 FT	110.8 FT	37.1 FT
MAXIMUM BUILDING HEIGHT	45 FT / 50 FT ⁽²⁾	36'-6" / 49'-1" (3 STORIES)	36'-6" / 49'-1" (3 STORIES)	36'-6" / 49'-1" (3 STORIES)	36'-6" / 49'-1" (3 STORIES)	36'-6" / 49'-1" (3 STORIES)	39'-1" / 49'-11" (3 STORIES)	30'-6" / 38'-11" (2 STORIES)
MAXIMUM LOT COVERAGE	45%			11% (BUILDINGS COMBINED)				

(1) A 0-FOOT SETBACK IS PERMITTED FOR ACCESSORY USES (I.E. POOL DECKS, AMENITY AREAS, ETC.) WHEN CONSTRUCTED IN CONJUNCTION WITH A BULKHEAD/SEA WALL.
 (2) MAXIMUM BUILDING HEIGHT IS 45 FEET, MAXIMUM BUILDING HEIGHT INCLUDING ARCHITECTURAL FEATURES IS 50 FEET.

PARKING SUMMARY			
USE	RATIO	REQUIRED	PROVIDED
DWELLING, MULTI-FAMILY	2 PER D.U. PLUS 10% ADDITIONAL FOR VISITOR USE (306 D.U.)	674	679
MULTIPLE OCCUPANCY COMPLEX	4.5 PER 1,000 SF OF FLOOR AREA (15,546 SF)	70	70
LEASING / OFFICE (CLUBHOUSE)	1 PER 300 SF OF FLOOR AREA (719 SF)	3	12
TOTAL SPACES		747	761 (28)
ELECTRICAL VEHICLE (EV) CHARGING STATIONS			
COMMERCIAL & MULTI-FAMILY	150 SPACES OR MORE REQUIRE 3 EV STATIONS MIN.	3	12
BICYCLE PARKING FACILITIES			
COMMERCIAL & MULTI-FAMILY	5% OF REQUIRED VEHICLE SPACES, 25 MAX.	25	25
LOADING SPACES			
COMMERCIAL	SEE NOTE #4	0	0

NOTES:
 1. "10" REPRESENTS THE NUMBER OF HANDICAP SPACES INCLUDED IN THE TOTAL SPACES.
 2. PARKING REQUIREMENTS PER VILLAGE OF ESTERO LDC, 5-204.
 3. BICYCLE PARKING REQUIREMENTS PER VILLAGE OF ESTERO LDC, 5-205.
 4. GOODS SHALL NOT BE DELIVERED VIA LARGE SEMITRAILERS OR FULL TRAILER TRUCKS SO NO LOADING SPACES ARE REQUIRED PER VILLAGE OF ESTERO LDC, 5-206.
 5. PROVIDED PARKING FOR CLUBHOUSE EXCLUDES 18 ON-STREET PARKING SPACES ON SOUTH BRANCH BOULEVARD.



DELISI FITZGERALD, INC.
 Planning - Engineering - Project Management

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 Fort Myers, FL 33901
 (239) 418-0691
 (239) 418-0692 fax

Florida Certificate of Authorization of Engineering LB #26978

ENGINEER OF RECORD:
 JOHN T. WOODAK, P.E. (FOR THE FIRM)
 FLORIDA P.E. NO. 58217

NOT VALID WITHOUT REAL SIGNATURE AND DATE

OWNER / DEVELOPER:
SD ESTERO CROSSING, LLC
 2639 PROFESSIONAL CIRCLE, SUITE 101
 NAPLES, FL 34119
 (239) 592-7344

PROJECT:
CORSA AT ESTERO CROSSING

#	DATE	PLAN REVISIONS	DESCRIPTION

SITE LAYOUT PLAN

Project Manager: JTW
 Drawn By: CAS
 Checked By: JTW
 Project Number: 21578
 Located in Section(s): 35
 Township: 46 S Range: 25 E
 County, State: LEE COUNTY, FL

Status:
 FOR CONSTRUCTION
 SUBJECT TO ALL PERMIT APPROVALS

Sheet Number: 5

K:\21578 - ESTERO CROSSING - RESIDENTIAL\DOPLAN SET\21578-05-SITE.DWG
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Impacting Lives Together

ARCHITECTURAL PLANS – PATTERN BOOK COMPARISON



MIXED USED PERSPECTIVE - PATTERN BOOK



MIXED USE PERSPECTIVE - PROPOSED



MULTIFAMILY PERSPECTIVE - PATTERN BOOK



MULTIFAMILY PERSPECTIVE - PROPOSED

COLOR PALETTE

ACCENT COLOR
-ARCHITECTURAL TRIM
-PORCH COLUMNS
-CORBELS

SW 6069
French Roast

Interior / Exterior
Location Number: 196-C7

SECONDARY WALL COLOR
-SMOOTH STUCCO

SW 7012
Creamy

Interior / Exterior
Location Number: 261-C3

TRIM COLOR
-SMOOTH STUCCO

SW 7005
Pure White

Interior / Exterior
Location Number: 255-C1

POWDER COAT:
DURANER BERMUDA
BRONZE UC105262
-ESWINDOWS
ALUMINUM SNGLE
HUNG

SW 7713
Tawny Tan

Interior / Exterior
Location Number: 287-C4

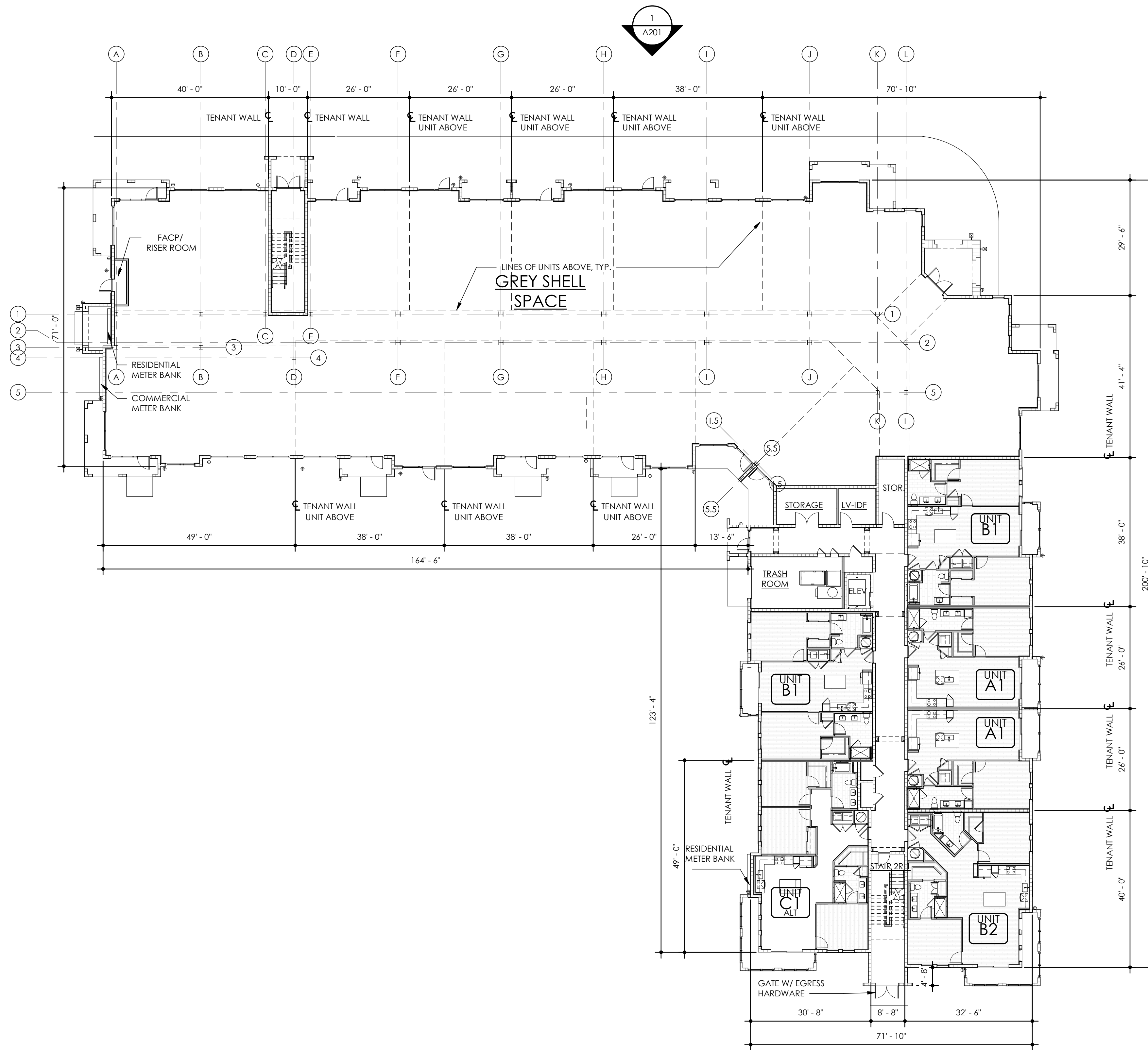
CONCRETE BARREL
TILE ROOF
-EAGLE 3661 JUNO
BLEND



POWDER COAT:
INTERPON
D300088016M
-BALCONY PICKET
RAILING
-ALUMINUM FASCIA

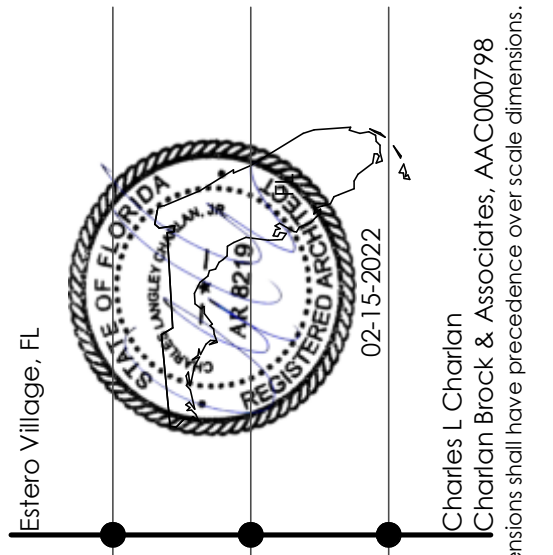
PRIMARY WALL COLOR
-SMOOTH STUCCO

POWDER COAT:
INTERPON BROWN
D3000-8M255QF
-CORAL FL500
STOREFRONT



1 BUILDING TYPE I - MIXED USE - FIRST FLOOR PLAN

SCALE: 1/16" = 1'-0"



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reviewed by: CBA
issue history:
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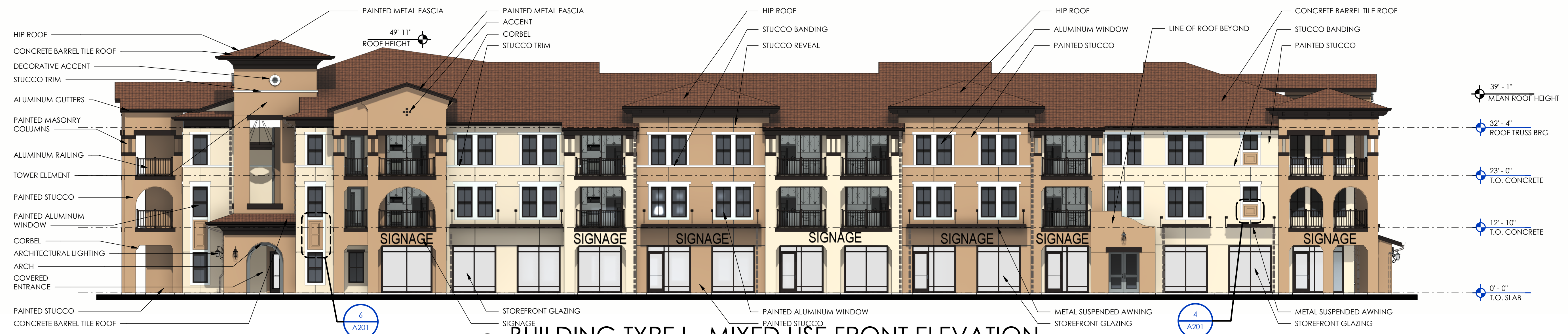
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MIXED USE - FIRST
FLOOR PLAN**

Sheet Number
A101

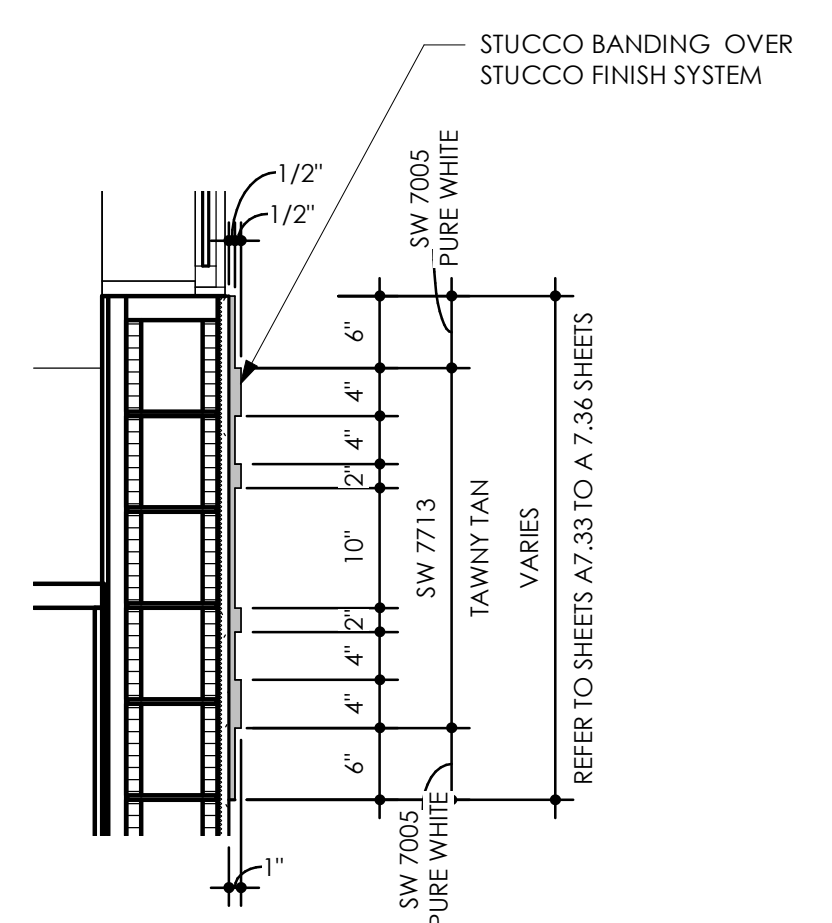
Charles L. Charlan
 Registered Professional Engineer
 State of Florida
 No. 12487
 Date: 02-15-2022
 Estero Village, FL
 charlan brock & associates, A.A.C.000798
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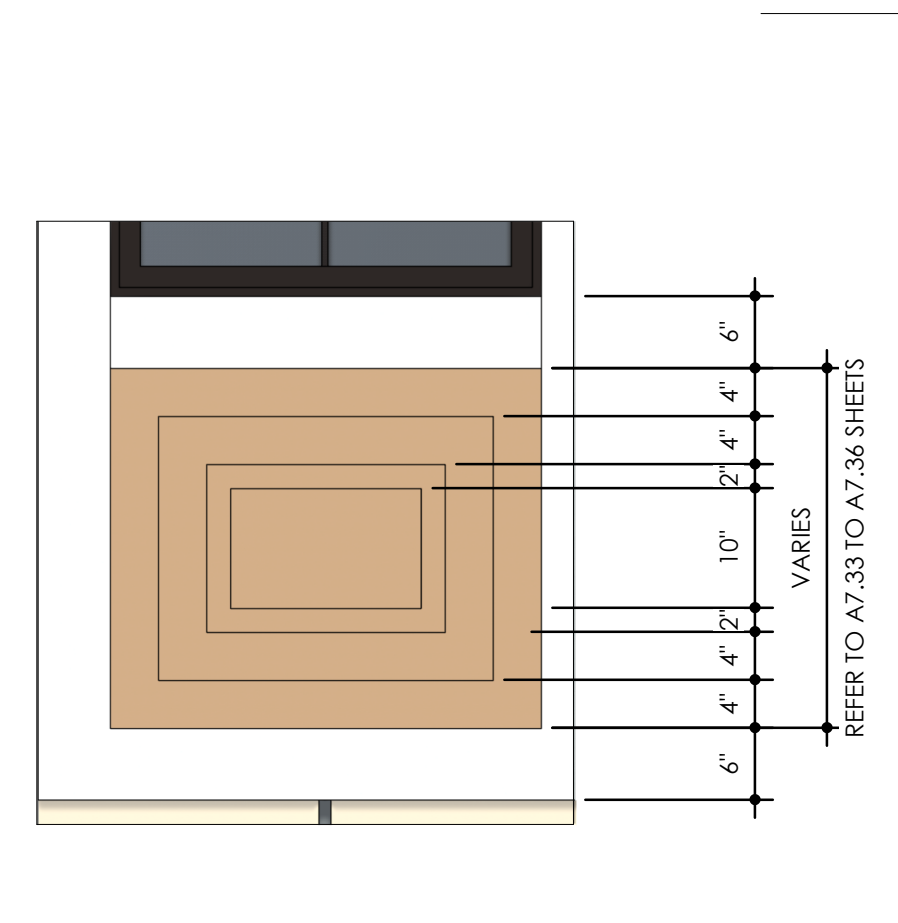
2 BUILDING TYPE I - MIXED USE RIGHT ELEVATION
 SCALE: 3/32" = 1'-0"



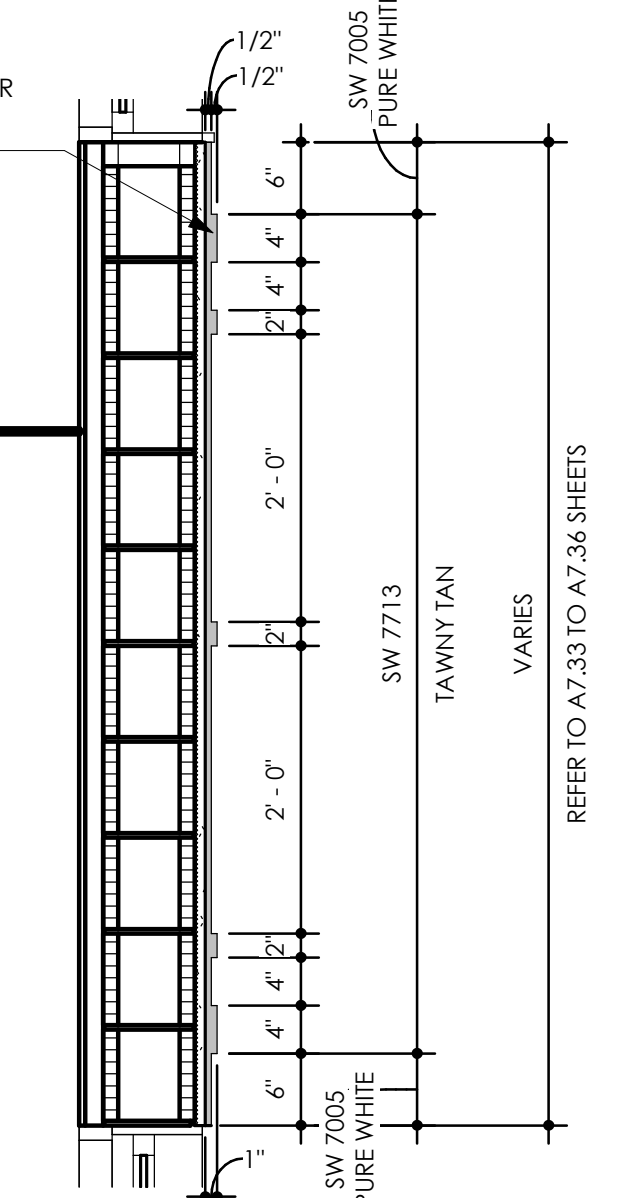
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 SCALE: 3/32" = 1'-0"



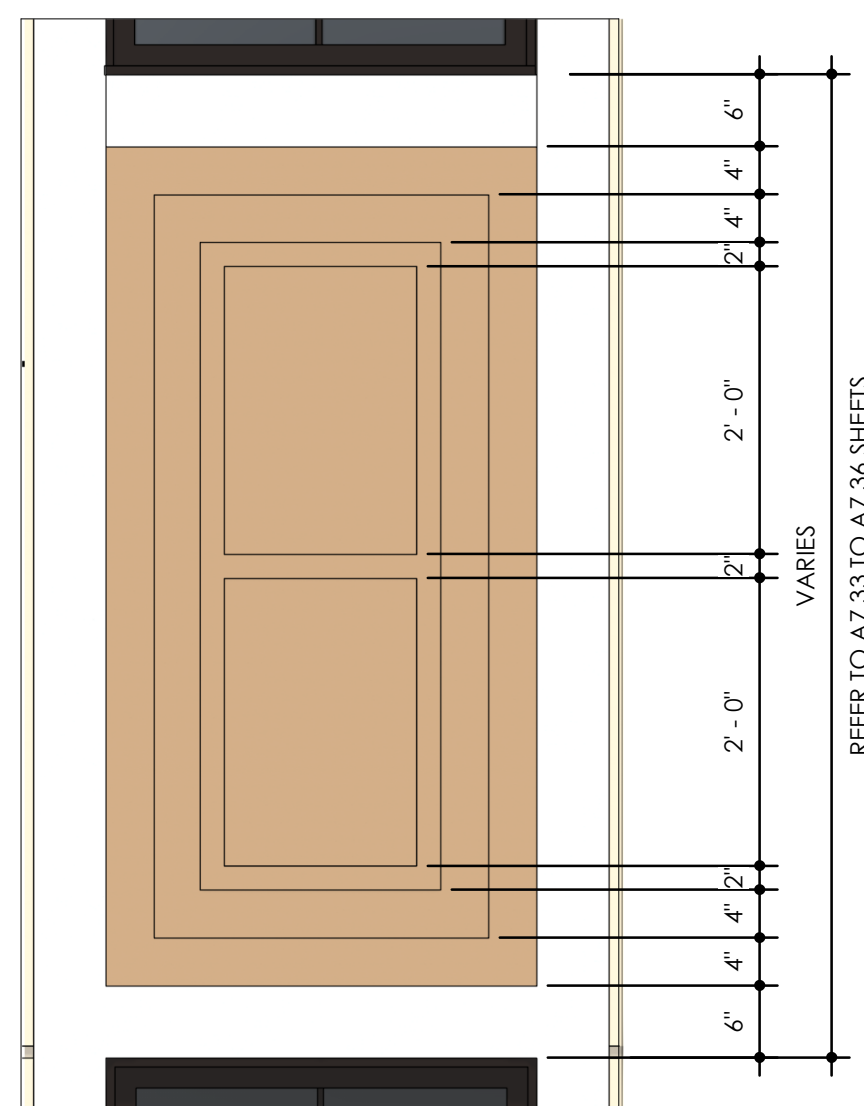
3 SINGLE PANEL SECTION
 SCALE: 3/4" = 1'-0"



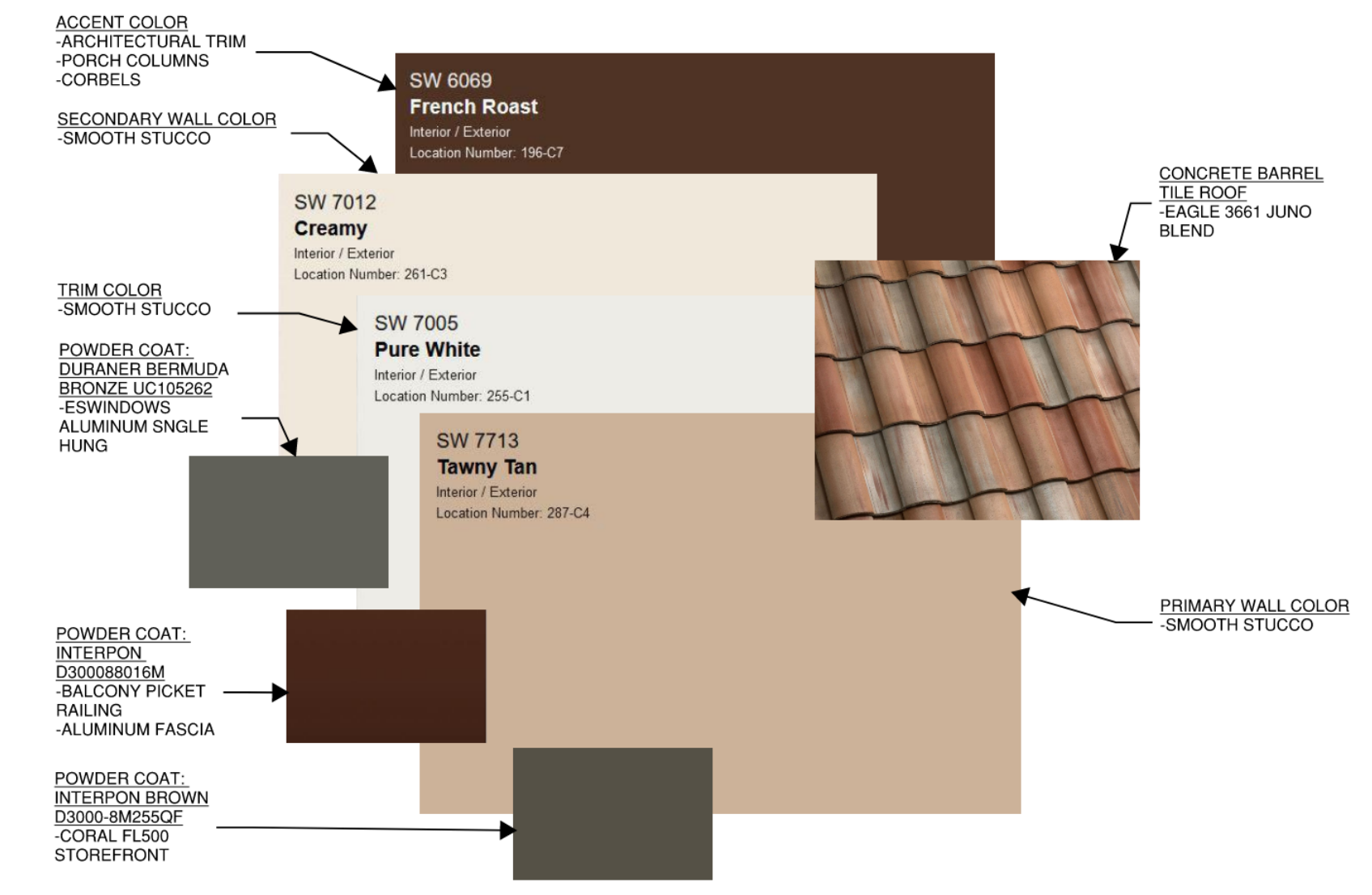
4 SINGLE PANEL ELEVATION
 SCALE: 3/4" = 1'-0"



5 DOUBLE PANEL SECTION
 SCALE: 3/4" = 1'-0"



6 DOUBLE PANEL ELEVATION
 SCALE: 3/4" = 1'-0"



COLOR PALETTE



2 BUILDING TYPE I - MIXED USE LEFT ELEVATION
 SCALE: 3/32" = 1'-0"

49'-11"
 ROOF HEIGHT

32'-4"
 ROOF TRUSS BRG

23'-0"
 T.O. CONCRETE

12'-10"
 T.O. CONCRETE

0'-0"
 T.O. SLAB



1 BUILDING TYPE I - MIXED USE REAR ELEVATION
 SCALE: 3/32" = 1'-0"

49'-11"
 ROOF HEIGHT

32'-4"
 ROOF TRUSS BRG

23'-0"
 T.O. CONCRETE

12'-10"
 T.O. CONCRETE

0'-0"
 T.O. SLAB

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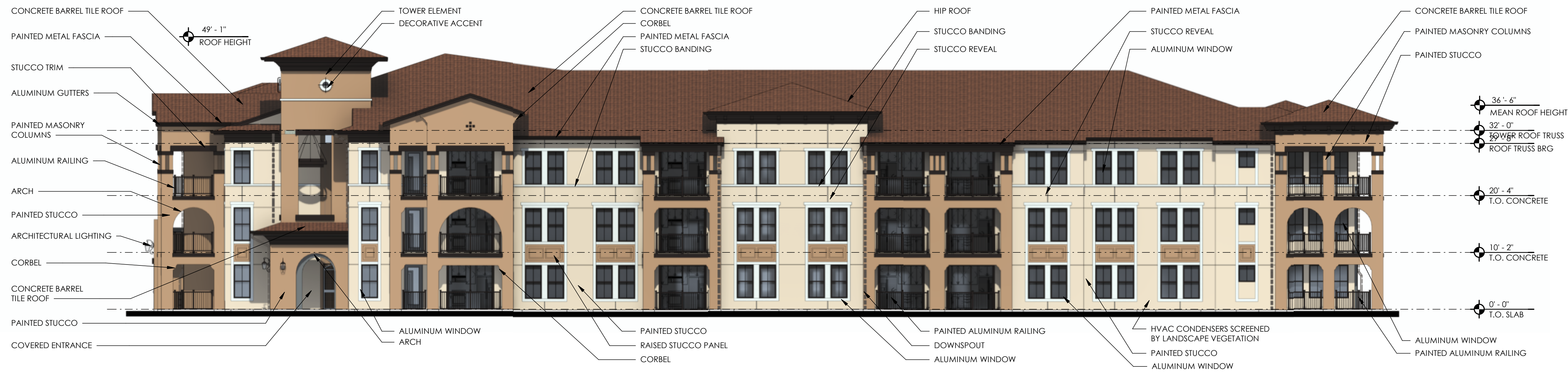
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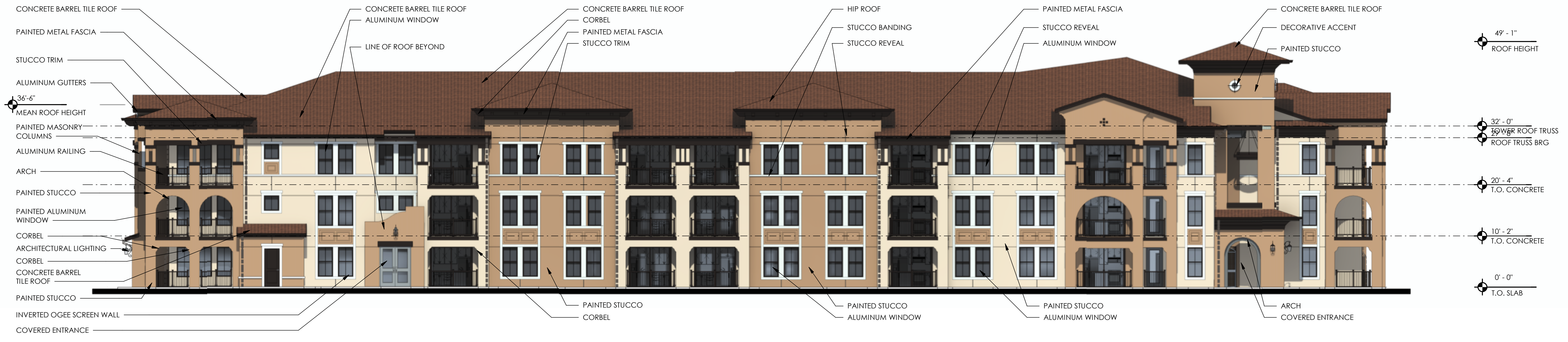
BUILDING TYPE I
 MIXED USE
 EXTERIOR
 ELEVATIONS

Sheet Number

A202

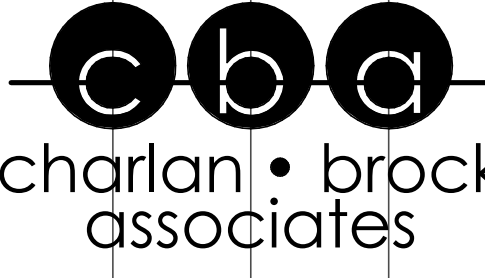


2 BUILDING TYPE I - RIGHT ELEVATION
 SCALE: 3/32" = 1'-0"



1 BUILDING TYPE I - FRONT ELEVATION
 SCALE: 3/32" = 1'-0"

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Sheet Title
BUILDING TYPE I
 EXTERIOR
 ELEVATIONS

Sheet Number
A203

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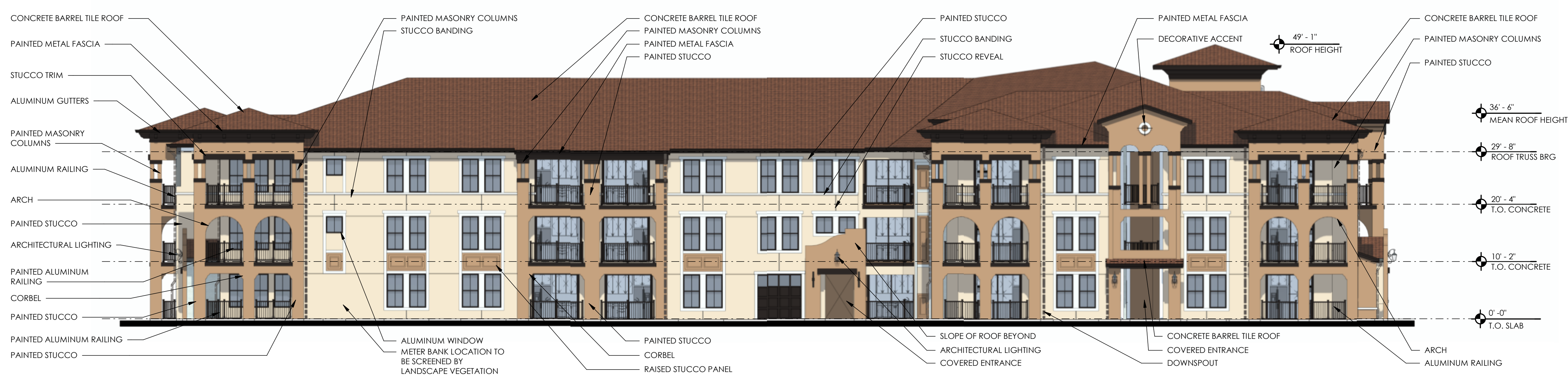
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**BUILDING TYPE I
 EXTERIOR
 ELEVATIONS**

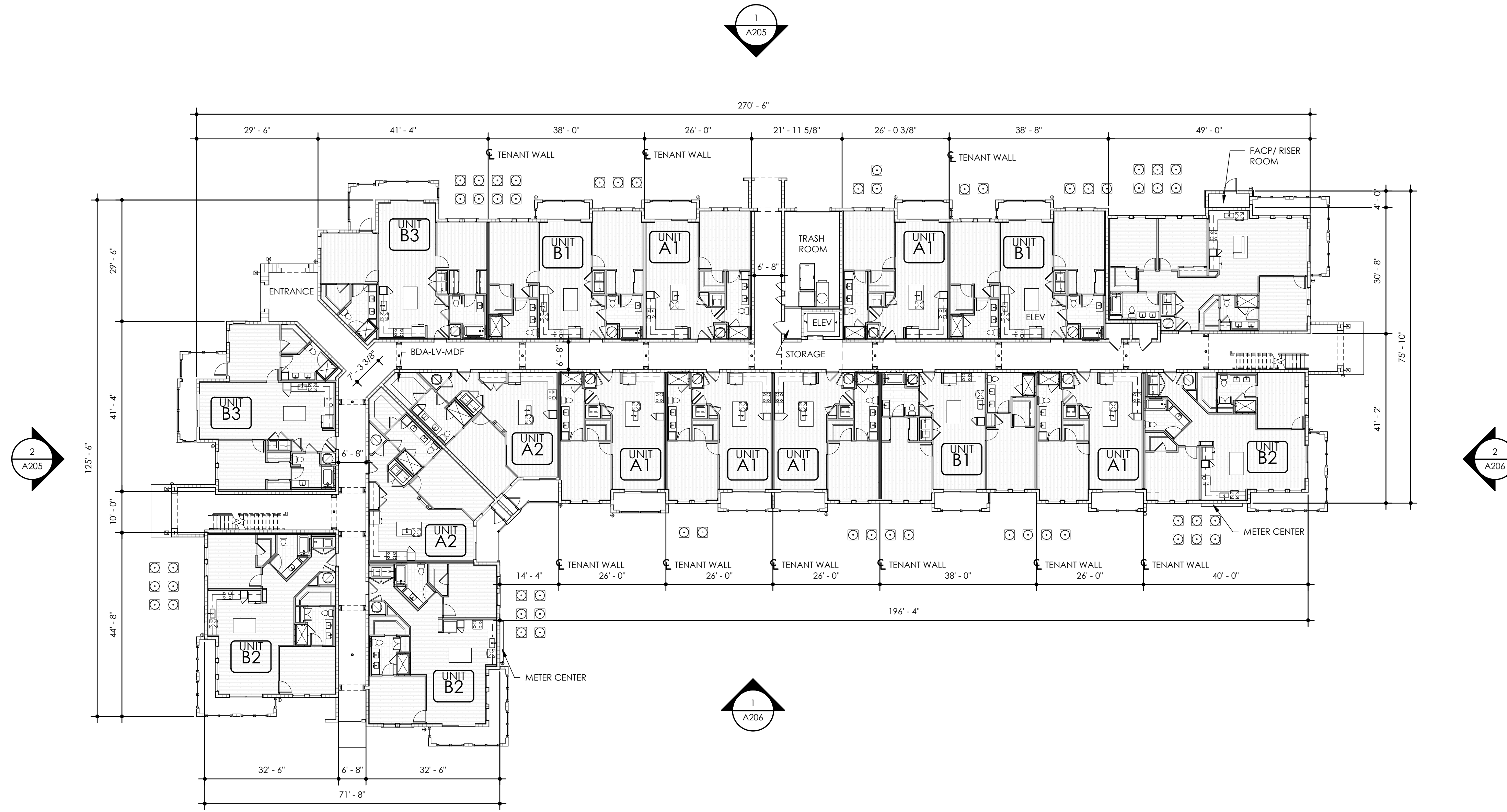
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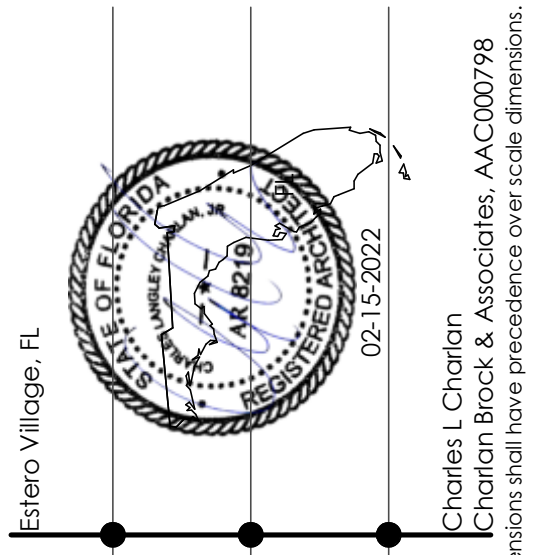
2 BUILDING TYPE I - LEFT ELEVATION
 SCALE: 3/32" = 1'-0"



1 BUILDING TYPE I - REAR ELEVATION
 SCALE: 3/32" = 1'-0"



1 BUILDING TYPE II - FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"



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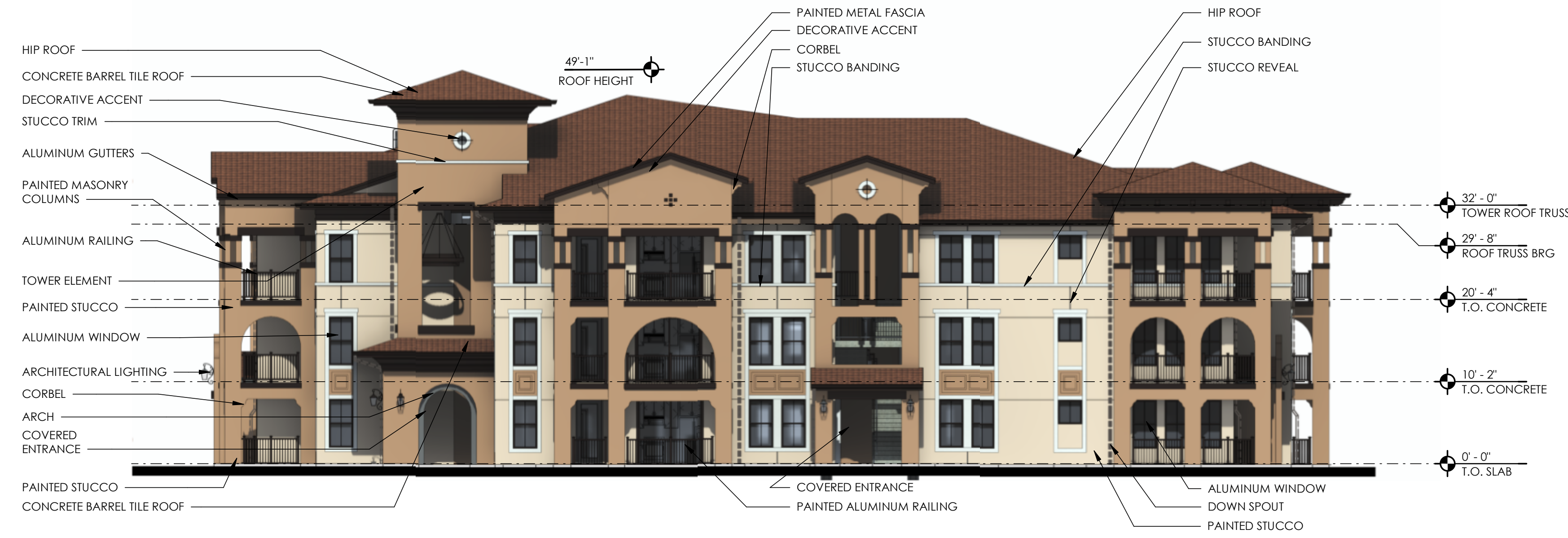
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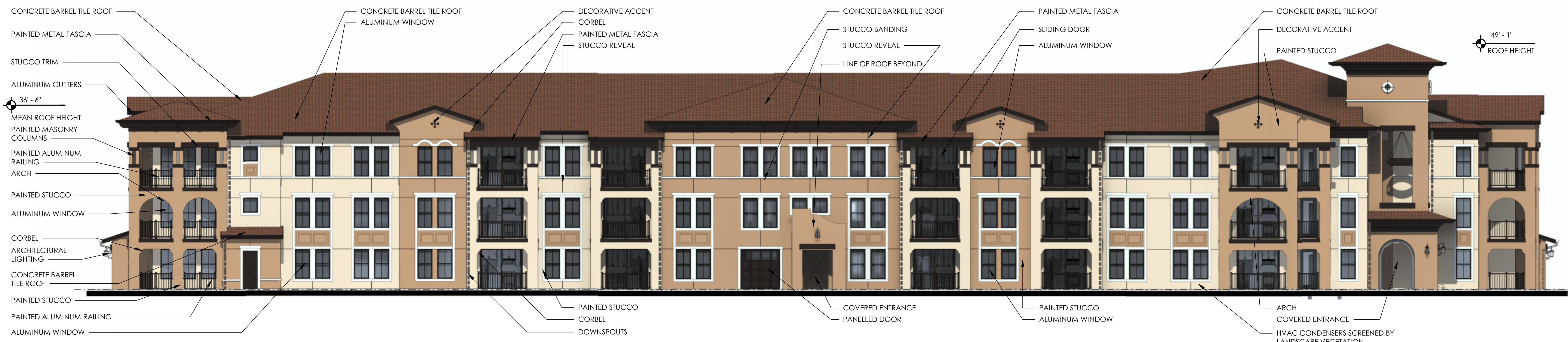
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**BUILDING TYPE II
FIRST FLOOR PLAN**

Sheet Number
A103

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2 BUILDING TYPE II - RIGHT ELEVATION
 SCALE: 3/32" = 1'-0"



1 BUILDING TYPE II - FRONT ELEVATION
 SCALE: 3/32" = 1'-0"

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Sheet Title
BUILDING TYPE II
 EXTERIOR
 ELEVATIONS

Sheet Number
A205



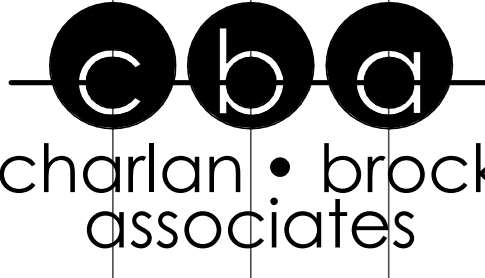
2 BUILDING TYPE - II LEFT ELEVATION
 SCALE: 3/32" = 1'-0"



1 BUILDING TYPE II - REAR ELEVATION
 SCALE: 3/32" = 1'-0"

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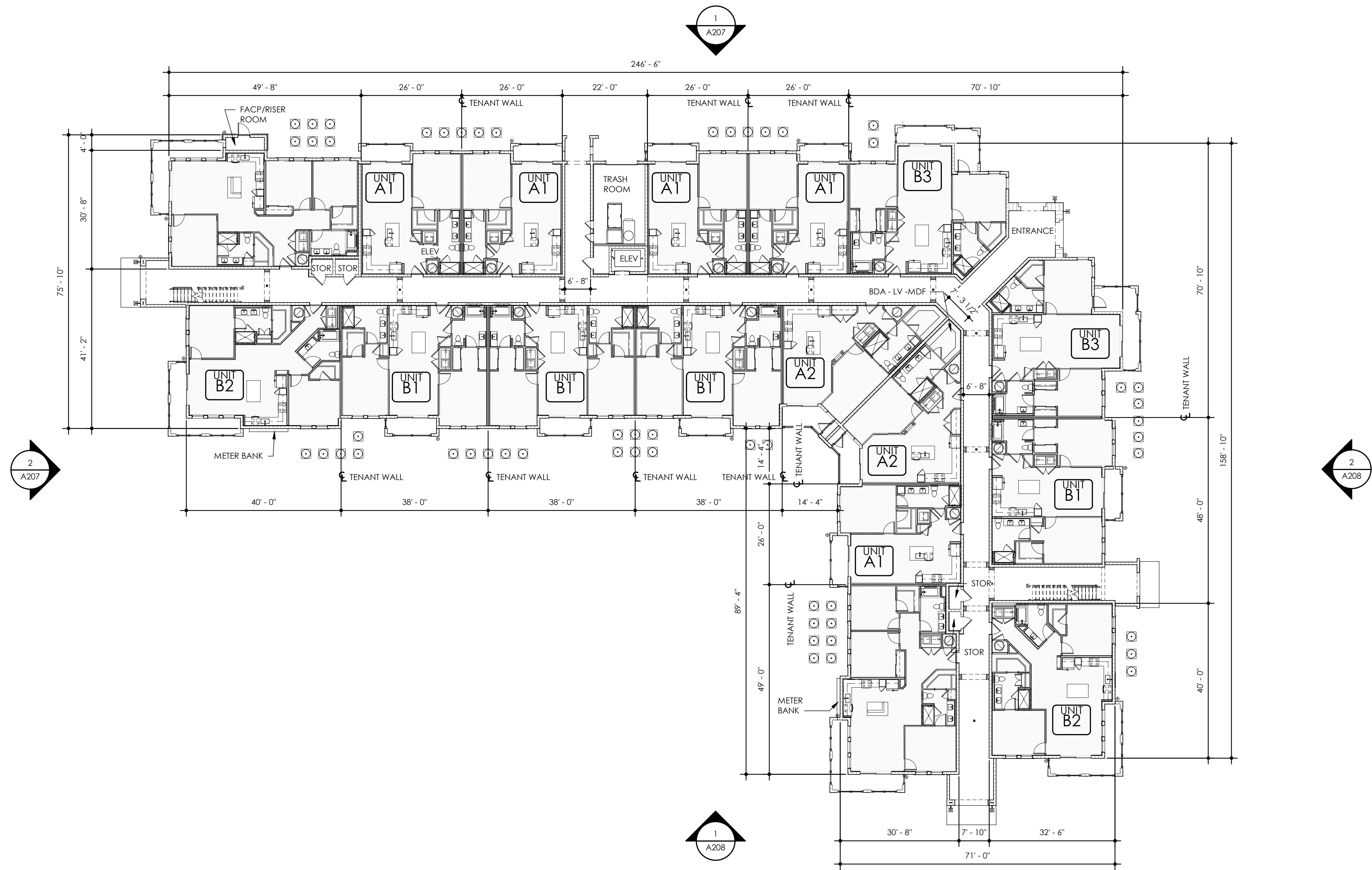
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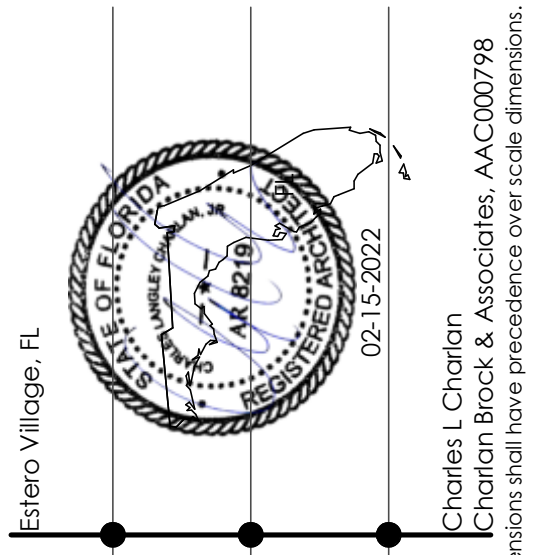
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Sheet Title
**BUILDING TYPE II
 EXTERIOR
 ELEVATIONS**

Sheet Number
A206



1 BUILDING TYPE III - FIRST FLOOR PLAN
 SCALE: 1/16" = 1'-0"



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Sheet Title
**BUILDING TYPE III
 FIRST FLOOR PLAN**

Sheet Number
A104

Charles L. Charlan
 Registered Professional Architect
 No. 12487
 State of Florida
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2 BUILDING TYPE III - RIGHT ELEVATION
 SCALE: 3/32" = 1'-0"



1 BUILDING TYPE III - FRONT ELEVATION
 SCALE: 3/32" = 1'-0"

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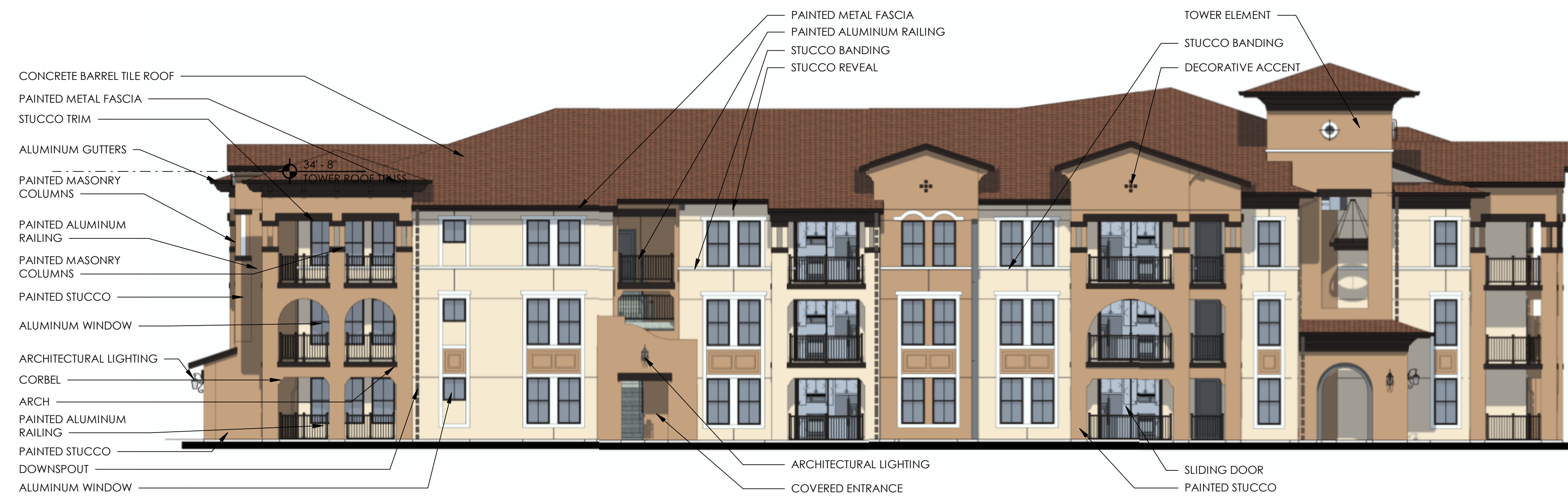
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Sheet Title
BUILDING TYPE III
 EXTERIOR
 ELEVATIONS

Sheet Number
A207



2 BUILDING TYPE III - LEFT ELEVATION
 SCALE: 3/32" = 1'-0"



1 BUILDING TYPE III - REAR ELEVATION
 SCALE: 3/32" = 1'-0"

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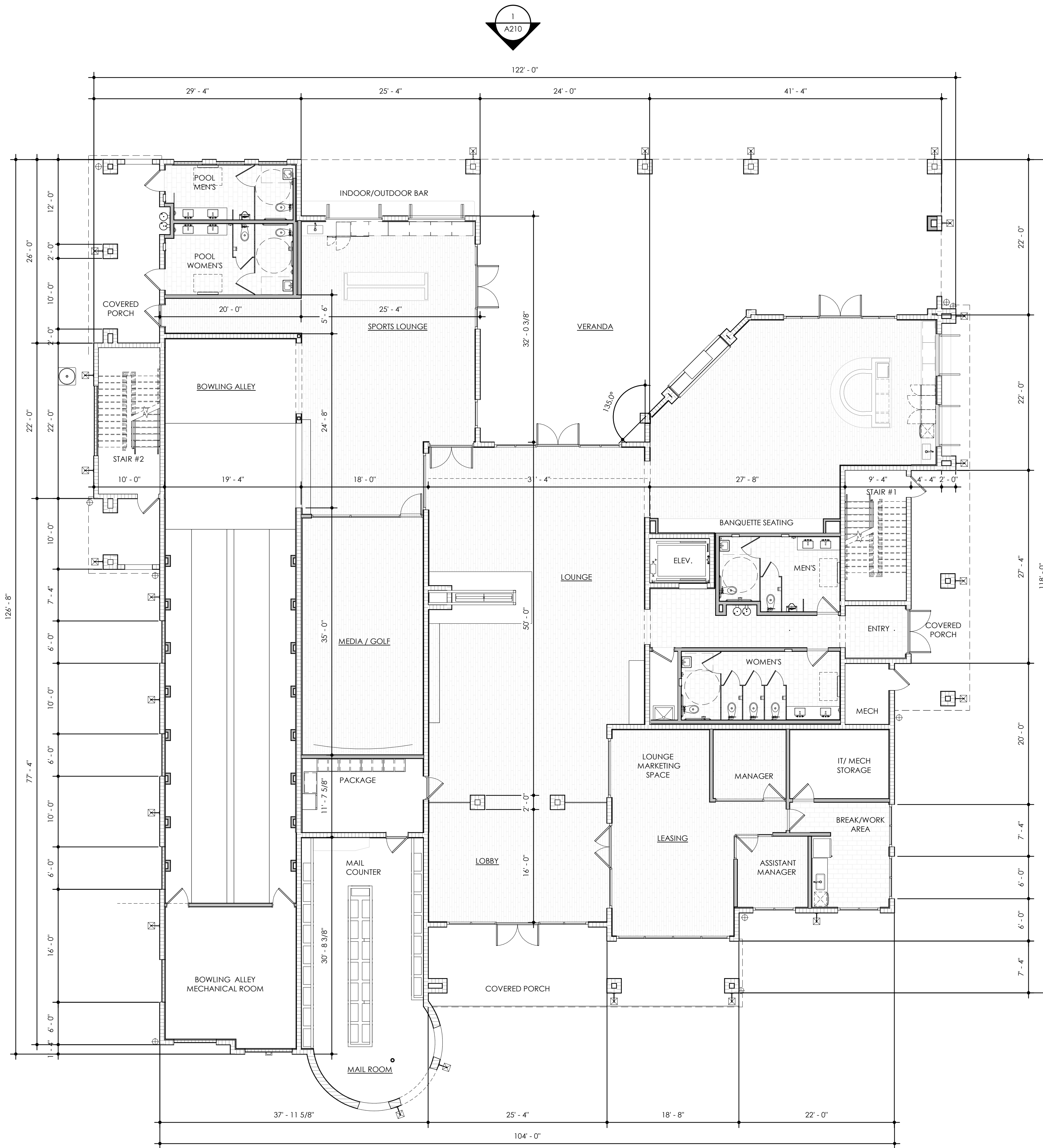


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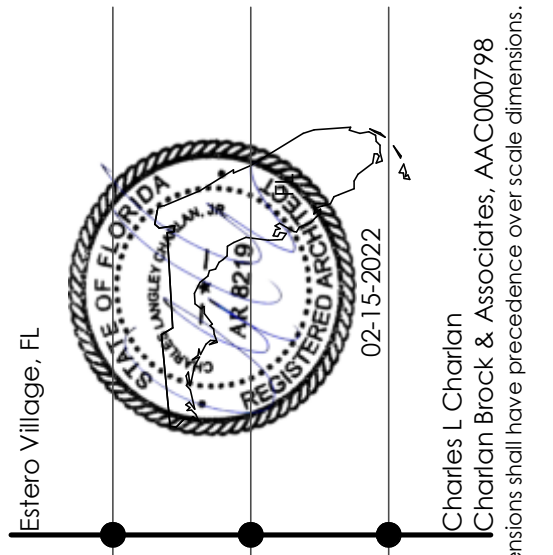
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**BUILDING TYPE III
 EXTERIOR
 ELEVATIONS**

Sheet Number
A208

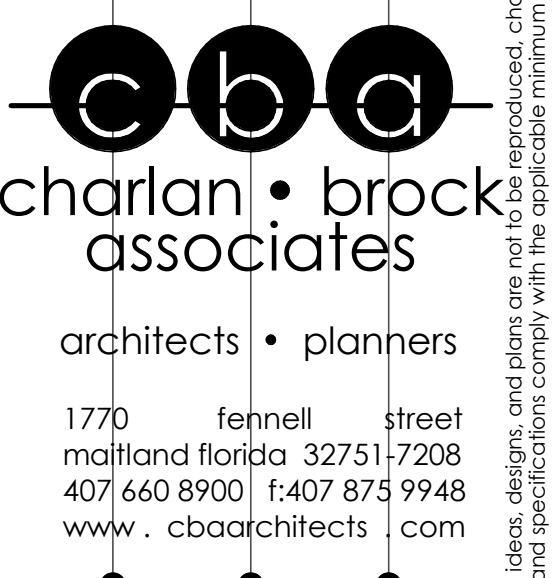


1 LEASING CENTER - FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



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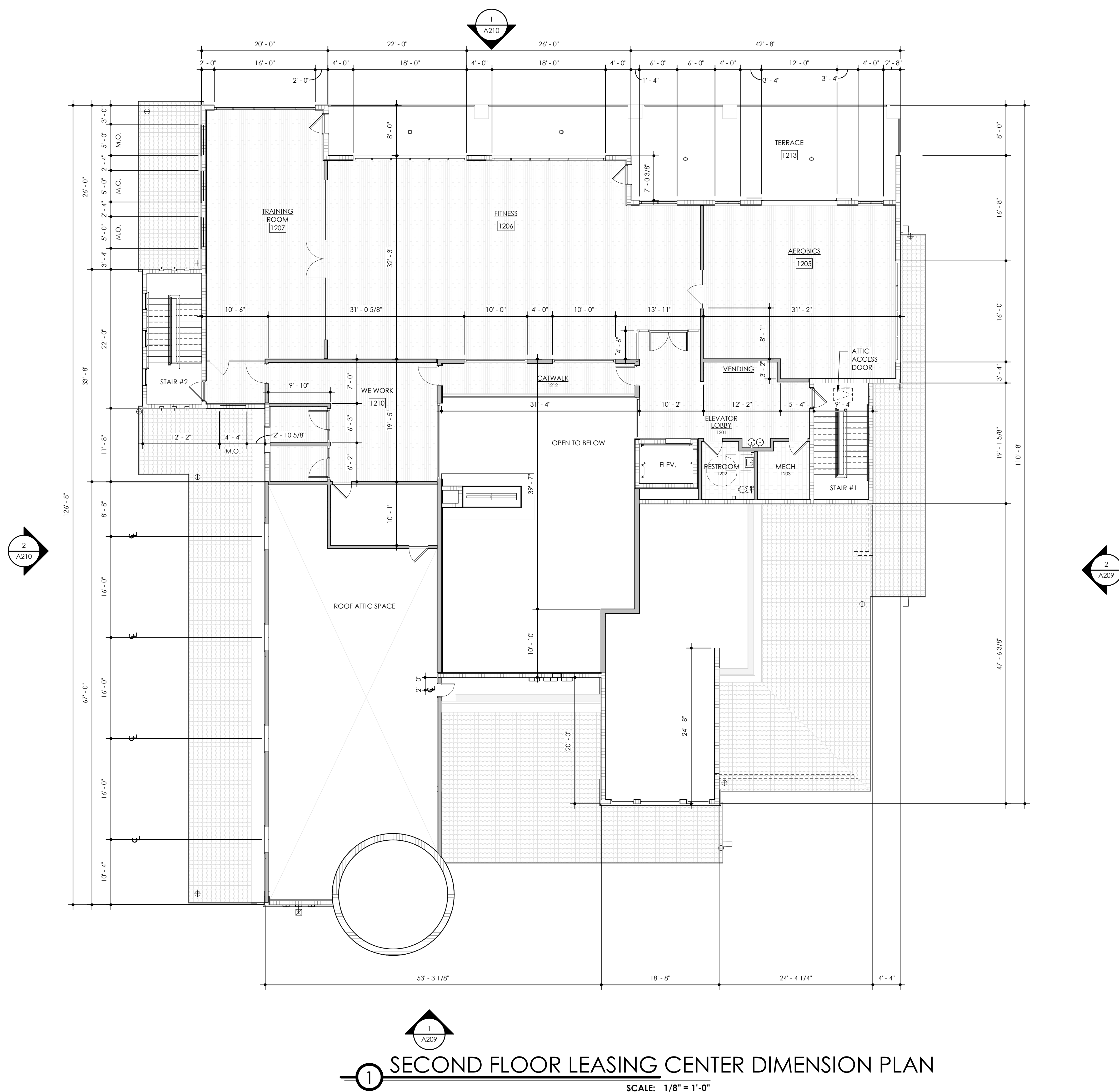
1770 fennell street
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407 660 8900 f:407 875 9948
www.cbaarchitects.com

date: 02-15-2022
job no: 4010.17
drawn by: MLP
reviewed by: CBA
issue history:
▲ Date

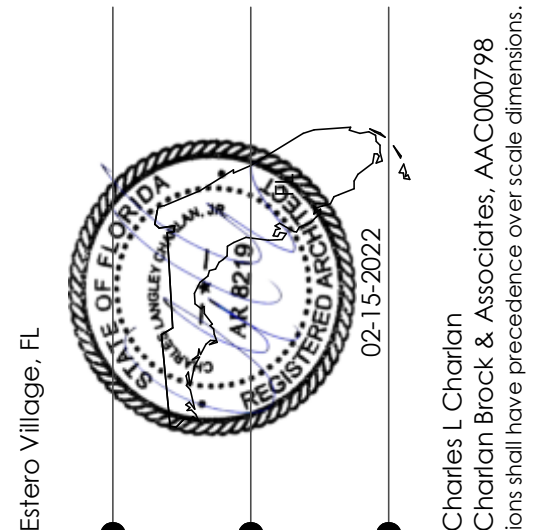
Sheet Title
**LEASING CENTER
FIRST FLOOR PLAN**

Sheet Number
A105

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1
SECOND FLOOR LEASING CENTER DIMENSION PLAN
 SCALE: 1/8" = 1'-0"



Estero Village, FL
 Charles L. Charlan
 Charlan Brock & Associates, A.A.C.000798
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Corsa at Estero Crossings Village of Estero, FL



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 job no: **4010.17**
 drawn by: **MLP**
 reviewed by: **CBA**
 issue history:
 ▲ Date

Sheet Title
**LEASING CENTER
 SECOND FLOOR
 PLAN**

Sheet Number
A105.1

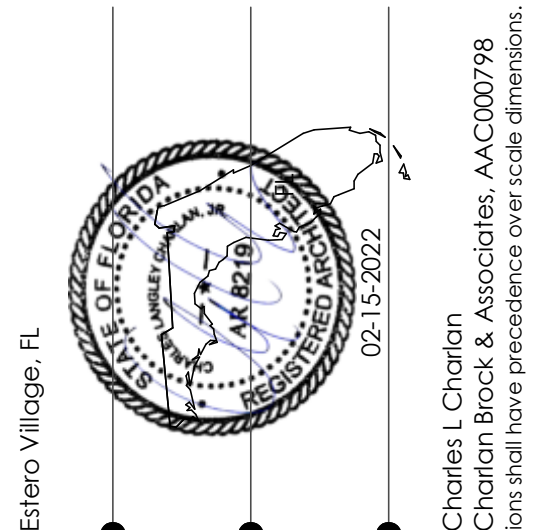
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2 LEASING CENTER - LEFT ELEVATION
SCALE: 1/8" = 1'-0"



1 LEASING CENTER - REAR ELEVATION
SCALE: 1/8" = 1'-0"



Corsa at Estero Crossings
Village of Estero, FL



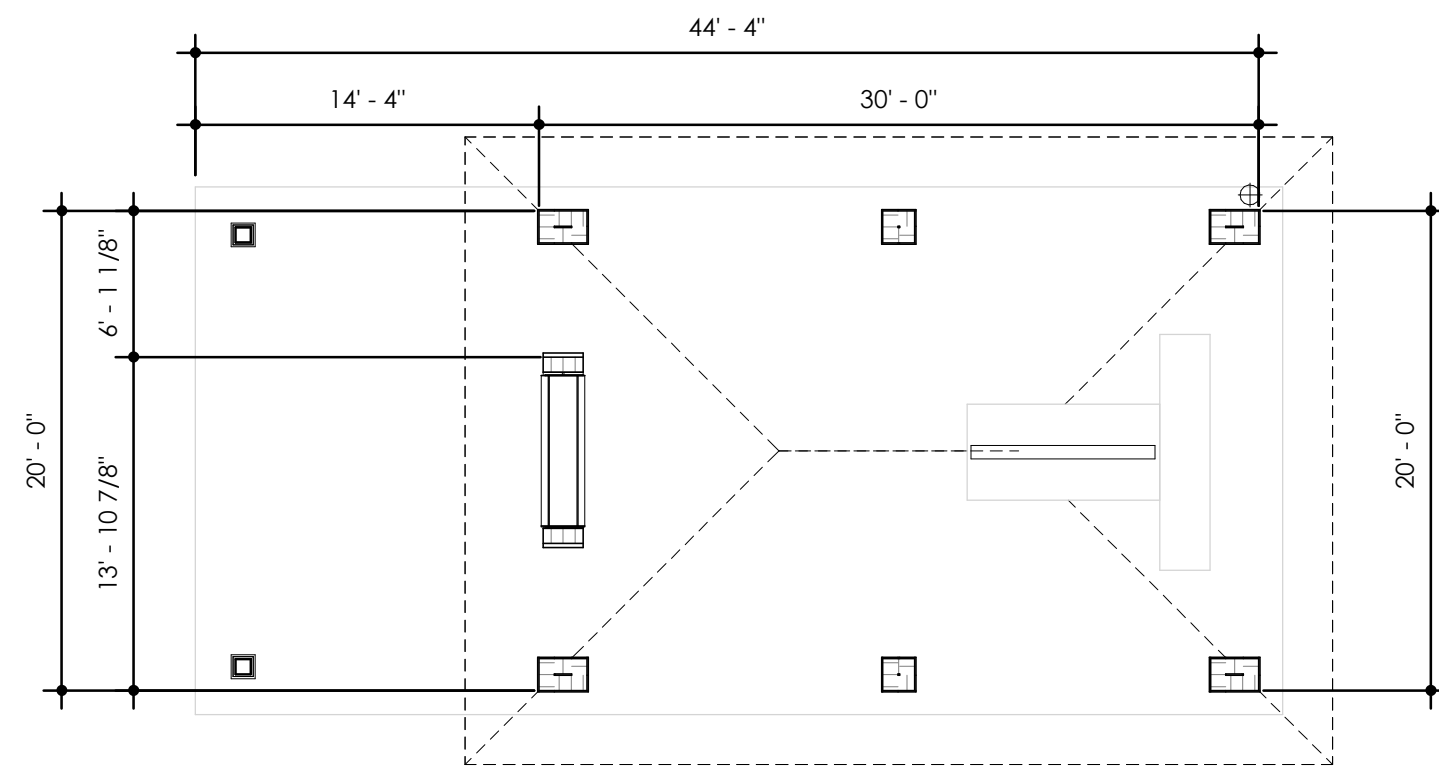
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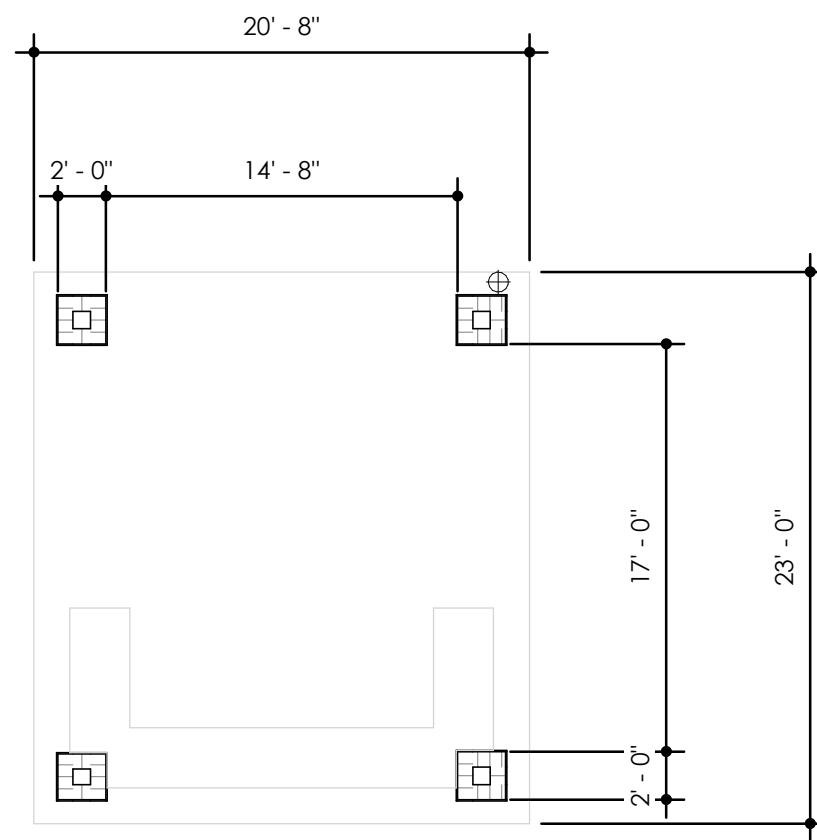
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Sheet Title
**LEASING CENTER
EXTERIOR
ELEVATIONS**

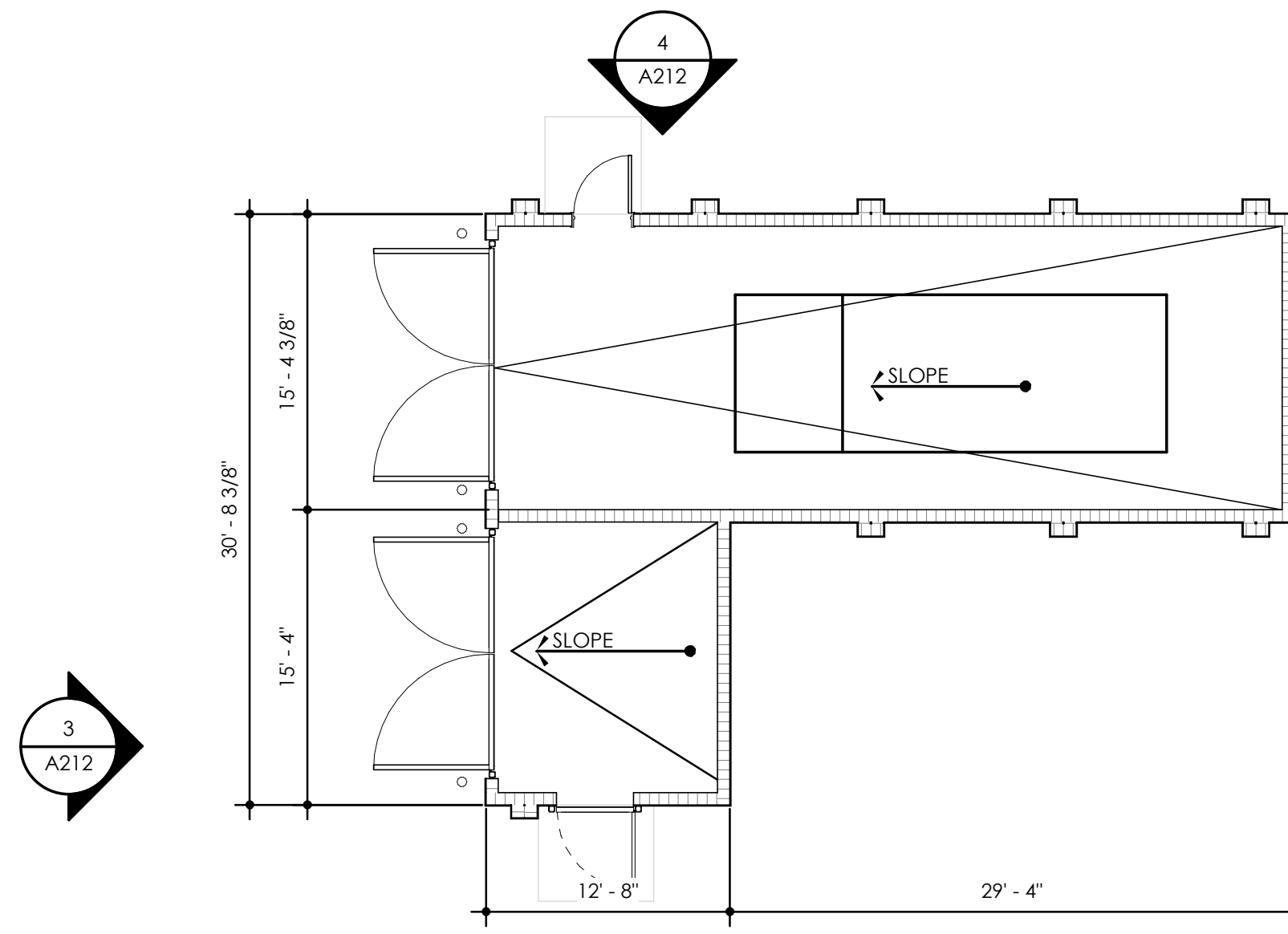
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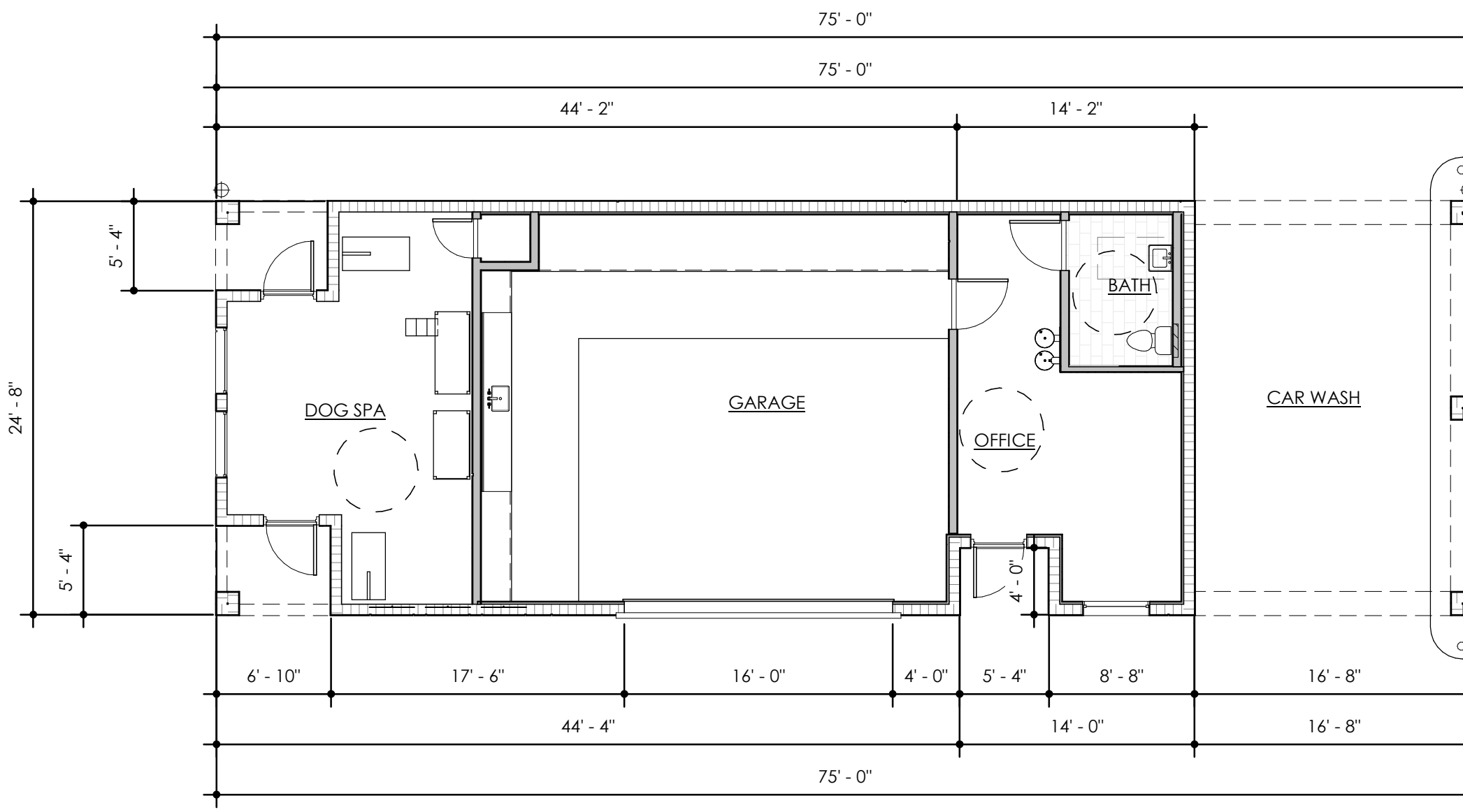
5 BBQ PAVILION - FLOOR PLAN
SCALE: 1/8" = 1'-0"



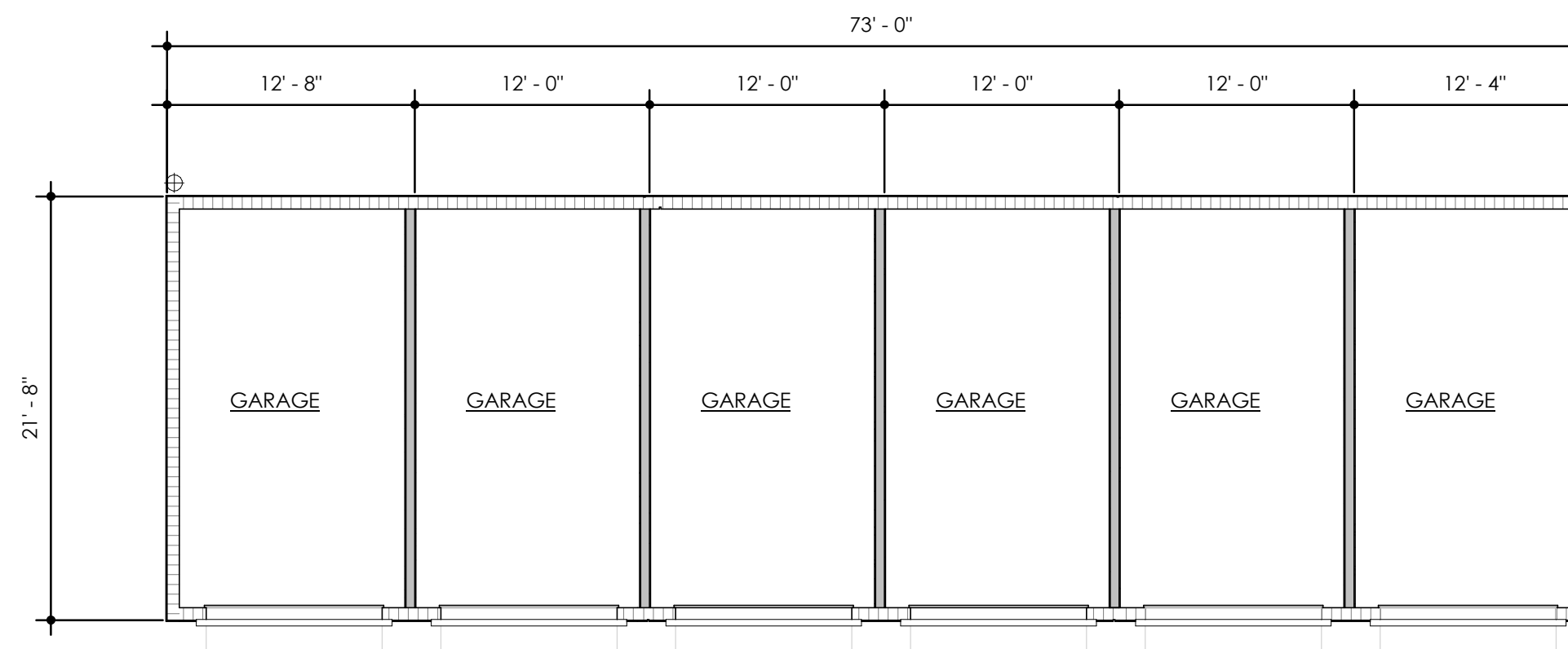
4 POOL PAVILION - FLOOR PLAN
SCALE: 1/8" = 1'-0"



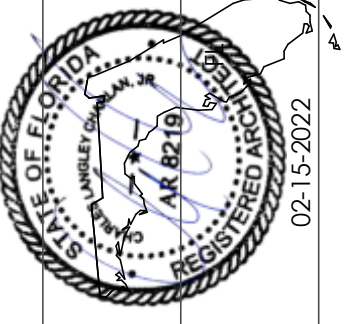
3 TRASH COMPACTOR - FLOOR PLAN
SCALE: 1/8" = 1'-0"



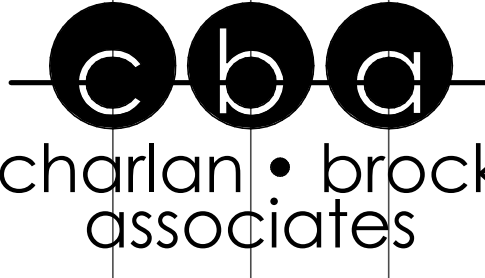
2 MAINTENANCE BUILDING - FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 6 BAY GARAGE - FLOOR PLAN
SCALE: 1/8" = 1'-0"



Estero Village, FL
Corsa at Estero Crossings
Village of Estero, FL



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Sheet Title
AMENITY FLOOR PLAN

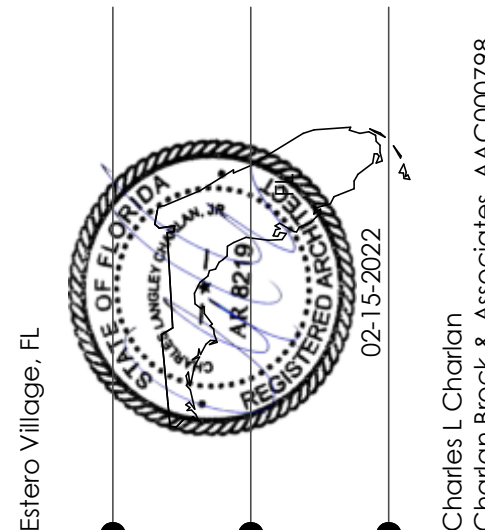
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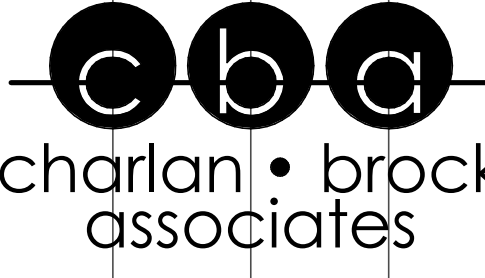
① GARAGE 6 BAY - FRONT ELEVATION
SCALE: 3/16" = 1'-0"



② MAINTENANCE BUILDING - FRONT ELEVATION
SCALE: 3/16" = 1'-0"



Estero Village, FL
Corsa at Estero Crossings
Village of Estero, FL



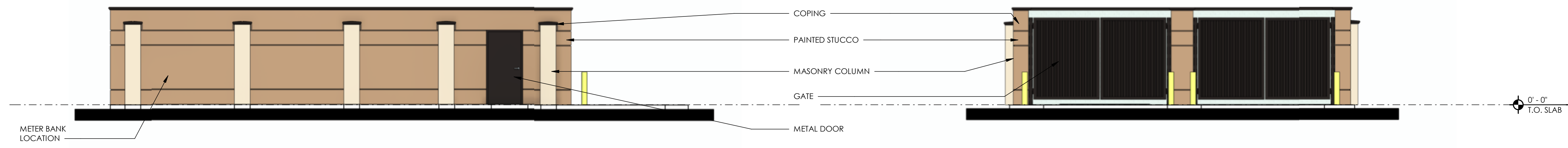
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Sheet Title
AMENITY
EXTERIOR
ELEVATIONS

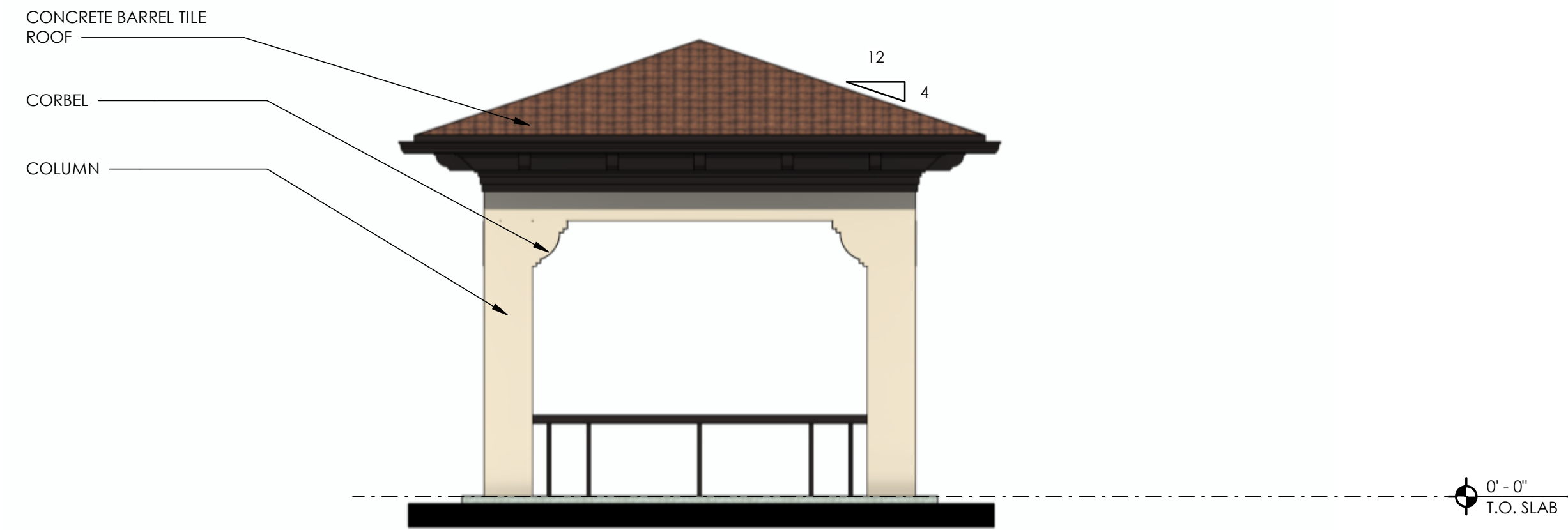
Sheet Number
A211

Charles L. Charlton
Charlan Brock & Associates, A.A.C.000798
I am a duly licensed professional architect in the state of Florida. I have no pending or proposed disciplinary actions against me. I have no pending or proposed disciplinary actions against me. I have no pending or proposed disciplinary actions against me.

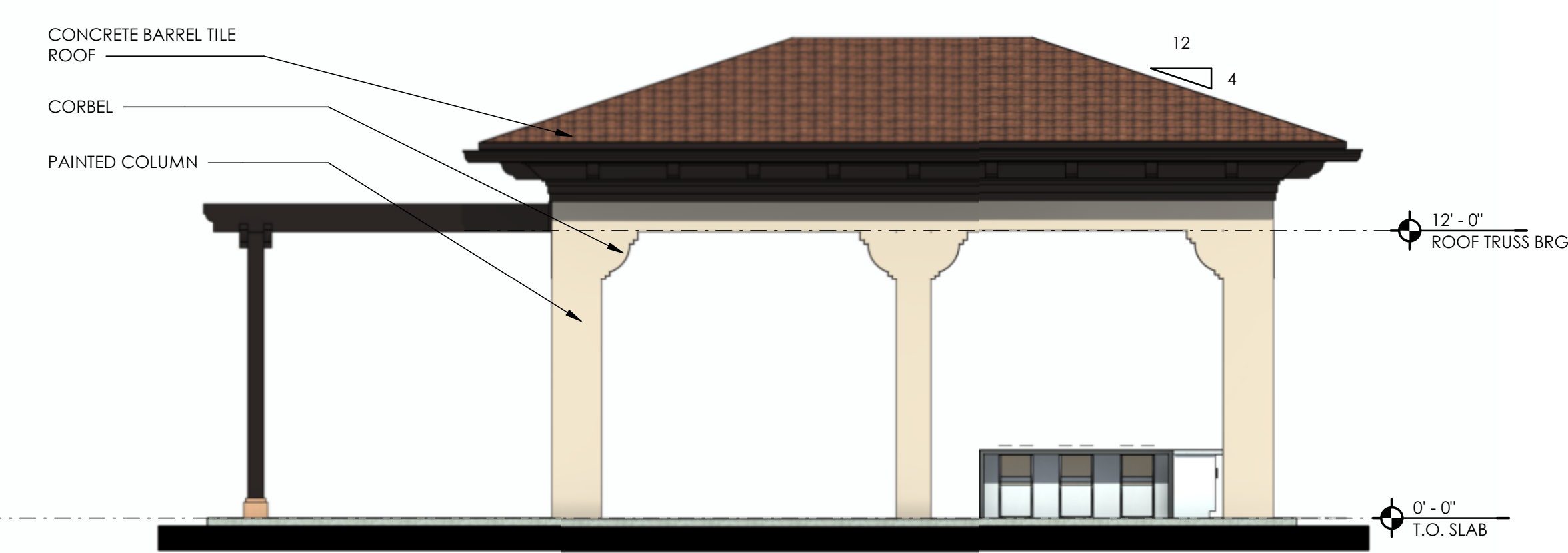


4 TRASH COMPACTOR - FRONT ELEVATION
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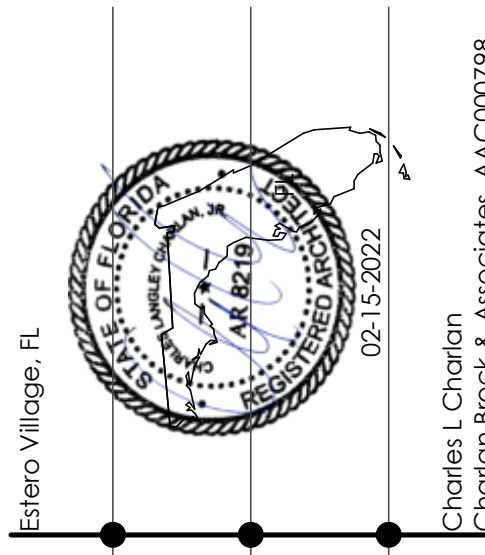
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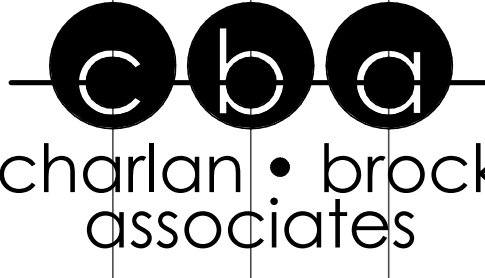
2 POOL PAVILION - FRONT ELEVATION
SCALE: 3/16" = 1'-0"



1 BBQ PAVILION - FRONT ELEVATION
SCALE: 3/16" = 1'-0"



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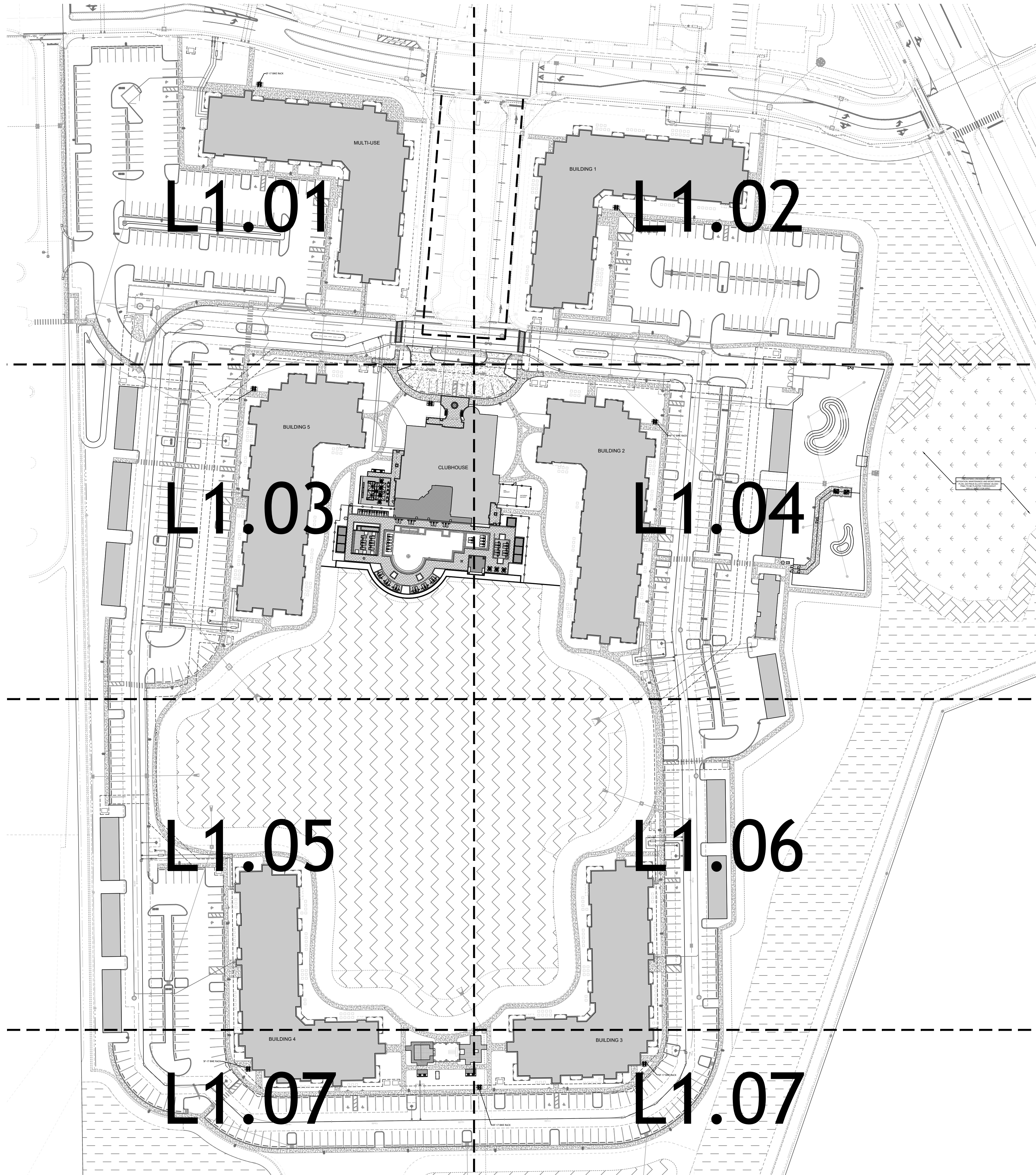
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Sheet Title
**AMENITY
EXTERIOR
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A212



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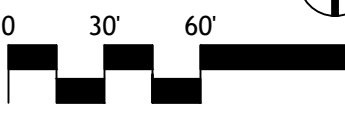
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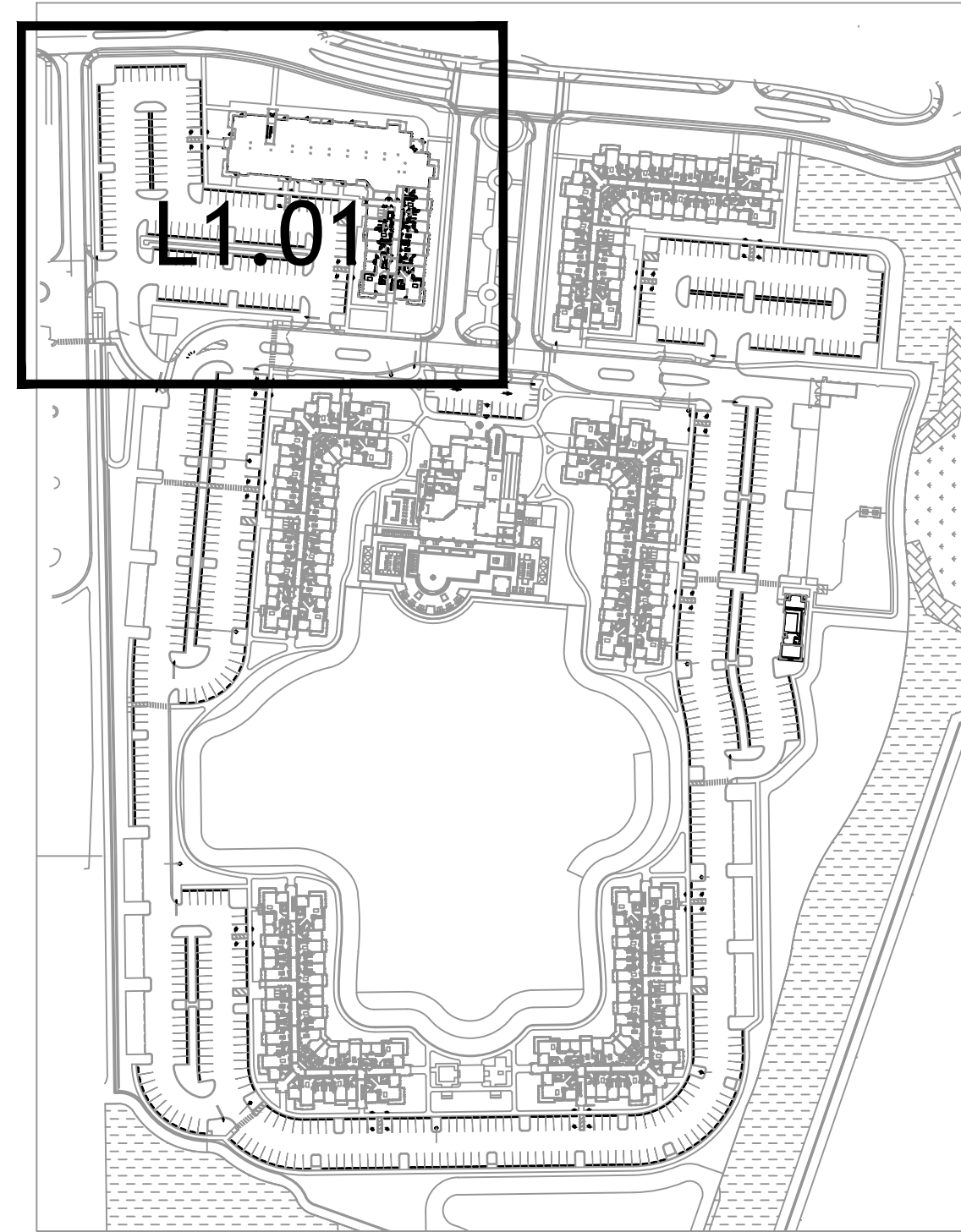
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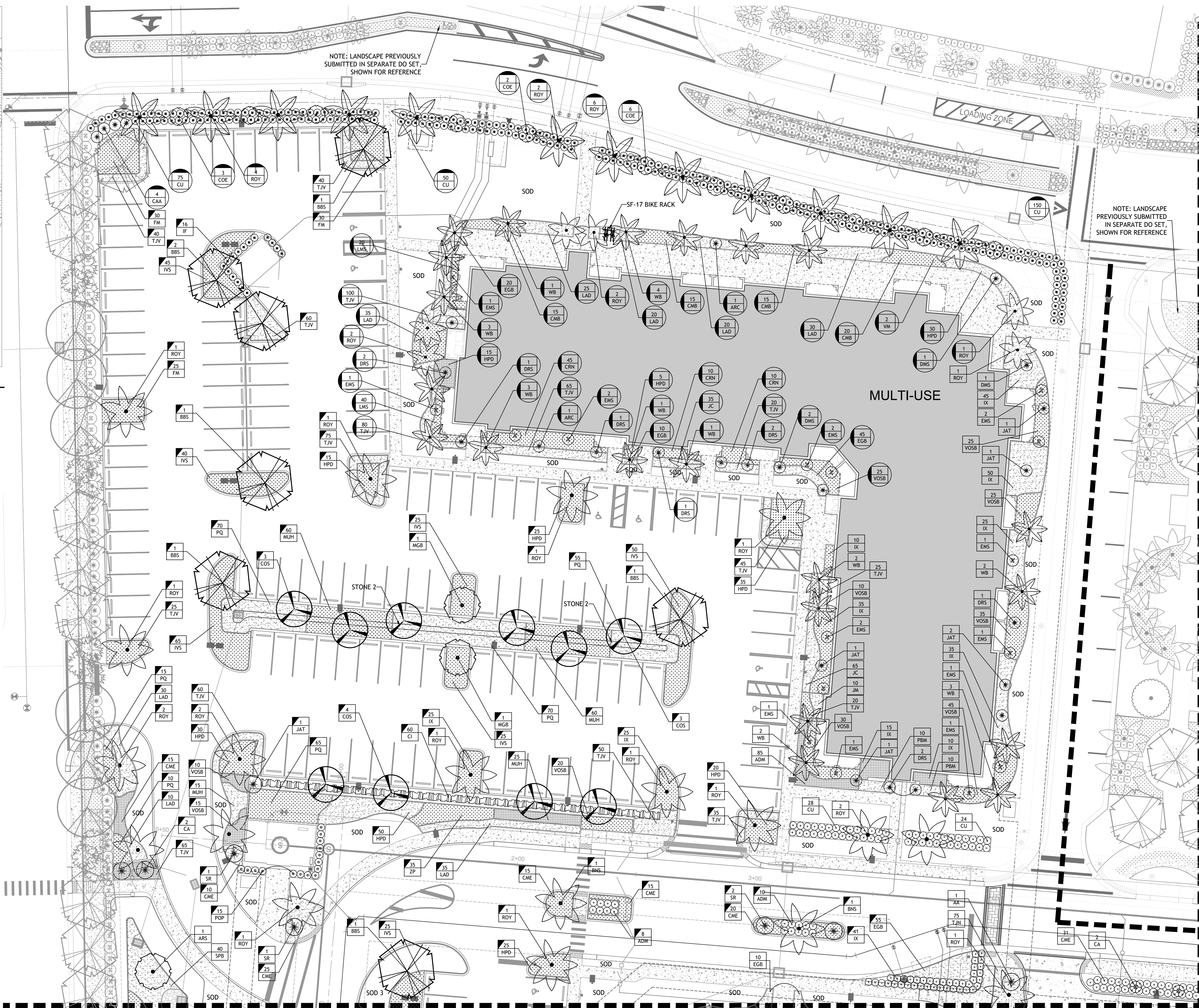


**OVERALL
LANDSCAPE
PLAN**

L1.00



1 SITE KEY
SCALE: N/A



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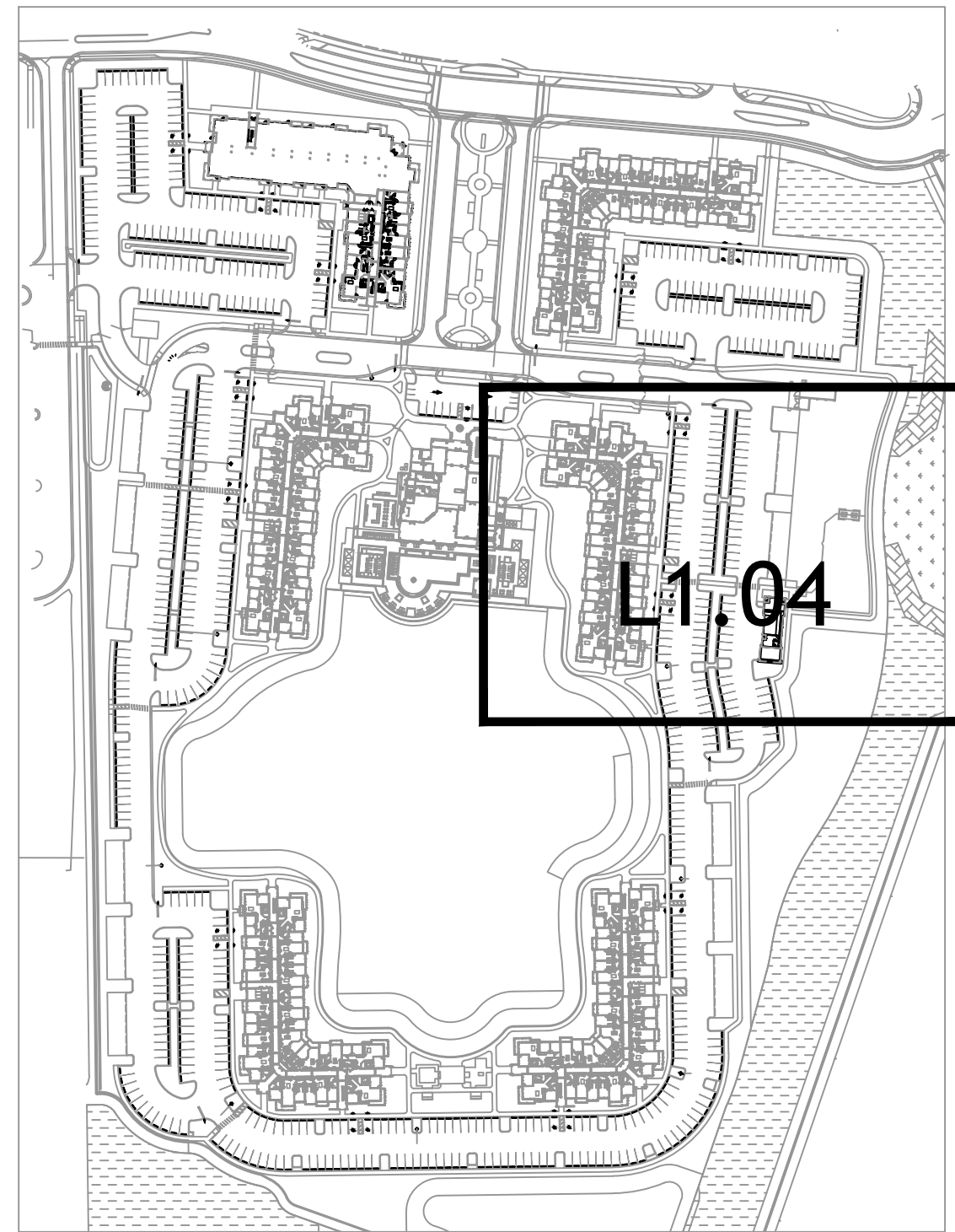
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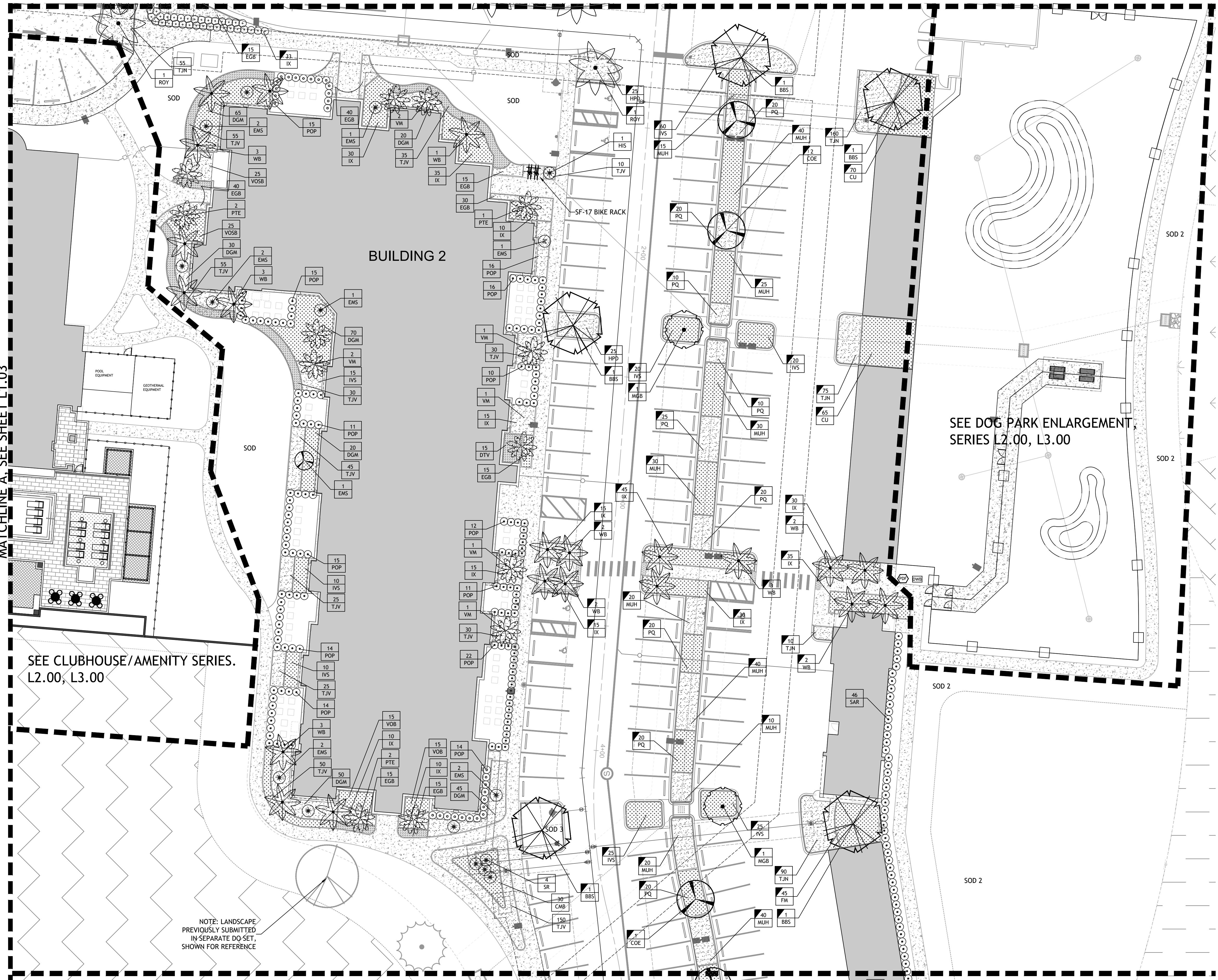
LANDSCAPE
DEVELOPMENT
PLAN

L1.01

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MATCHLINE B, SEE SHEET L1.02



MATCHLINE C, SEE SHEET L1.06

1 SITE KEY
SCALE: N/A

MATCHLINE A, SEE SHEET L1.03

SEE CLUBHOUSE/AMENITY SERIES.
L2.00, L3.00

SEE DOG PARK ENLARGEMENT,
SERIES L2.00, L3.00

NOTE: LANDSCAPE
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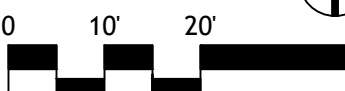
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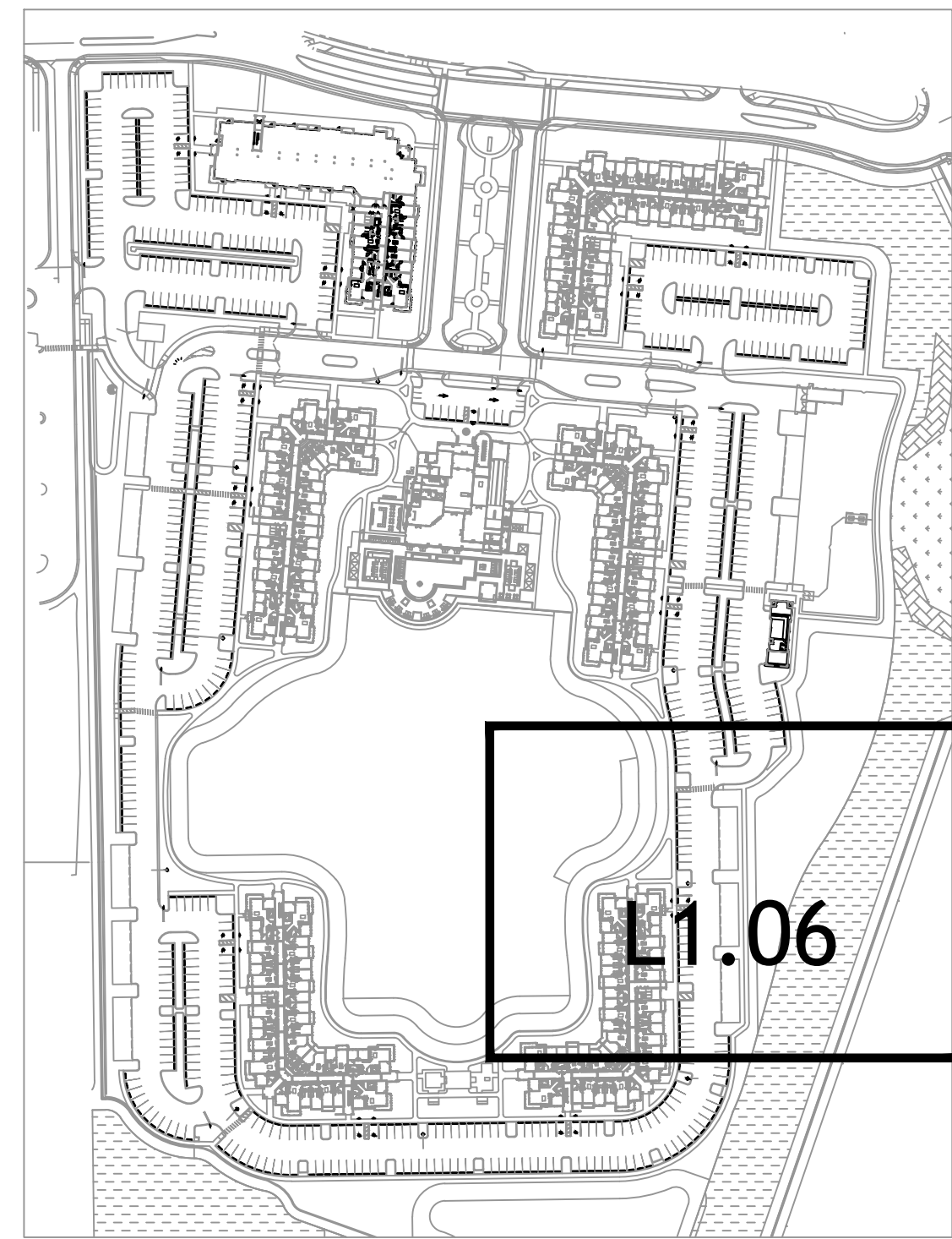
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LANDSCAPE
DEVELOPMENT
PLAN

L1.04

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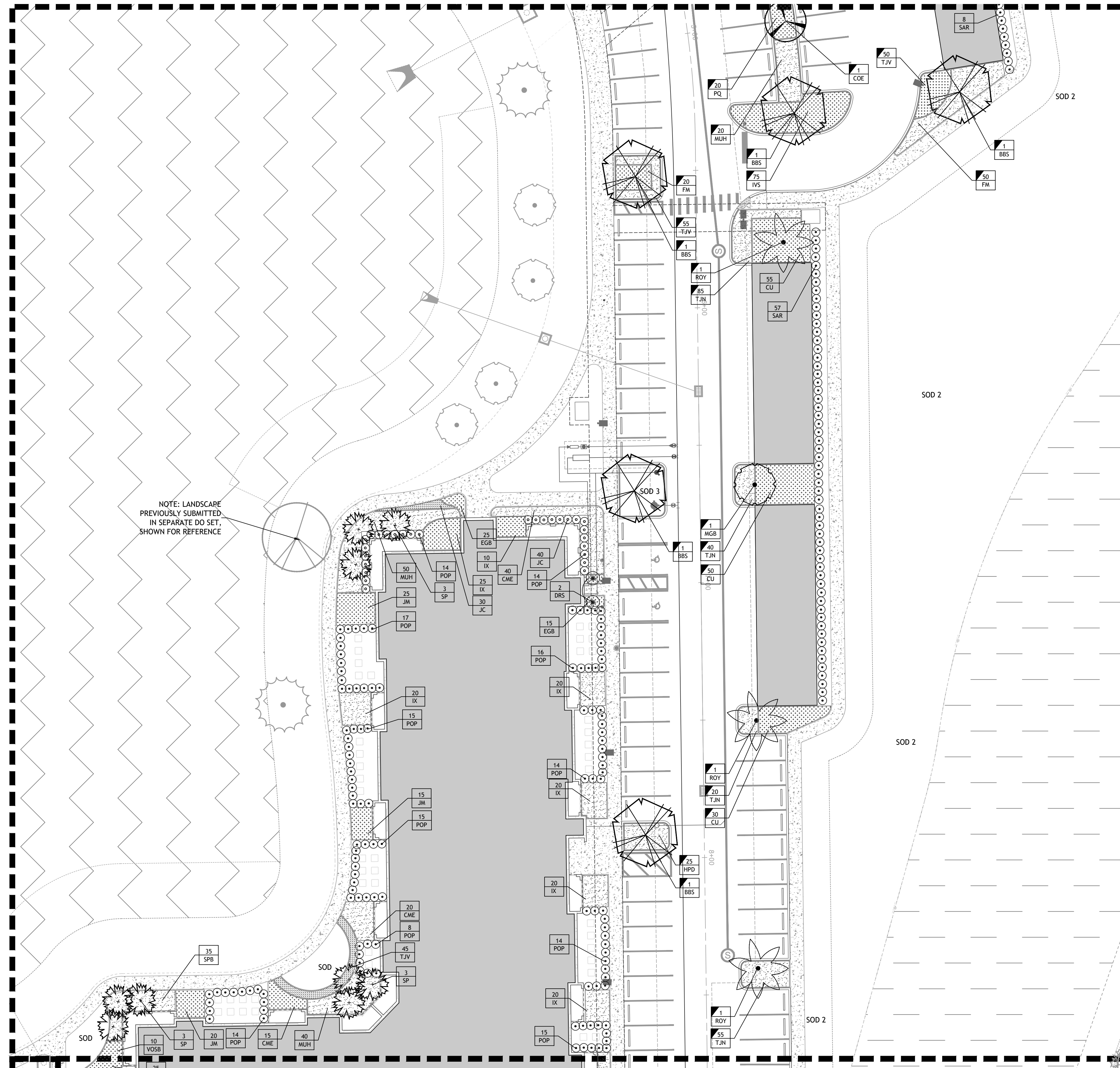


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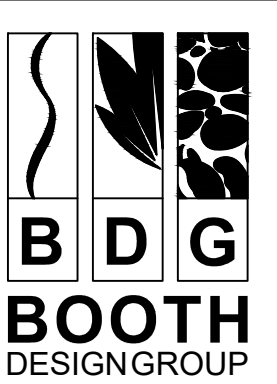
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MATCHLINE A, SEE SHEET L1.05

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MATCHLINE D, SEE SHEET L1.07



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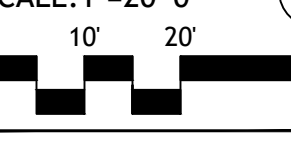
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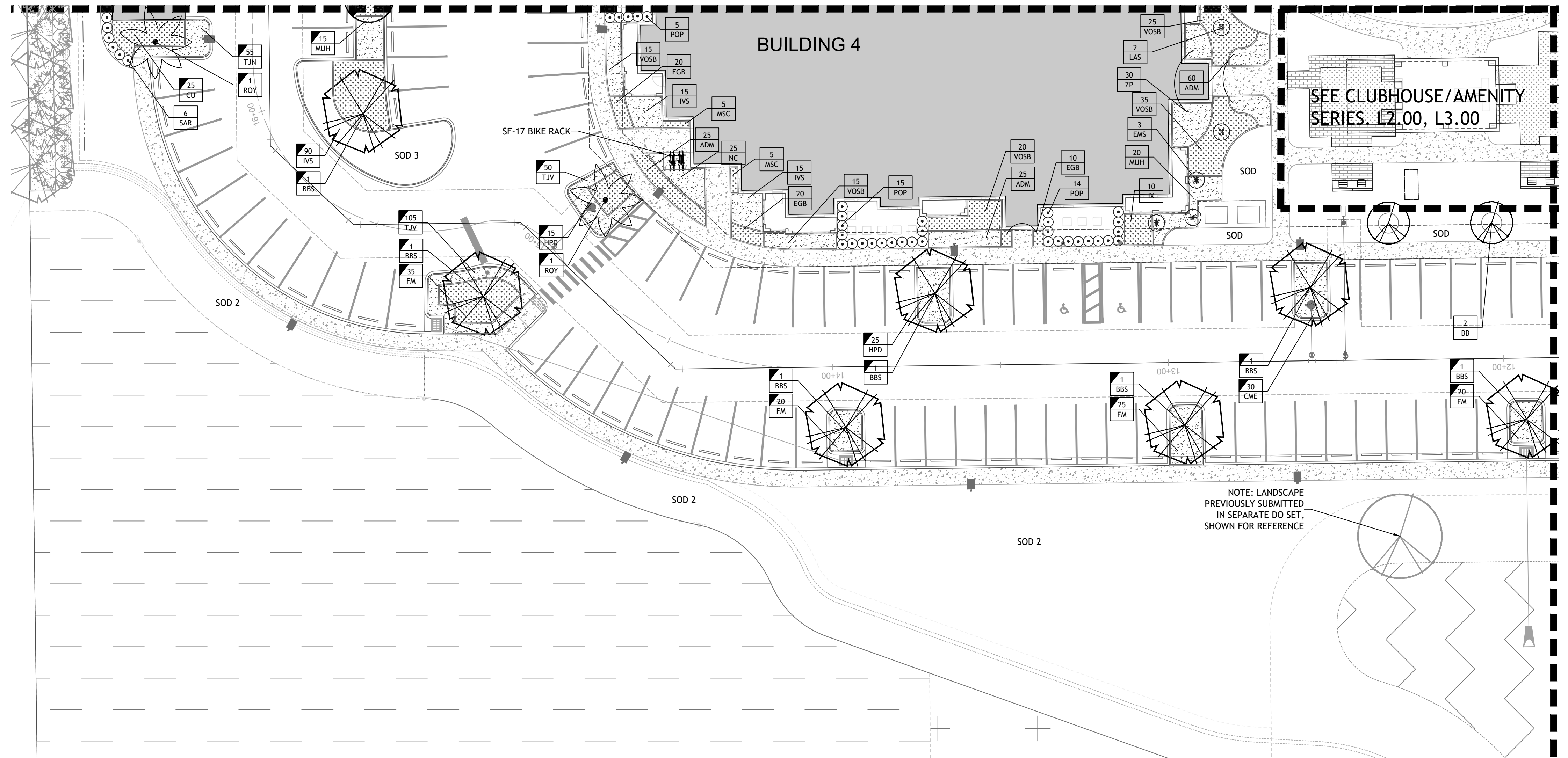


LANDSCAPE
DEVELOPMENT
PLAN

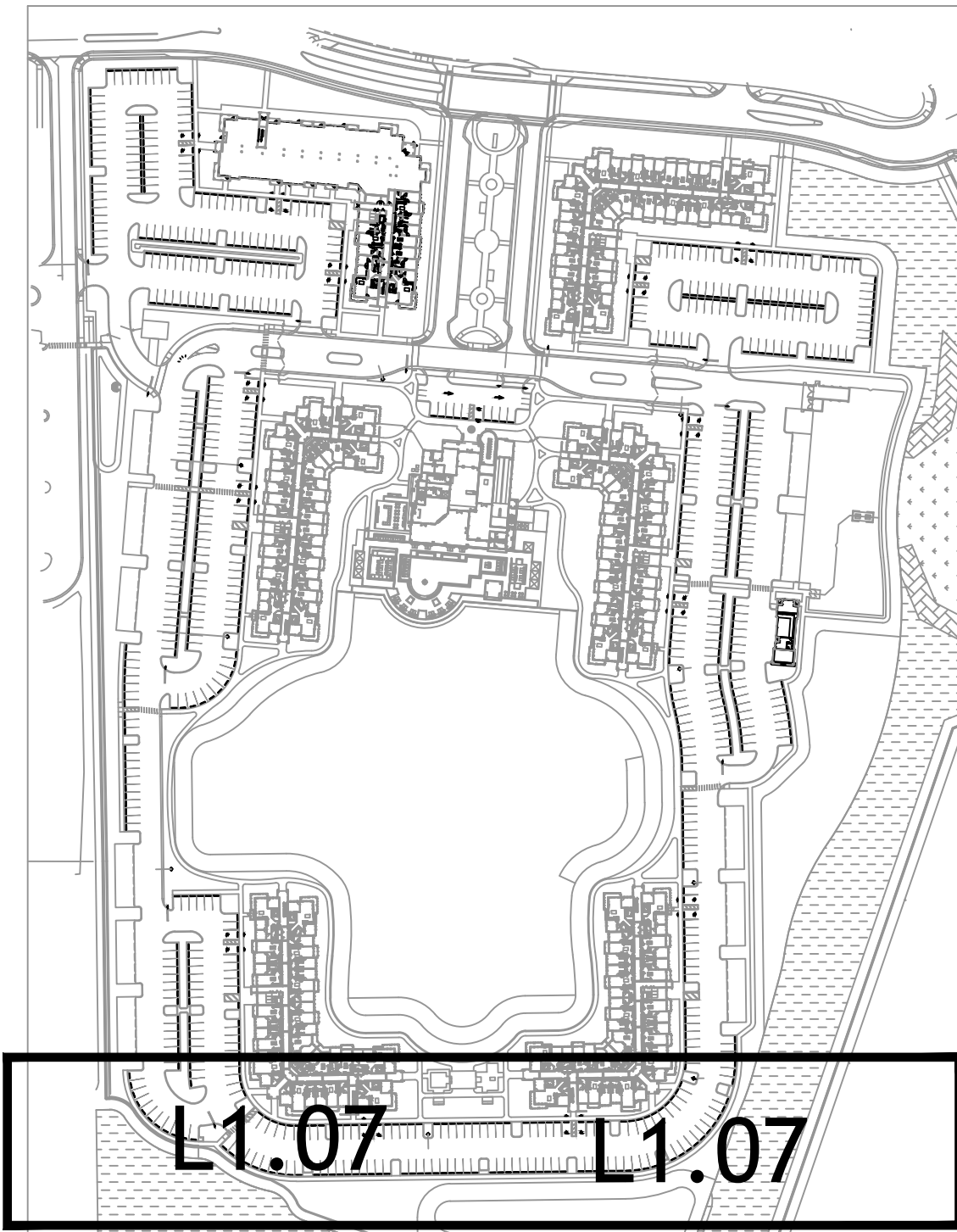
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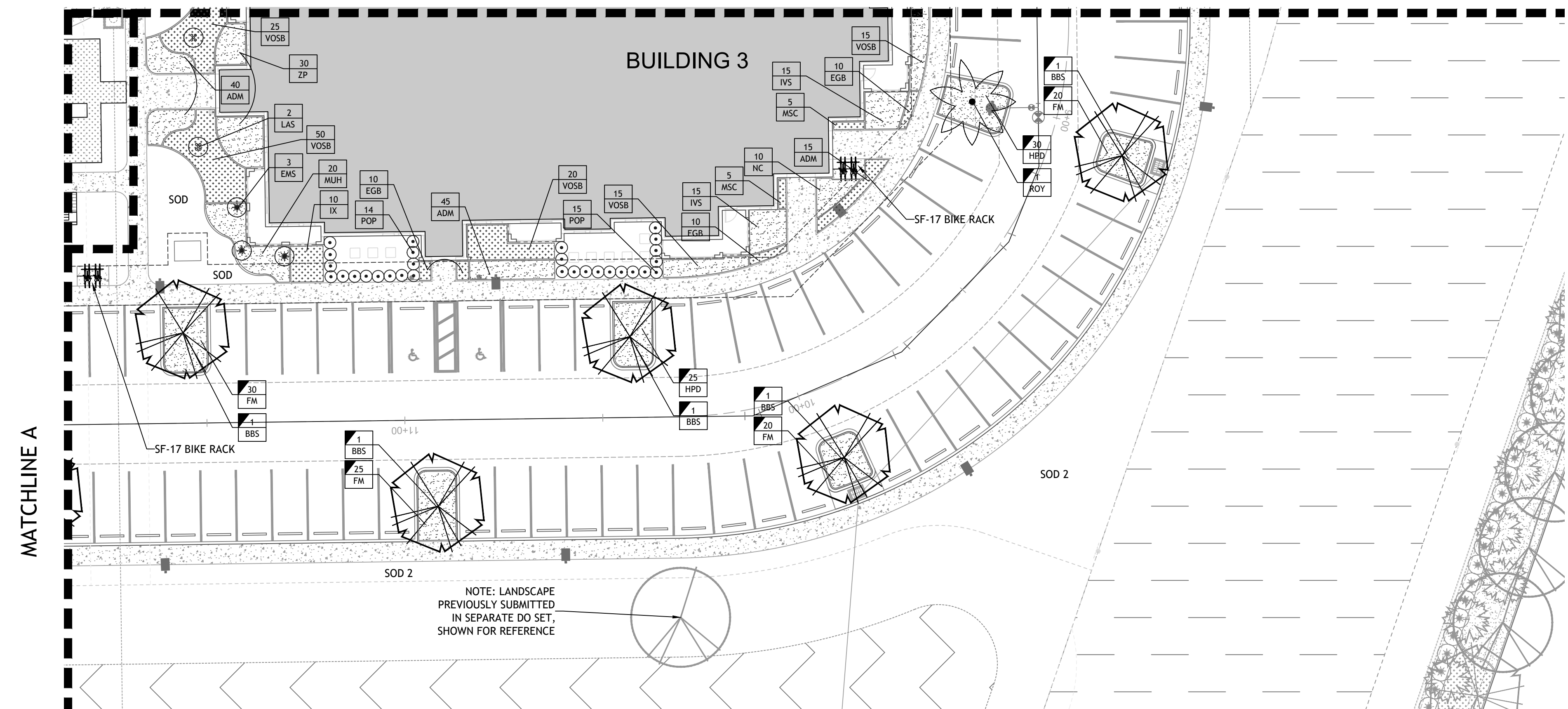


MATCHLINE A



1 SITE KEY
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MATCHLINE D, SEE SHEET L1.06



MATCHLINE A



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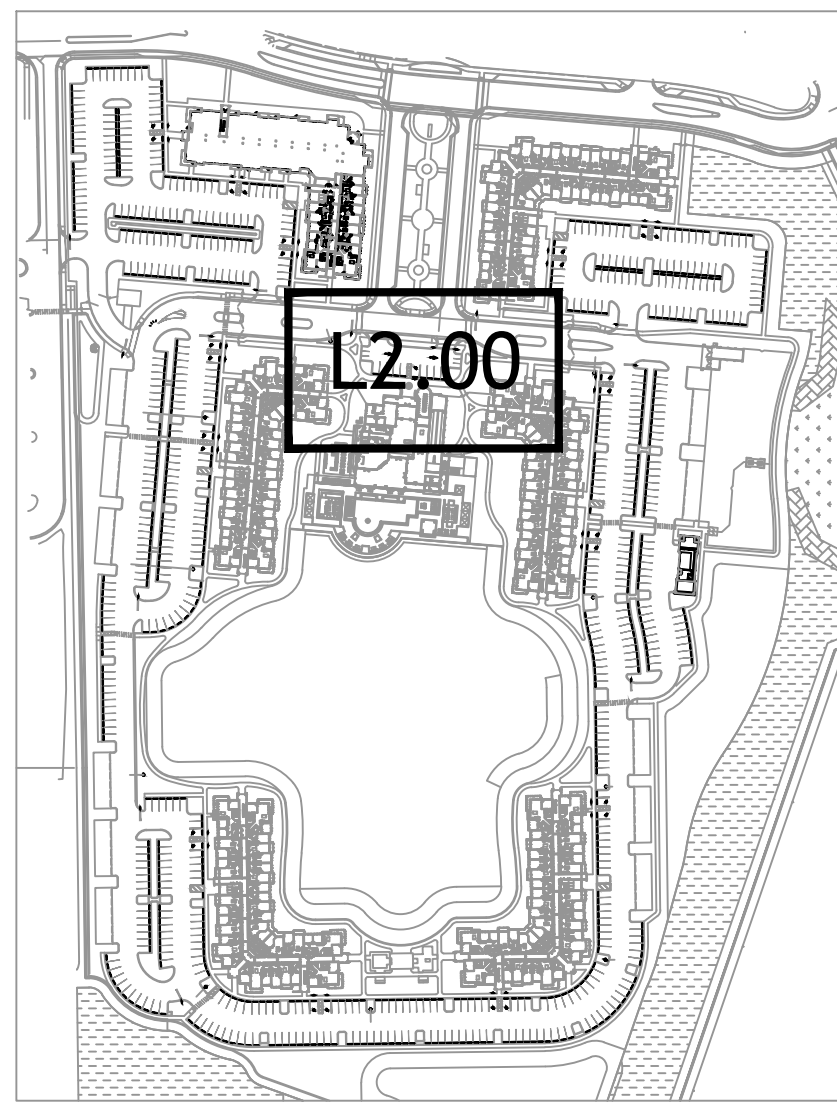
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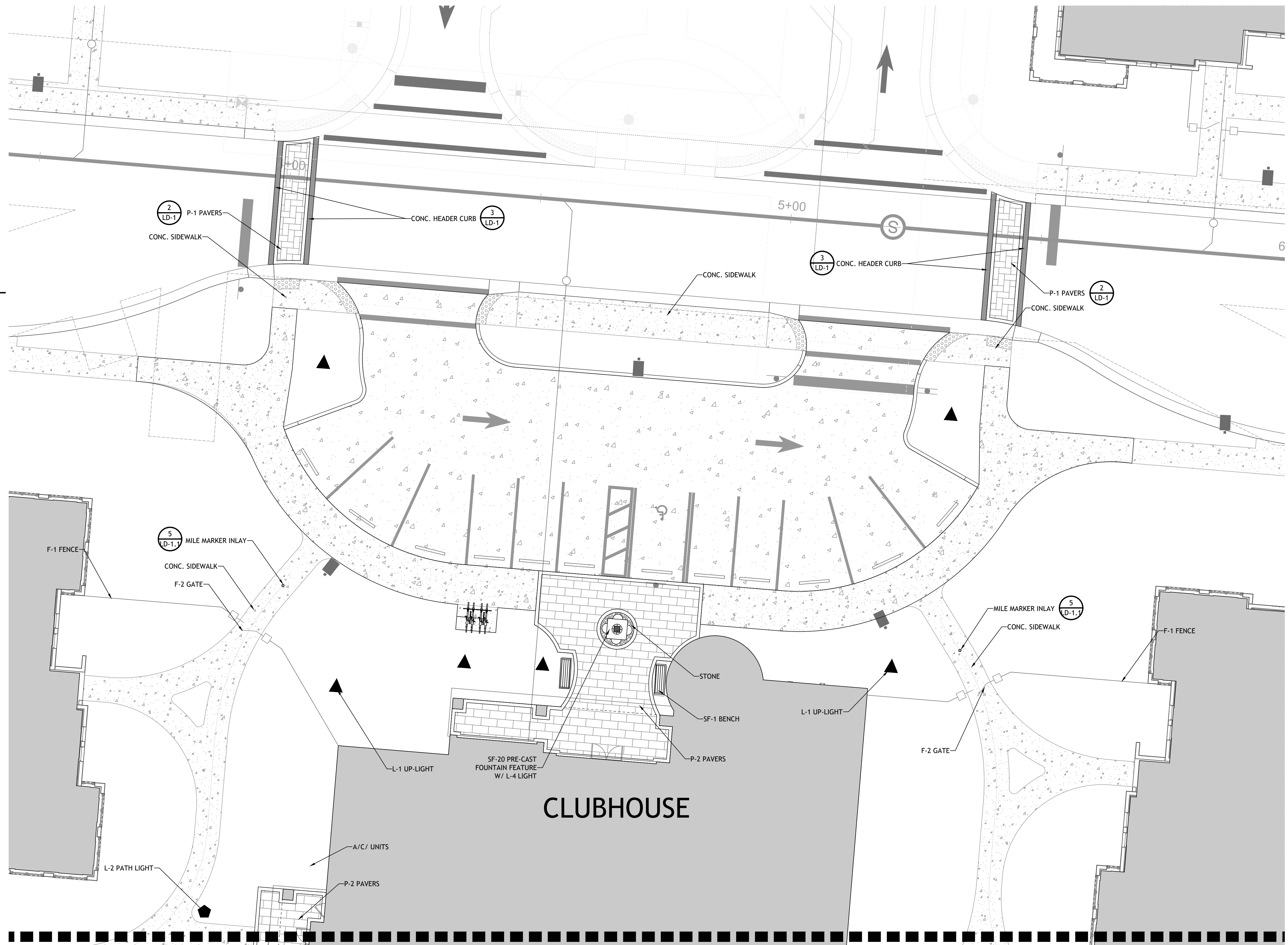
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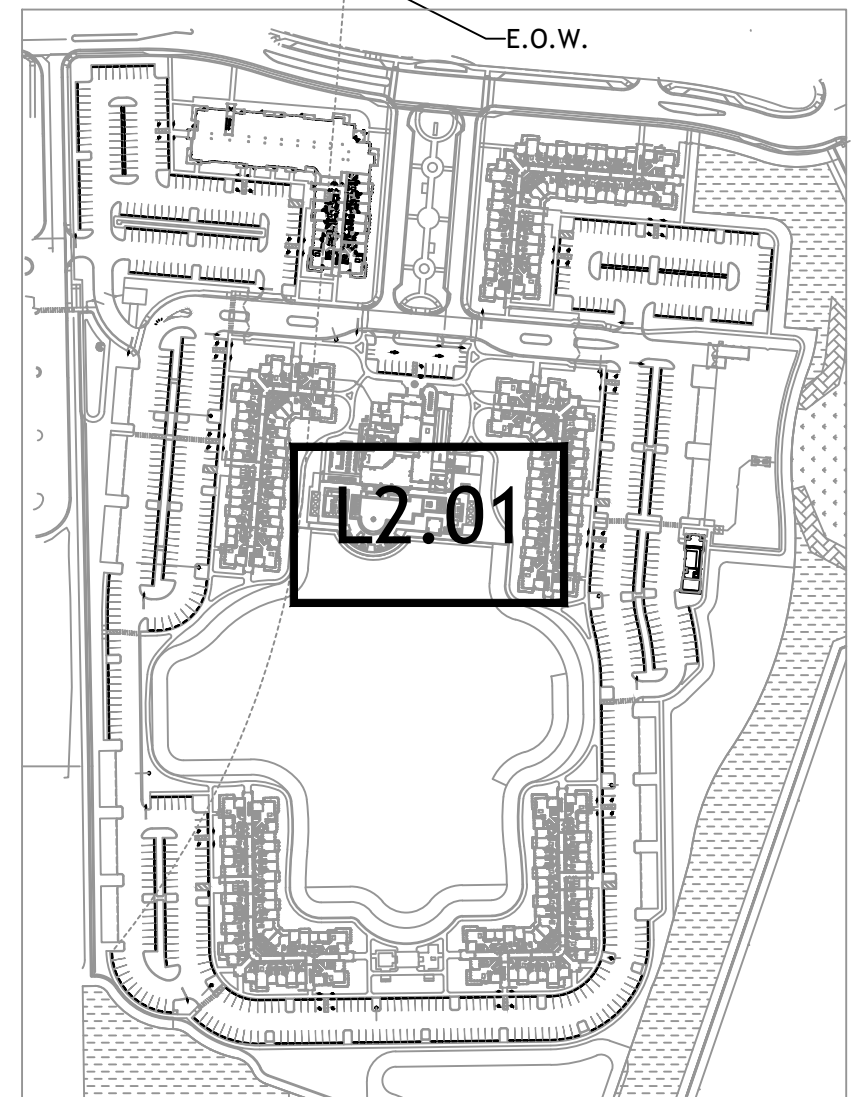
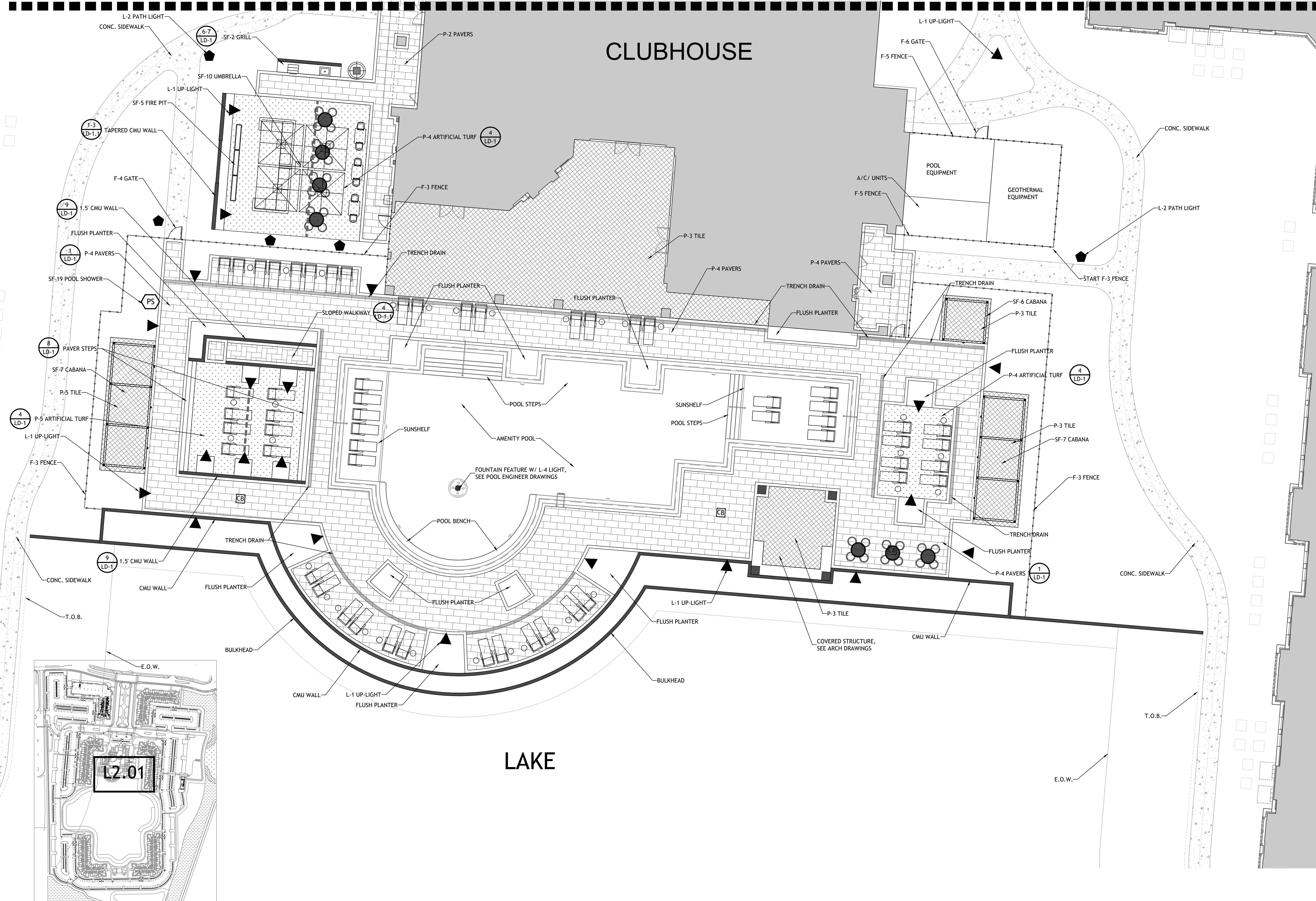
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CLUBHOUSE
SITE PLAN
ENLARGEMENT

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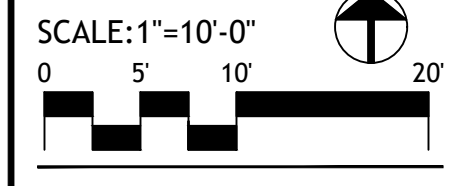
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	2	DO PLANS	09-24-21
	3	DO PLANS	02-15-22

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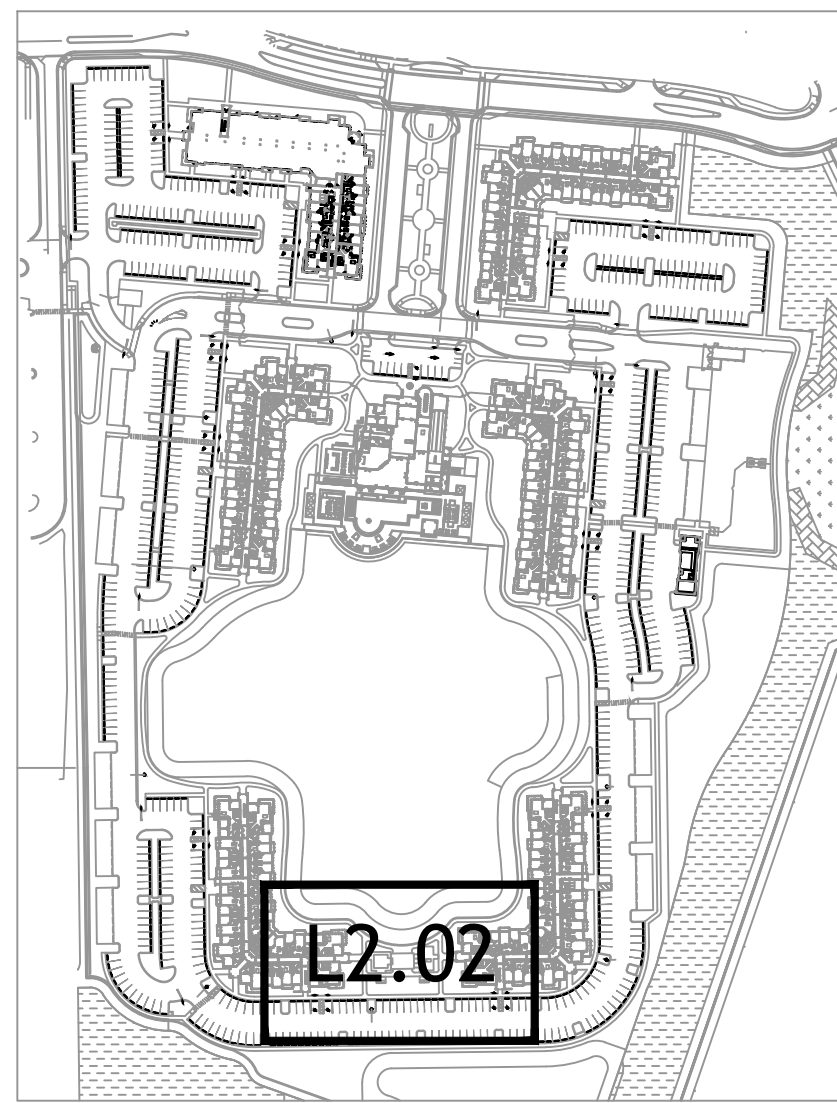
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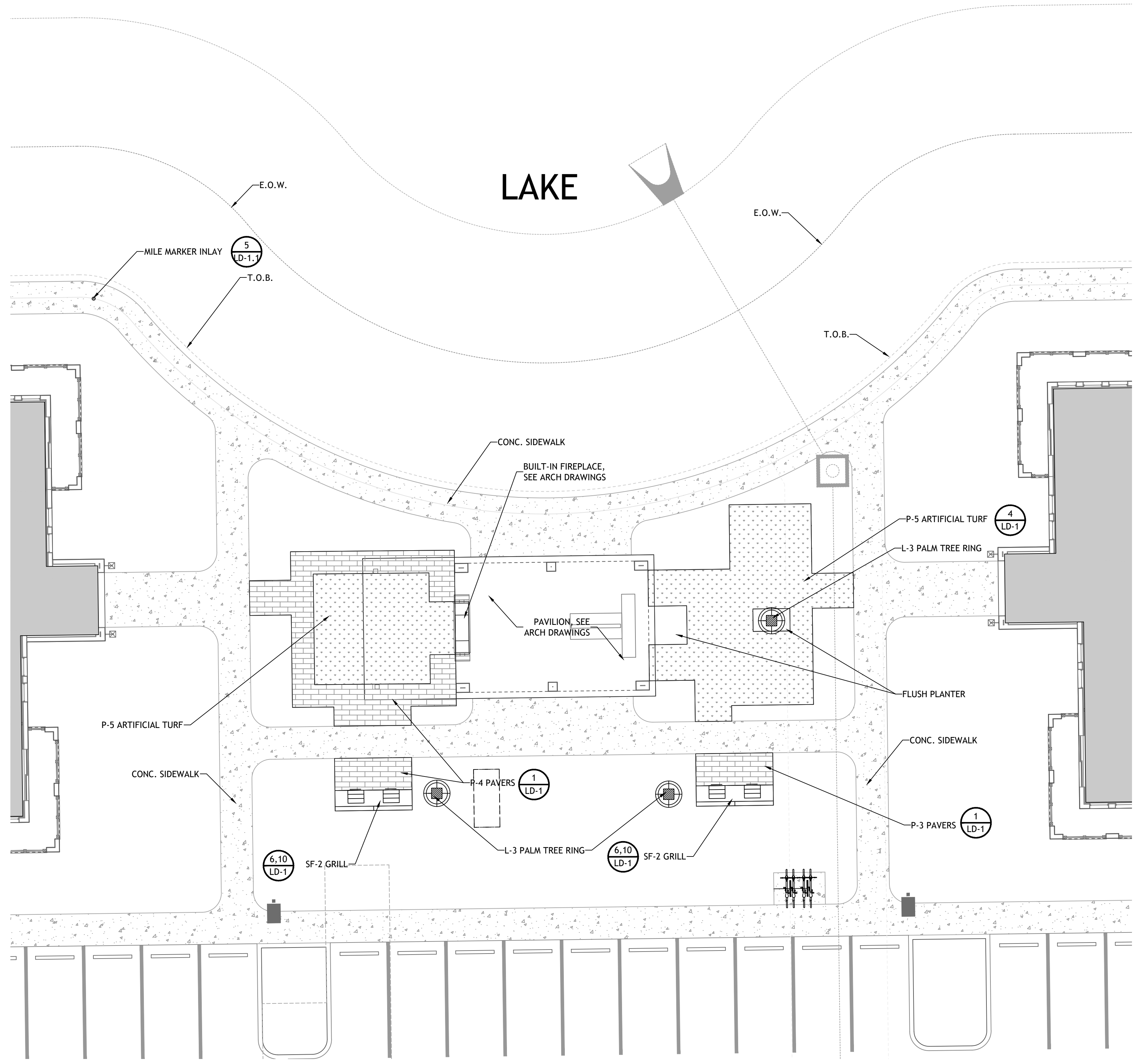


CLUBHOUSE
SITE PLAN
ENLARGEMENT

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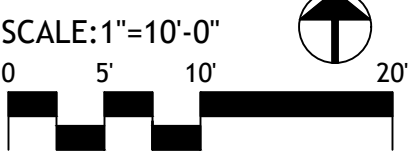
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	2	DO PLANS	09-24-21
	3	DO PLANS	02-15-22

REVISIONS

NO.	COMMENTS	DATE

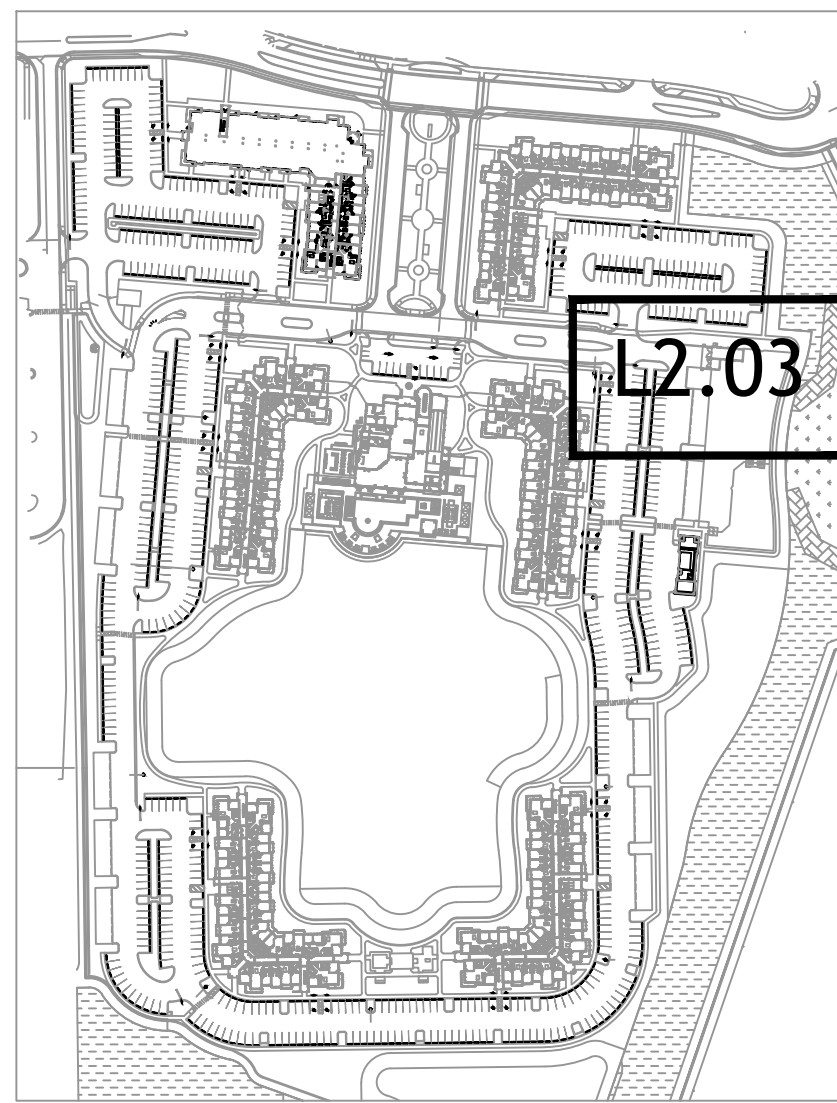
SHEET INFORMATION

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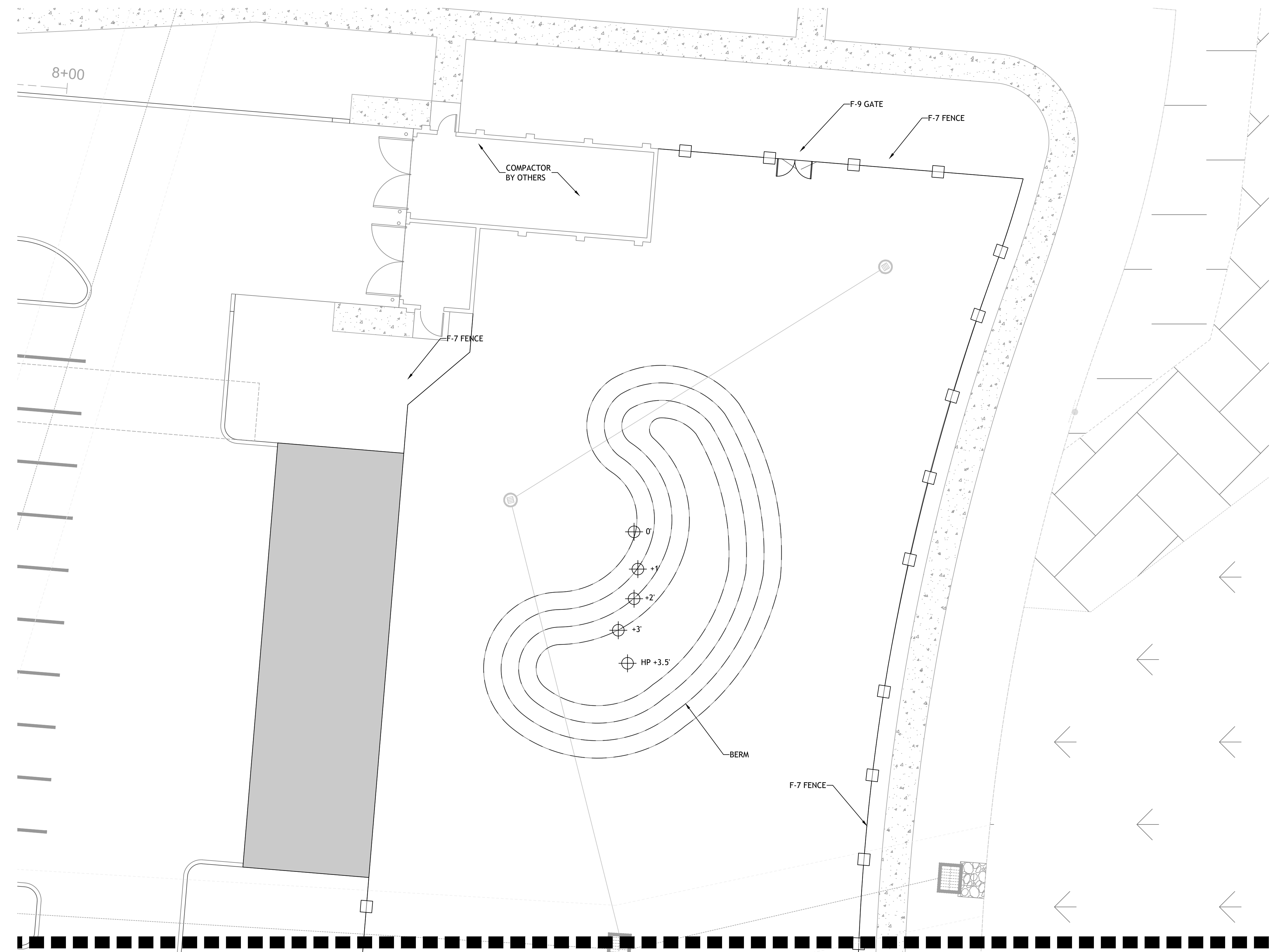
SOUTH AMENITY
SITE PLAN
ENLARGEMENT

L2.02



L2.03

1 SITE KEY
SCALE: N/A



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ESTERO CROSSING APARTMENTS
CORKSCREW ROAD
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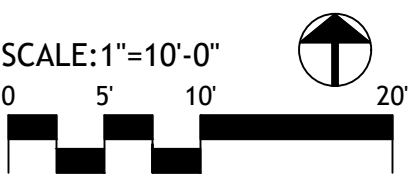
DO PLANS

ISSUE DATE	NO.	COMMENTS	DATE
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	2	DO PLANS	09-24-21
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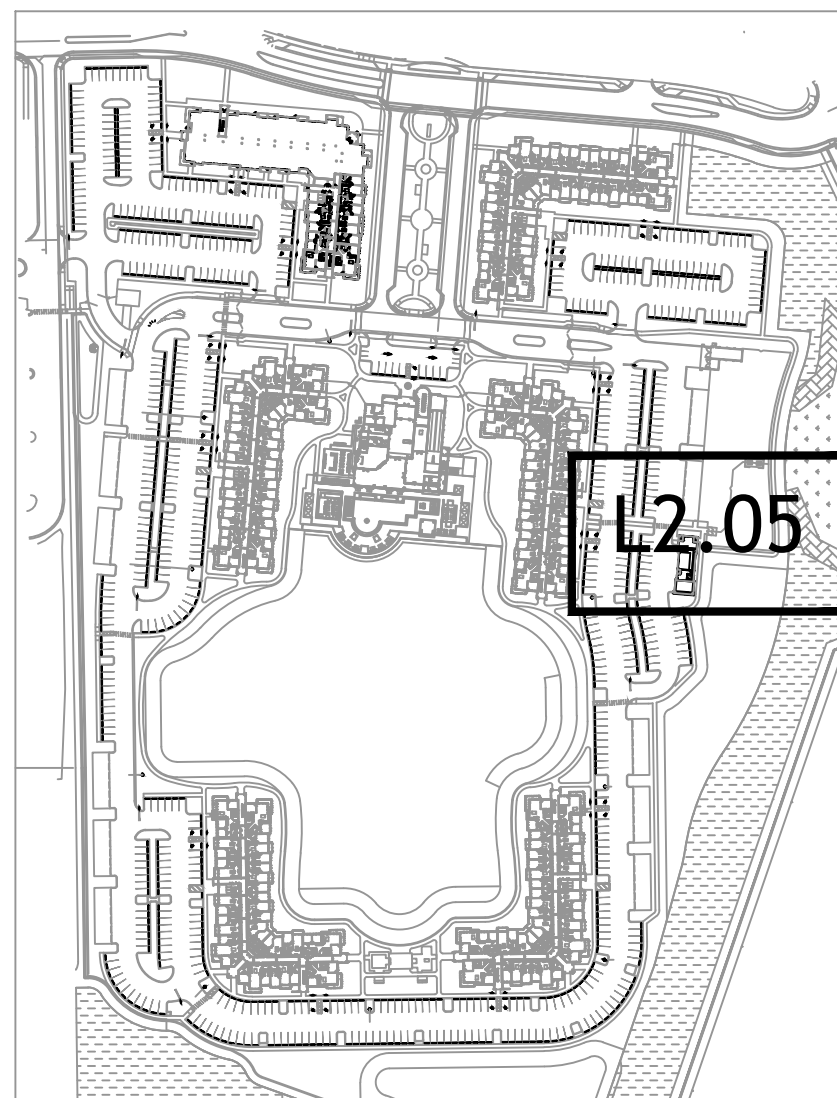
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SHEET INFORMATION
JOB NUMBER 21017
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CHECKED BY HB

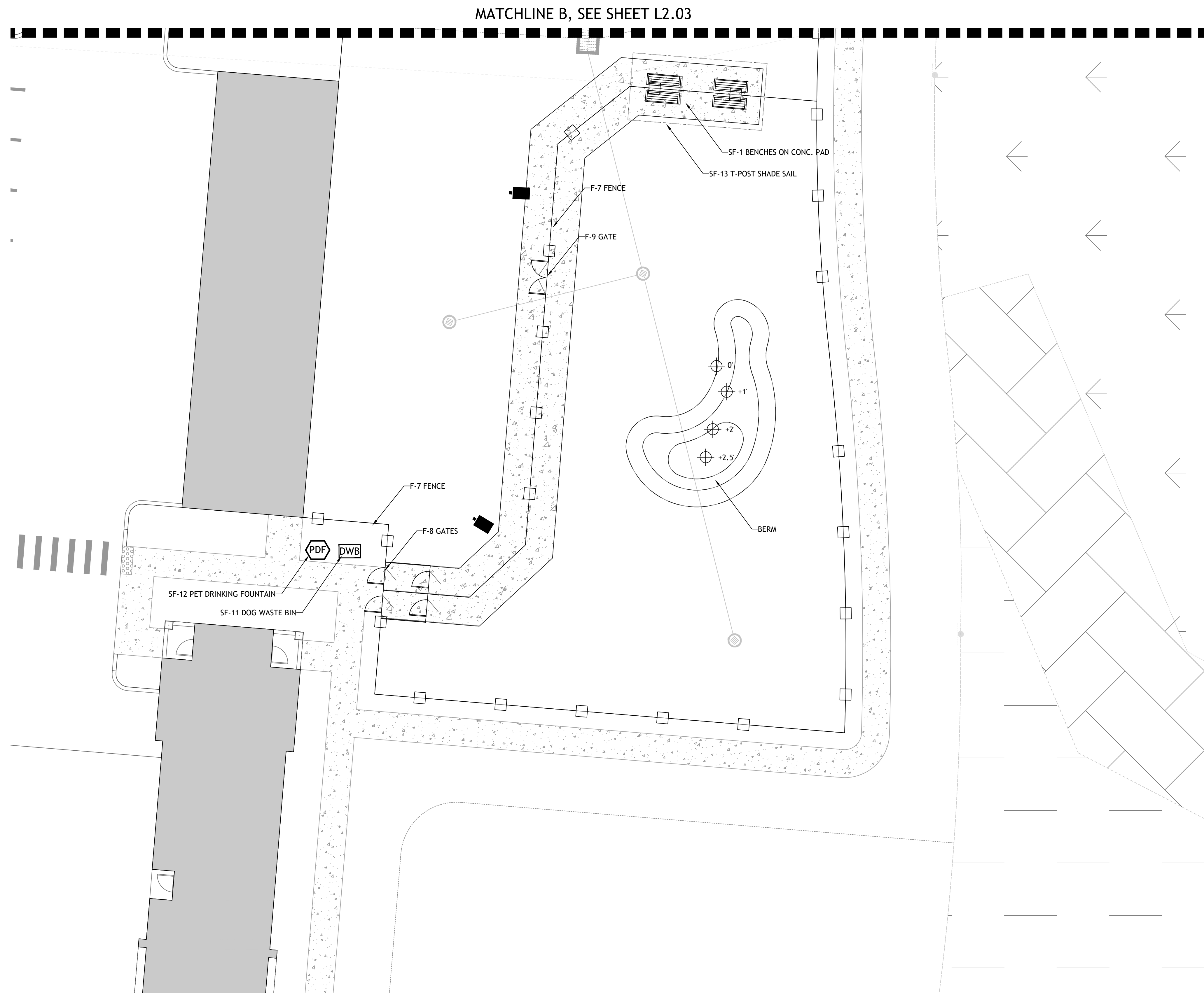


DOG PARK SITE PLAN ENLARGEMENT

L2.03



1 SITE KEY
SCALE: N/A



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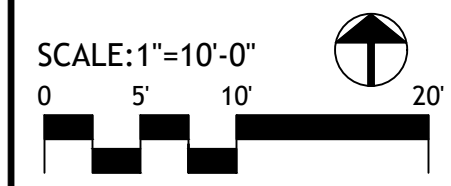
DO PLANS

ISSUE DATE		
NO.	COMMENTS	DATE
1	SOF DD	08-12-21
2	DO PLANS	09-24-21
3	DO PLANS	02-15-22

REVISIONS

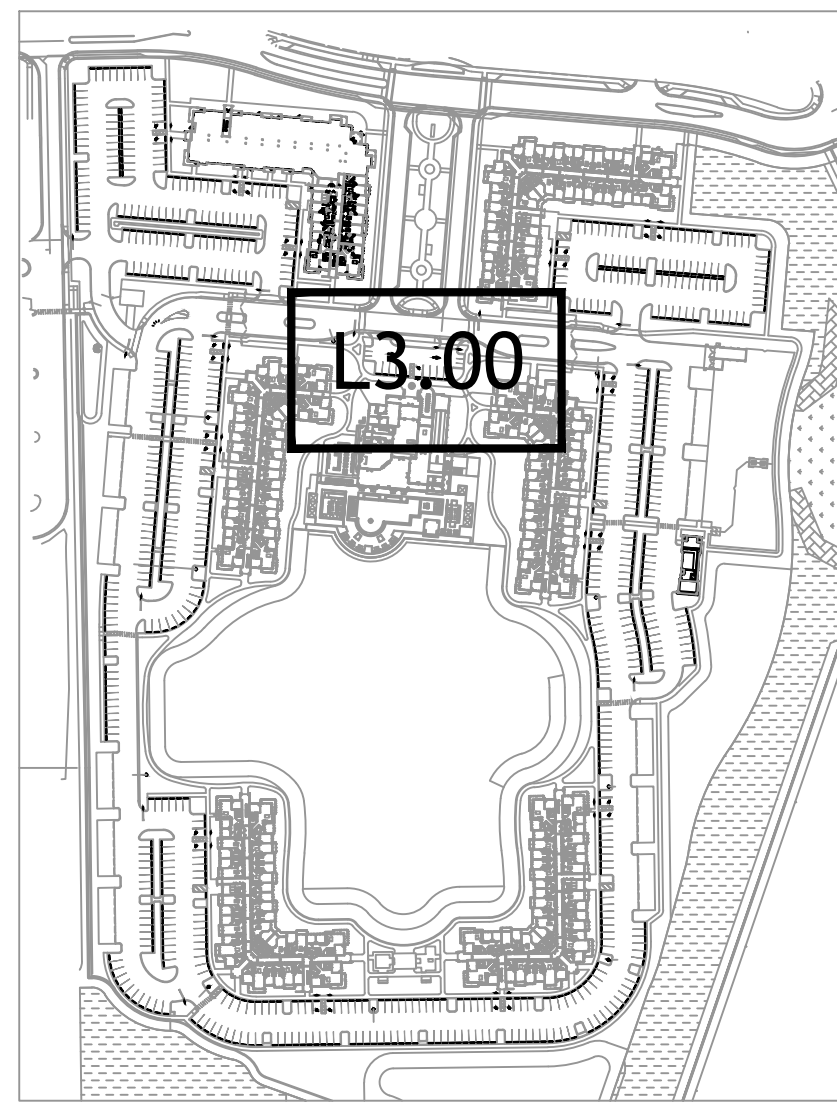
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SHEET INFORMATION
 JOB NUMBER 21017
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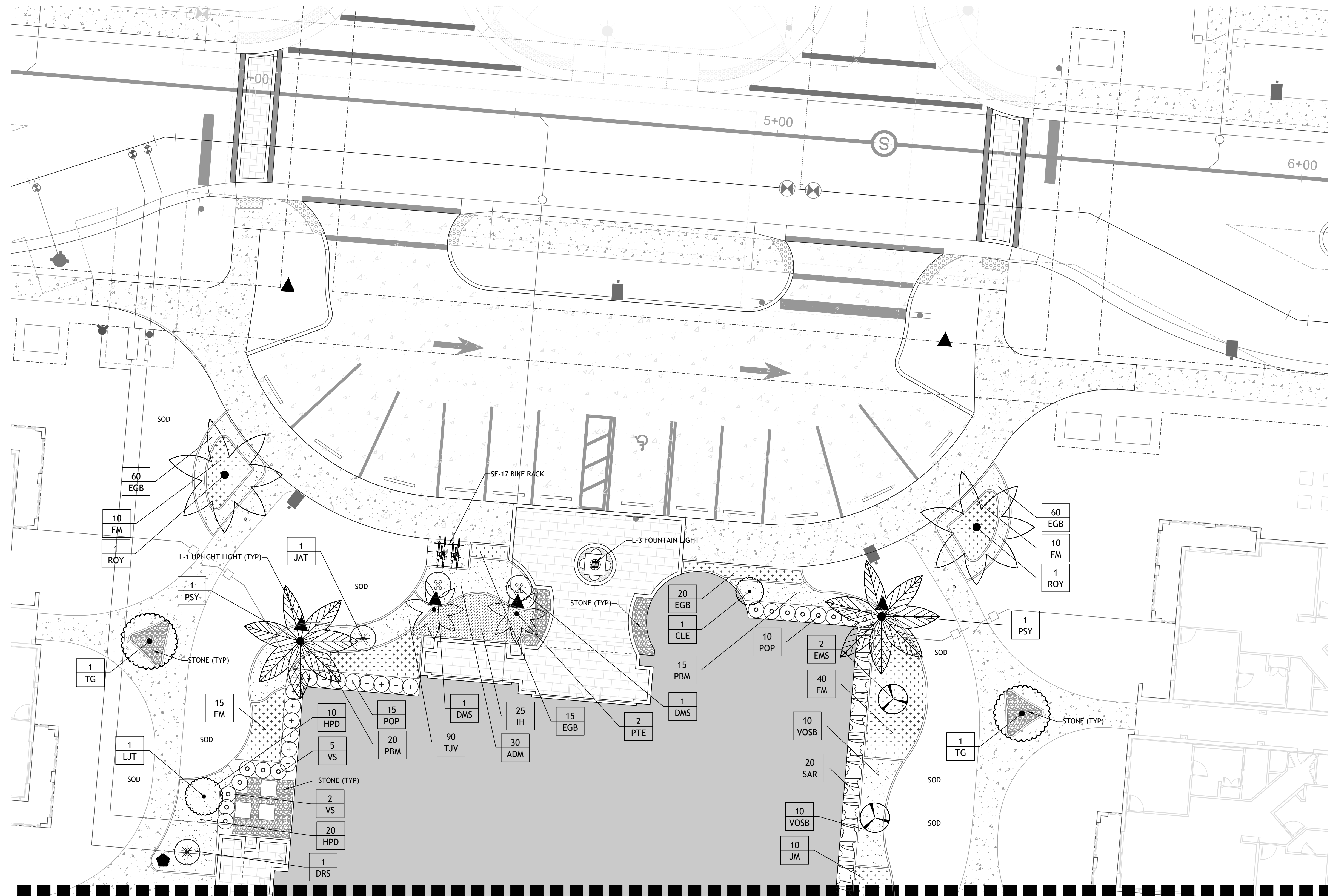


DOG PARK
SITE PLAN
ENLARGEMENT

L2.04



1 SITE KEY
SCALE: N/A



MATCHLINE A, SEE SHEET L3.01



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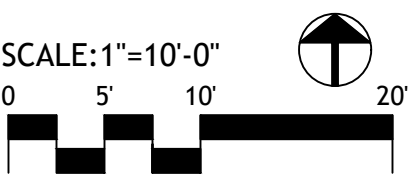
DO PLANS

ISSUE DATE	NO.	COMMENTS	DATE
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	2	DO PLANS	09-24-21
	3	DO PLANS	02-15-22

REVISIONS

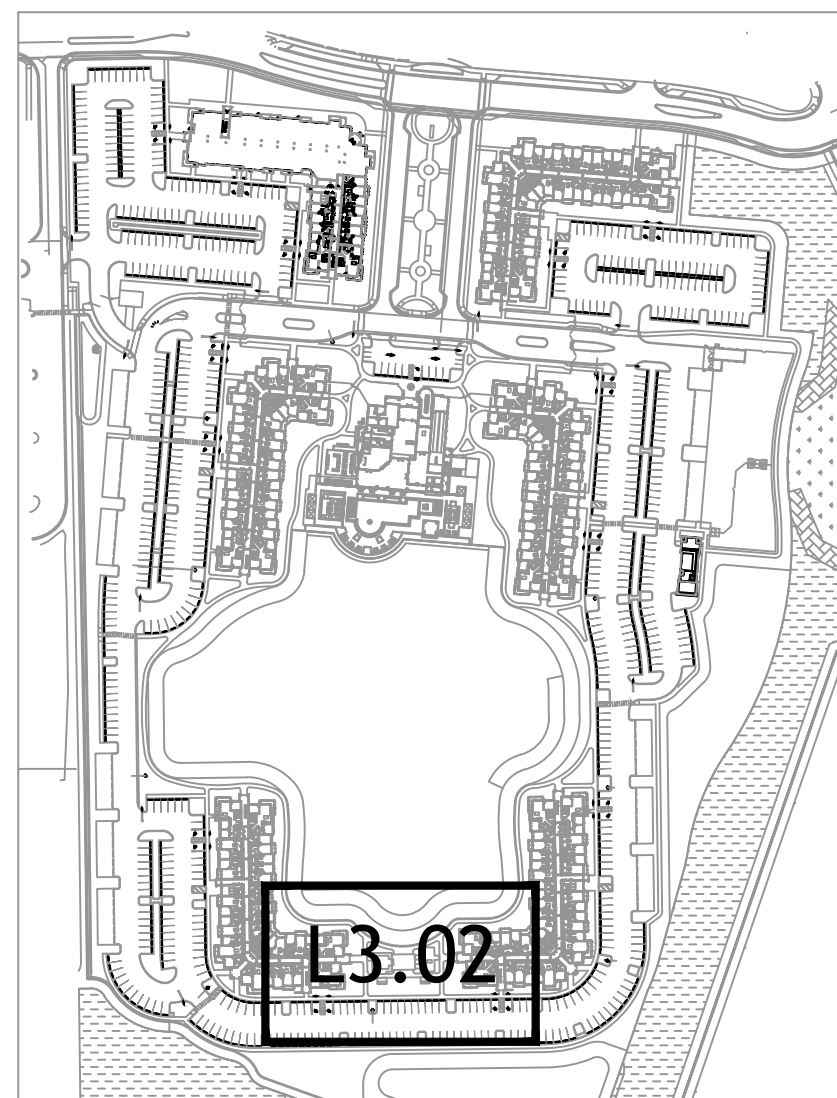
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SHEET INFORMATION
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DRAWN BY: HB, GS, AH
CHECKED BY: HB

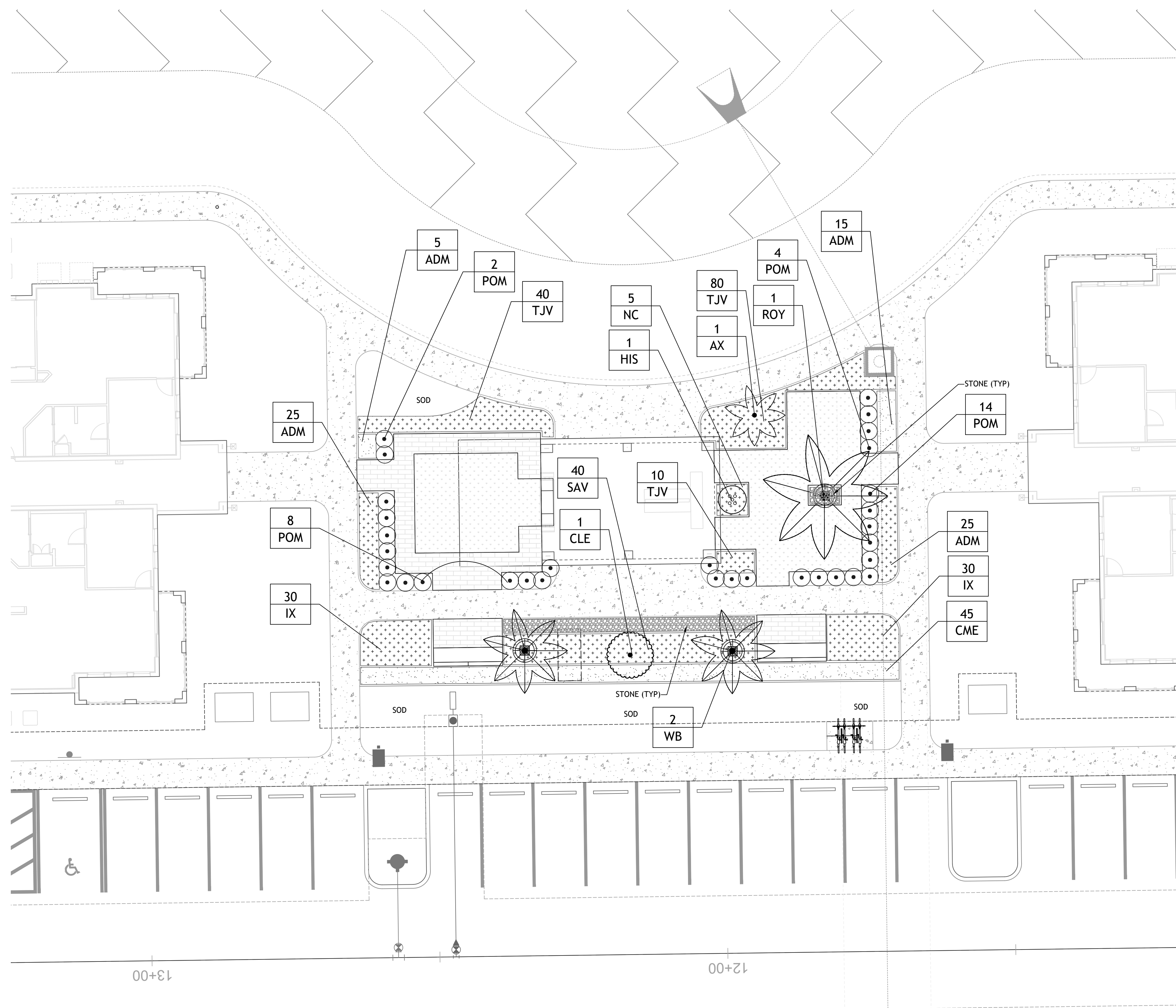


SCALE: 1"=10'-0"
CLUBHOUSE
LANDSCAPE PLAN
ENLARGEMENT

L3.00



1 SITE KEY
SCALE: N/A



13+00

12+00

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APARTMENTS

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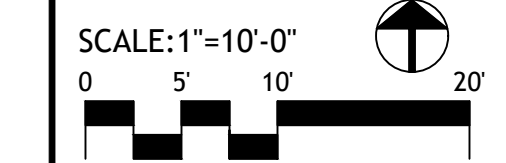
DO PLANS

ISSUE DATE	NO.	COMMENTS	DATE
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	2	DO PLANS	09-24-21
	3	DO PLANS	02-15-22

REVISIONS

NO.	COMMENTS	DATE

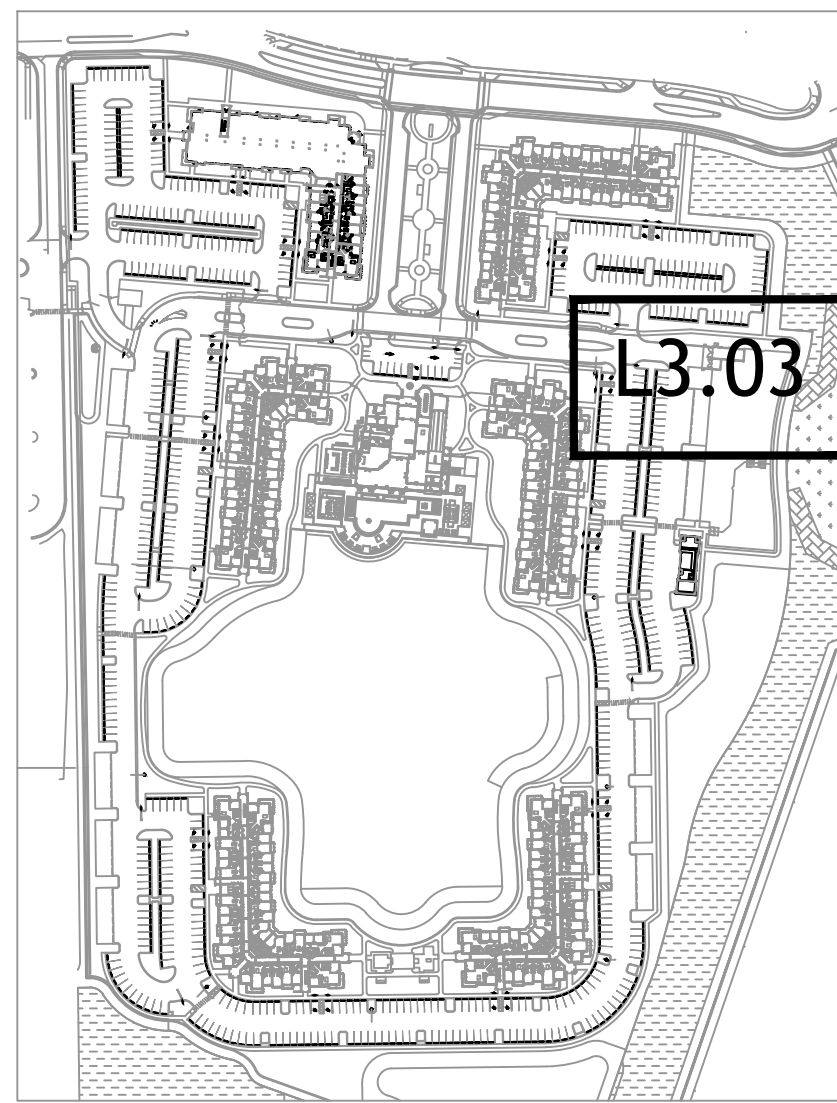
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JOB NUMBER 21017
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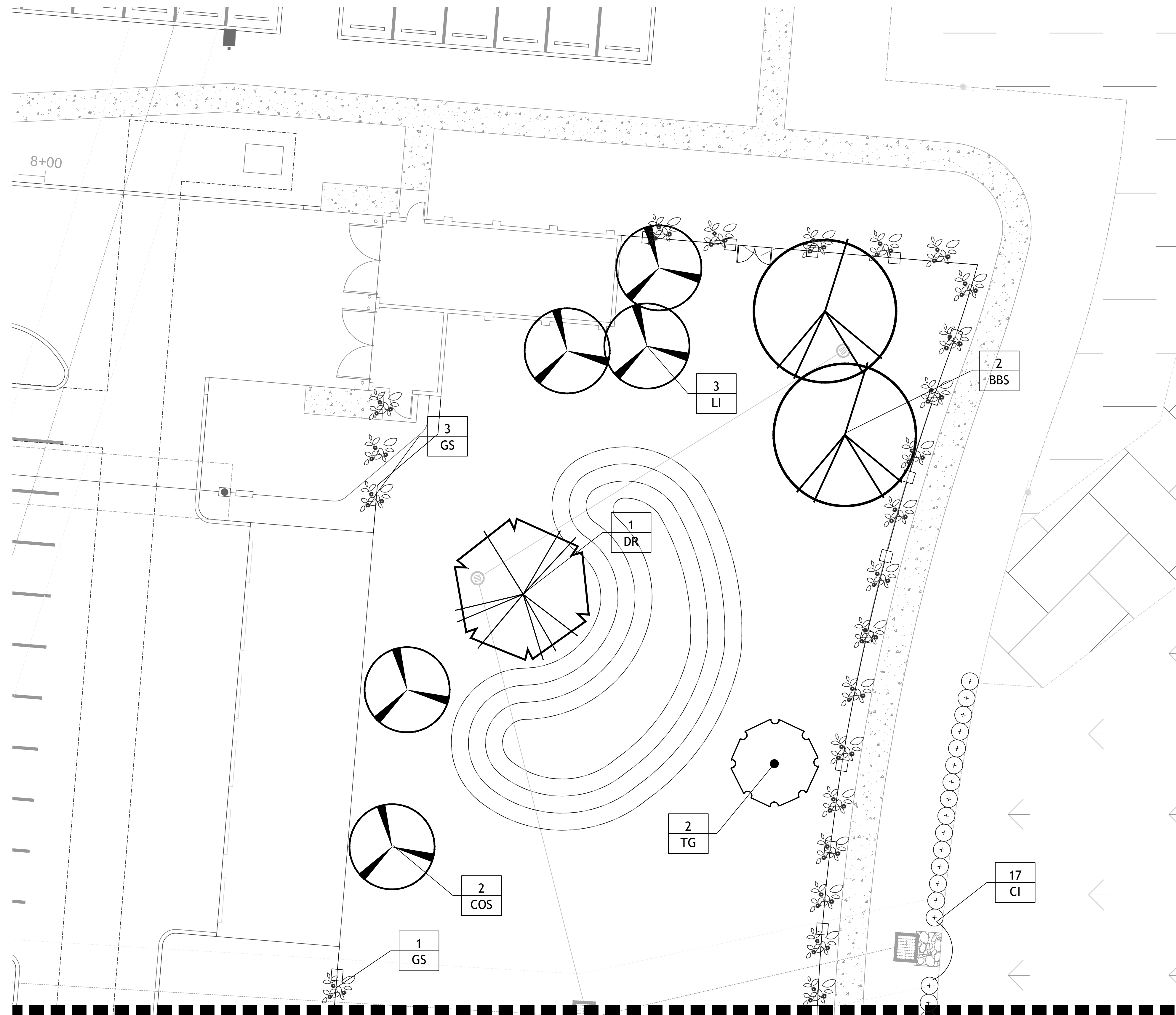
SOUTH AMENITY
LANDSCAPE PLAN
ENLARGEMENT

L3.02

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1 SITE KEY
SCALE: N/A



MATCHLINE B, SEE SHEET L3.04



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ISSUE DATE

NO.	DATE	DESCRIPTION
1	08-12-21	S&I DD
2	09-24-21	DO PLANS
3	02-15-22	DO PLANS

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NO.	DATE	DESCRIPTION

SHEET INFORMATION

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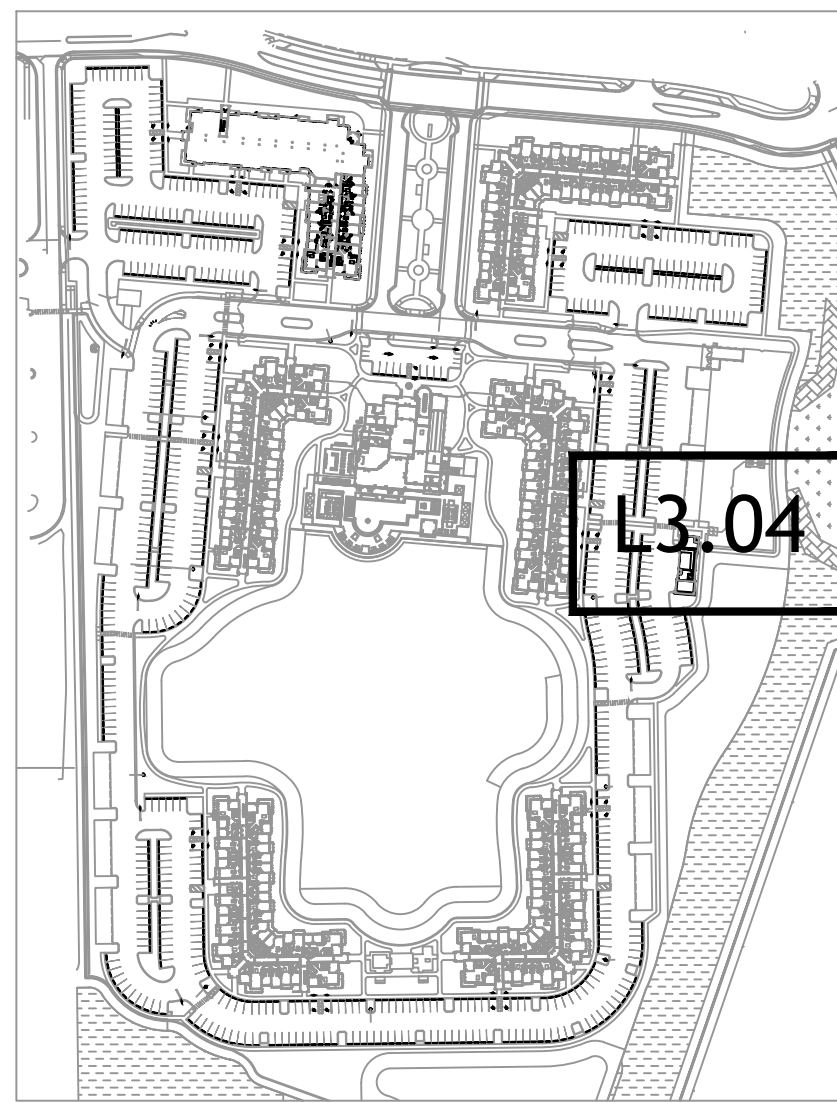
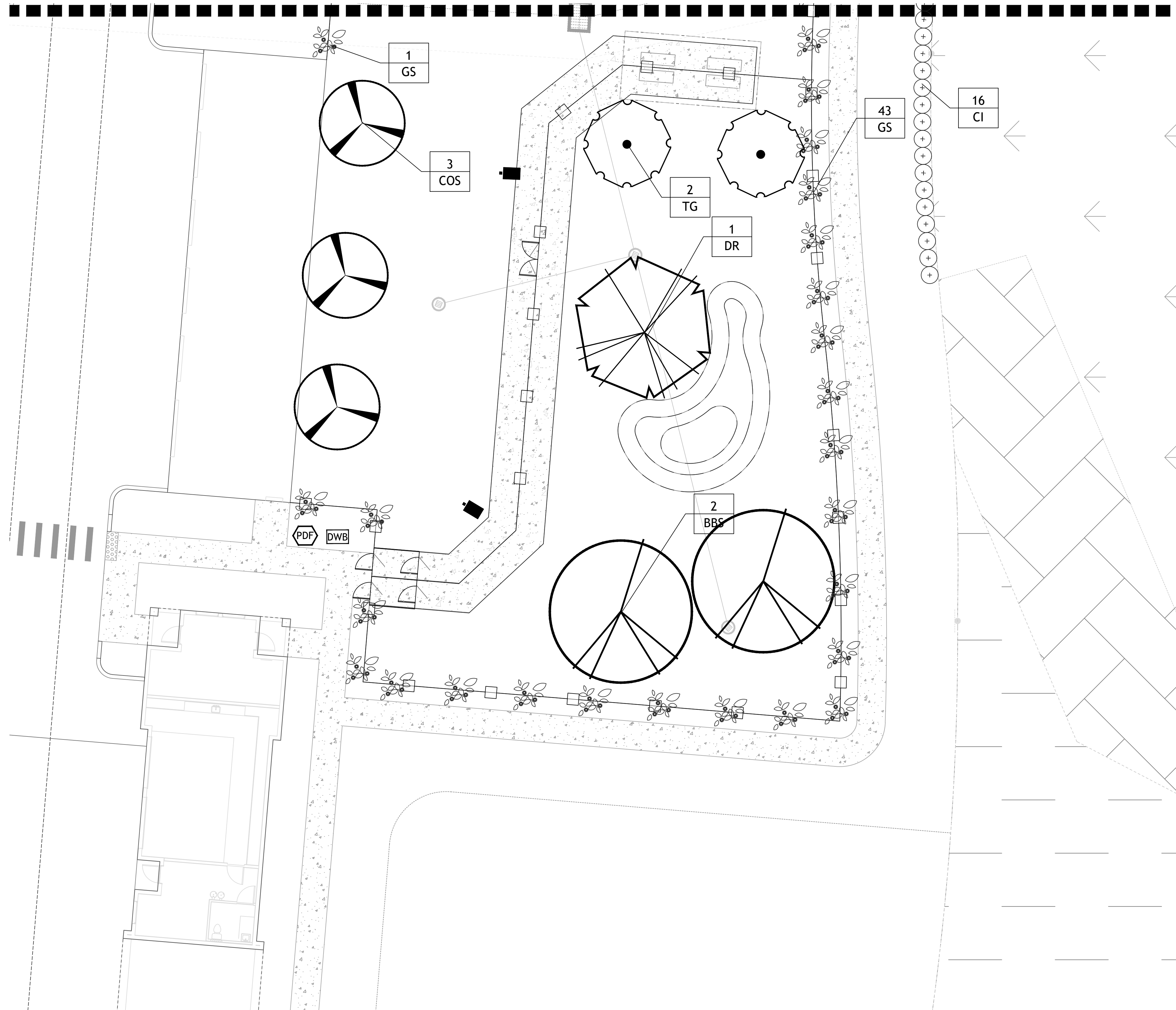
SCALE: 1"=10'-0"



**DOG PARK
LANDSCAPE PLAN
ENLARGEMENT**

L3.03

MATCHLINE B, SEE SHEET L3.03



1 SITE KEY
SCALE: N/A



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DO PLANS

ISSUE DATE	NO.	DATE
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	3	02-15-22

REVISIONS

NO.	COMMENTS	DATE

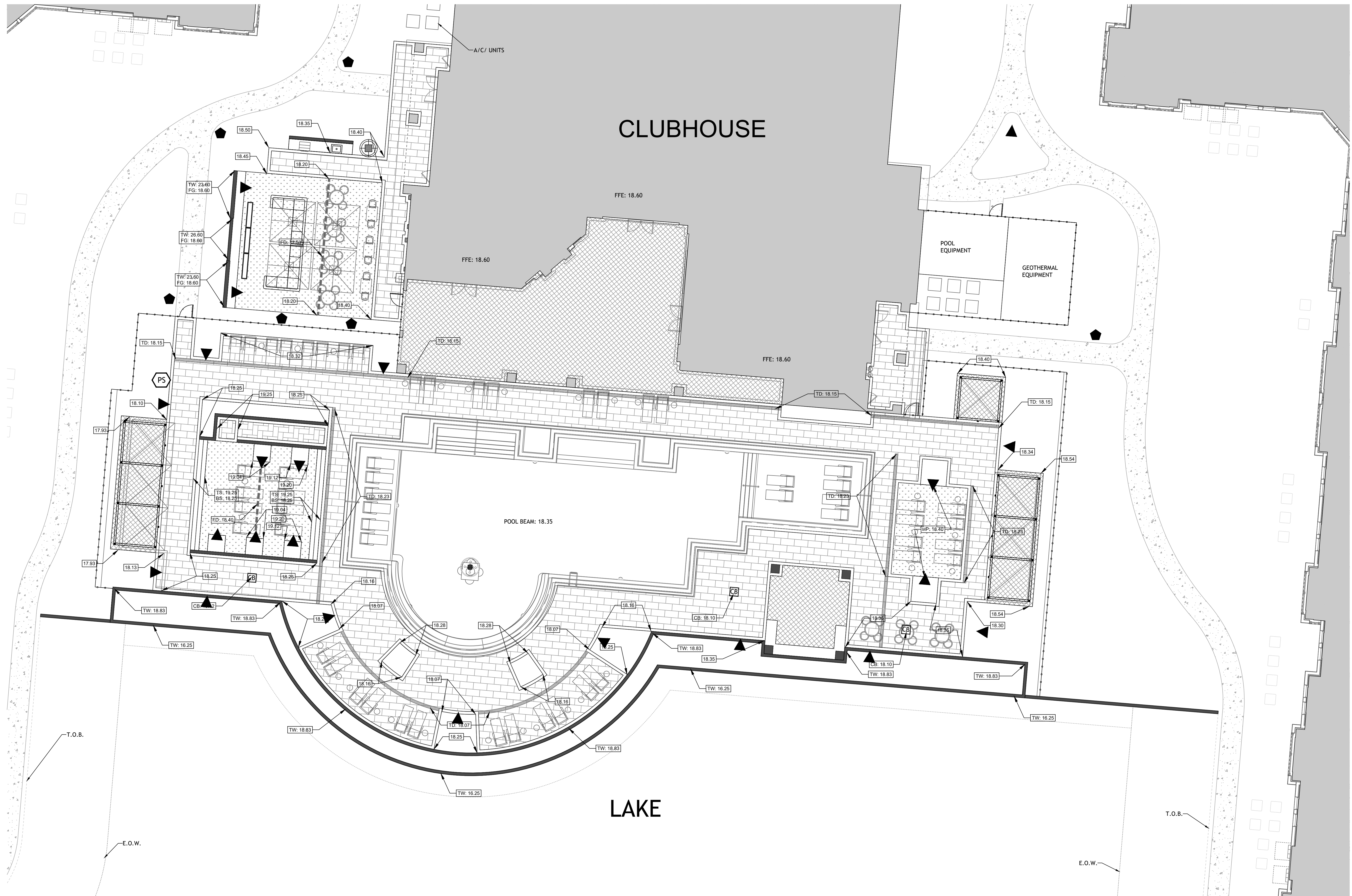
SHEET INFORMATION
JOB NUMBER 21017
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SCALE: 1"=10'-0"
0 5' 10' 20'

DOG PARK
LANDSCAPE PLAN
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L3.04

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CLUBHOUSE

LAKE



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	3	DO PLANS	02-15-22

REVISIONS

NO.	COMMENTS	DATE

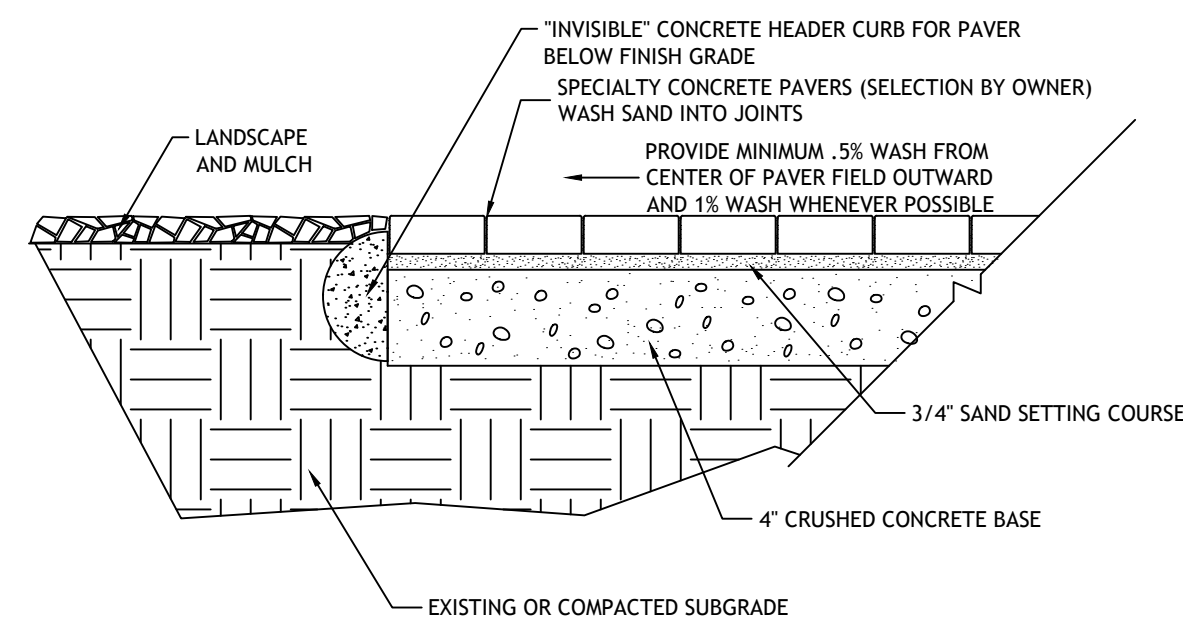
SHEET INFORMATION
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 CHECKED BY: HB

SCALE: 1"=10'-0"
 0 5' 10' 20'

CLUBHOUSE GRADING PLAN ENLARGEMENT

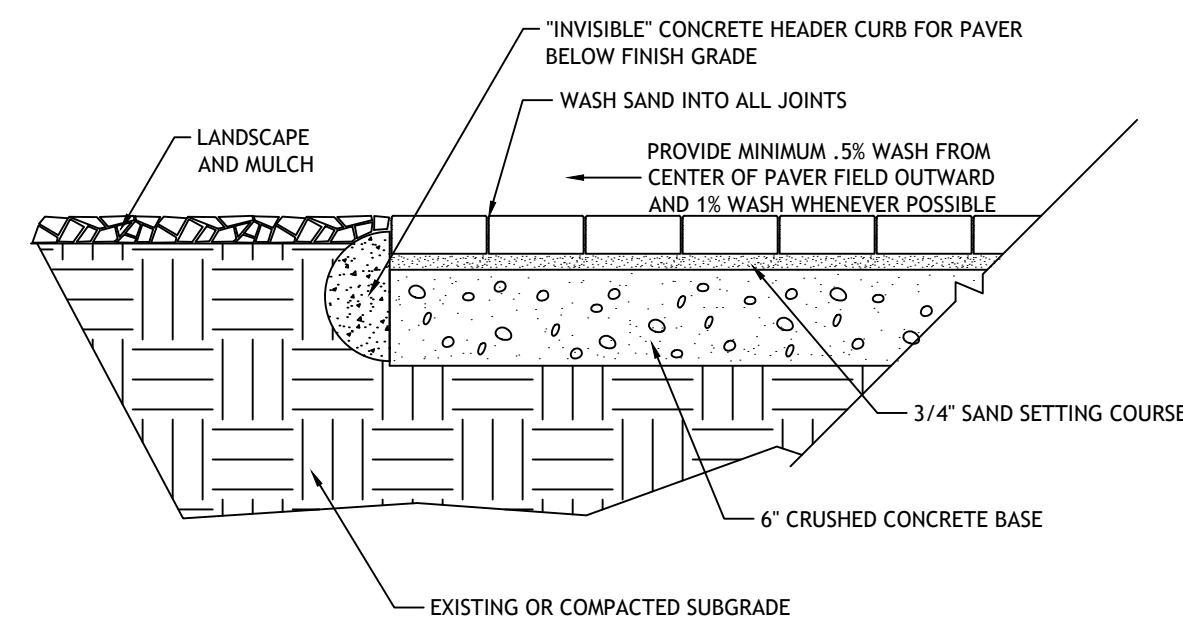
L4.00

NOTES:
 -SEE PAVER LEGEND FOR PAVER SPECIFICATIONS AND PATTERNS
 -BEDDING SAND TO BE CONCRETE SAND, ALL BEDDING SAND TO CONFORM TO ASTM C33 OR CSA A23.1.
 -NO MASONRY SAND, LIMESTONE SCREENINGS, CRUSHED SHELL OR STONE DUST WILL BE ACCEPTED AS AN ALTERNATE SAND SETTING MATERIAL.
 -ALL SAND FOR JOINTS SHALL CONFORM TO ASTM C144. BEDDING SAND CAN BE USED FOR JOINTS UNLESS OTHER WISE SPECIFIED.



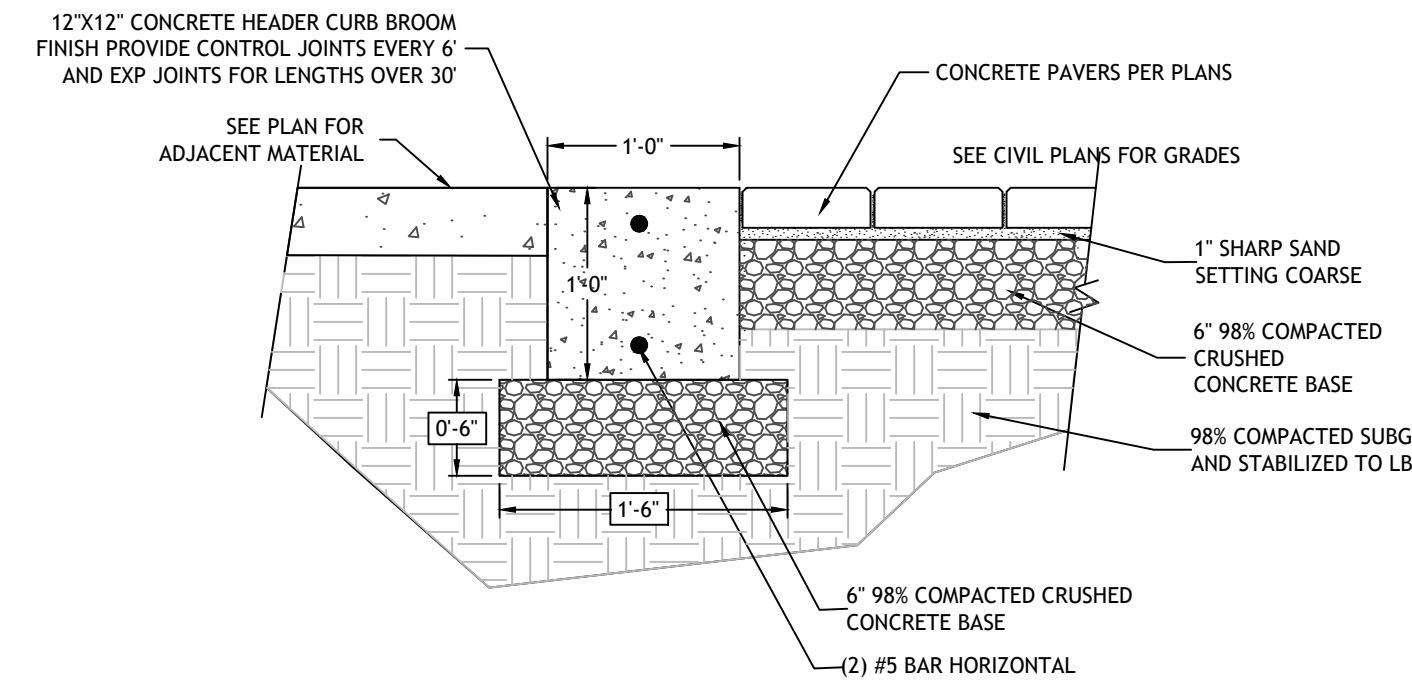
1 **CONC. PAVER SECTION W/CRUSHED CONC. BASE**
 LD-1 SCALE: N.T.S.

NOTES:
 -SEE PAVER LEGEND FOR PAVER SPECIFICATIONS AND PATTERNS
 -BEDDING SAND TO BE CONCRETE SAND, ALL BEDDING SAND TO CONFORM TO ASTM C33 OR CSA A23.1.
 -NO MASONRY SAND, LIMESTONE SCREENINGS, CRUSHED SHELL OR STONE DUST WILL BE ACCEPTED AS AN ALTERNATE SAND SETTING MATERIAL.
 -ALL SAND FOR JOINTS SHALL CONFORM TO ASTM C144. BEDDING SAND CAN BE USED FOR JOINTS UNLESS OTHER WISE SPECIFIED.

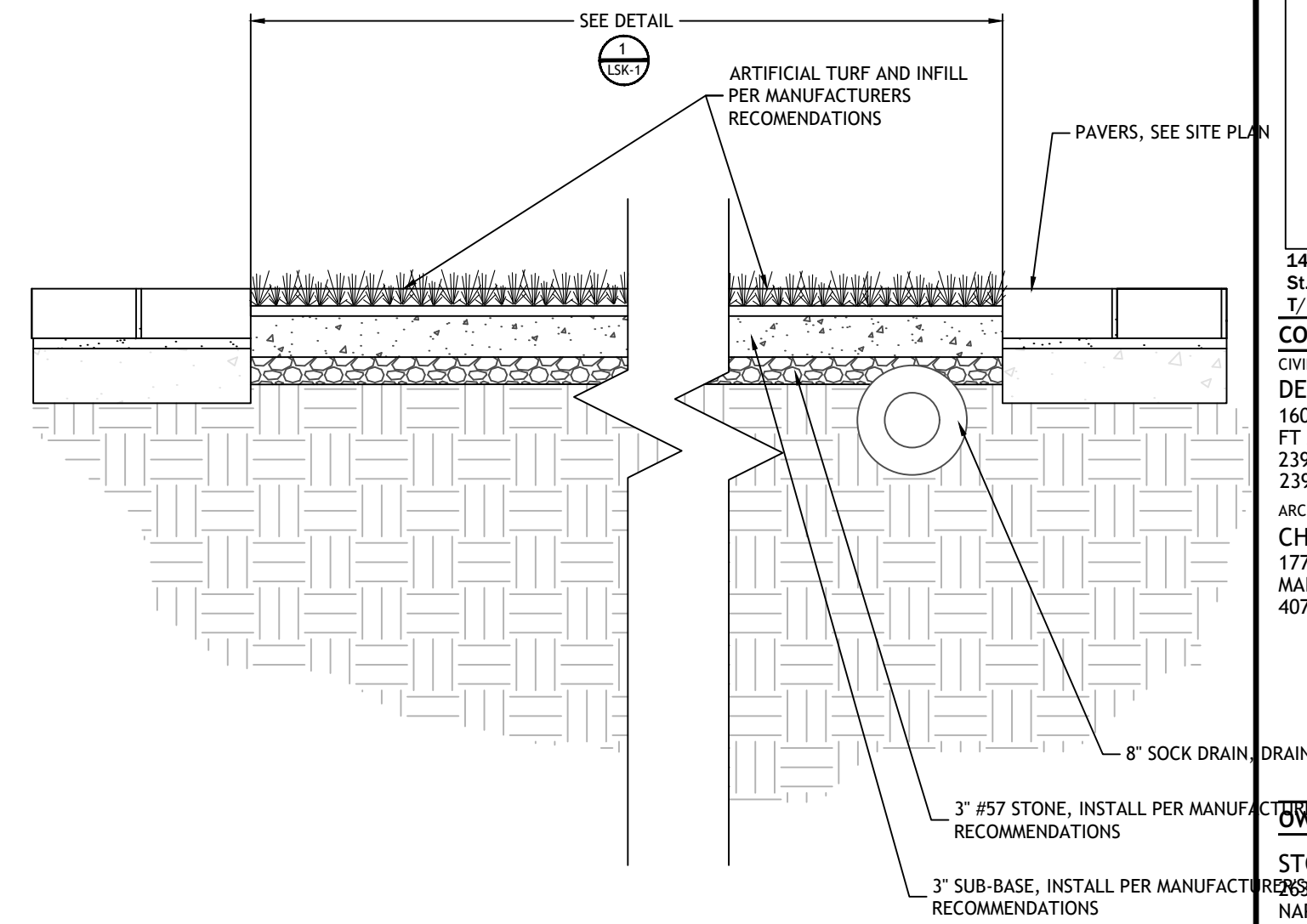


2 **CONC. PAVER SECTION W/CRUSH CONC. BASE**
 LD-1

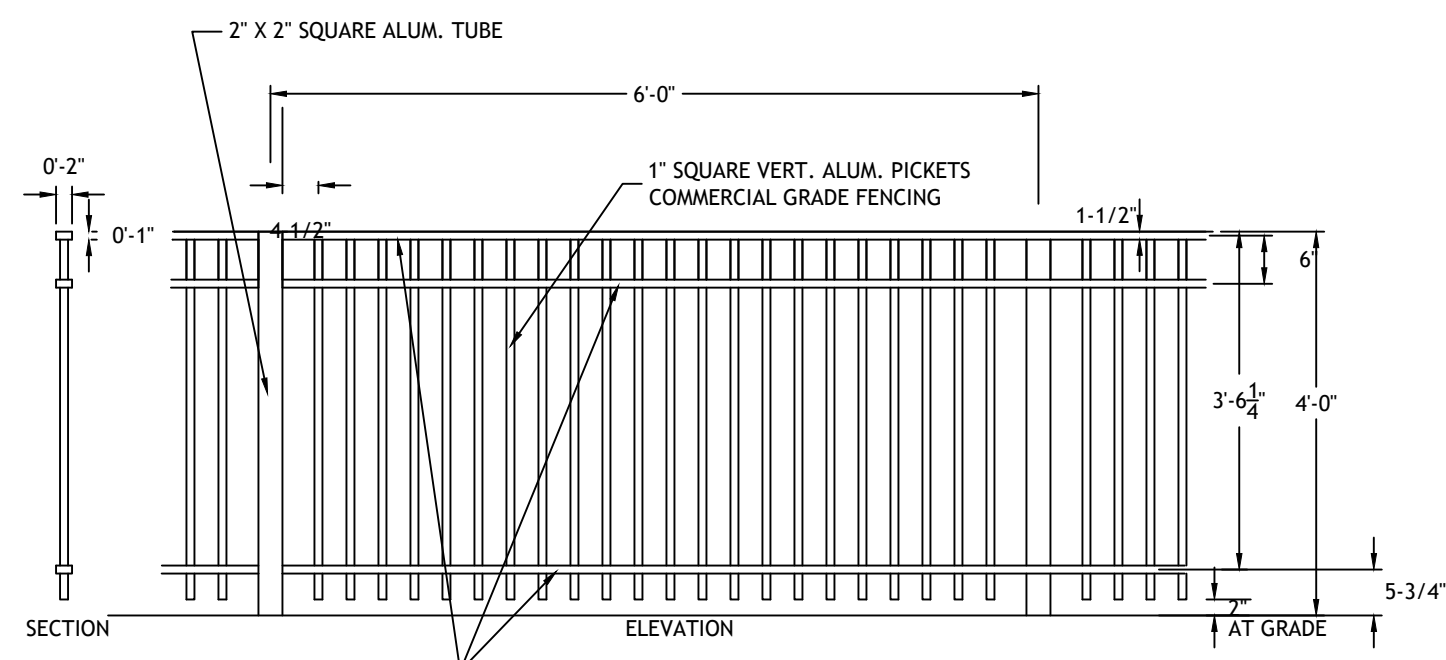
NOTES:
 -SEE PAVER LEGEND FOR PAVER SPECIFICATIONS AND PATTERNS
 -BEDDING SAND TO BE CONCRETE SAND, ALL BEDDING SAND TO CONFORM TO ASTM C33 OR CSA A23.1.
 -NO MASONRY SAND, LIMESTONE SCREENINGS, CRUSHED SHELL OR STONE DUST WILL BE ACCEPTED AS AN ALTERNATE BASE MATERIAL.
 -ALL SAND FOR JOINTS SHALL CONFORM TO ASTM C144. BEDDING SAND CAN BE USED FOR JOINTS UNLESS OTHER WISE SPECIFIED.
 -FOR EXPANSION JOINT ON CURB, USE PER-FORMED JOINT FILLER AND JOINT SEAL AS REQUIRED BETWEEN CURBS AND CONCRETE PAVEMENT ONLY.



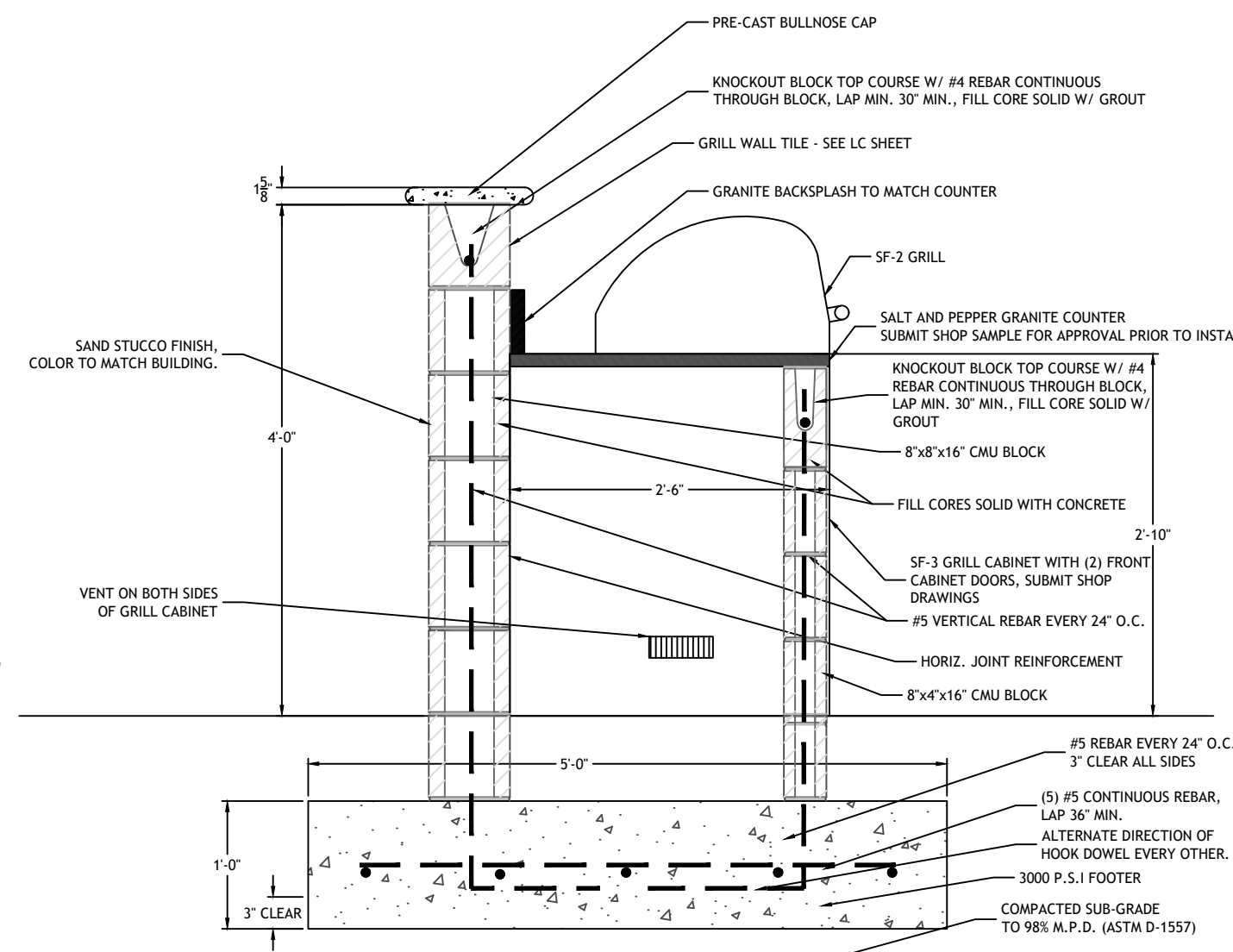
3 **CONC. HEADER CURB & VEHICULAR PAVERS**
 LD-1 SCALE 1"=1'-0"



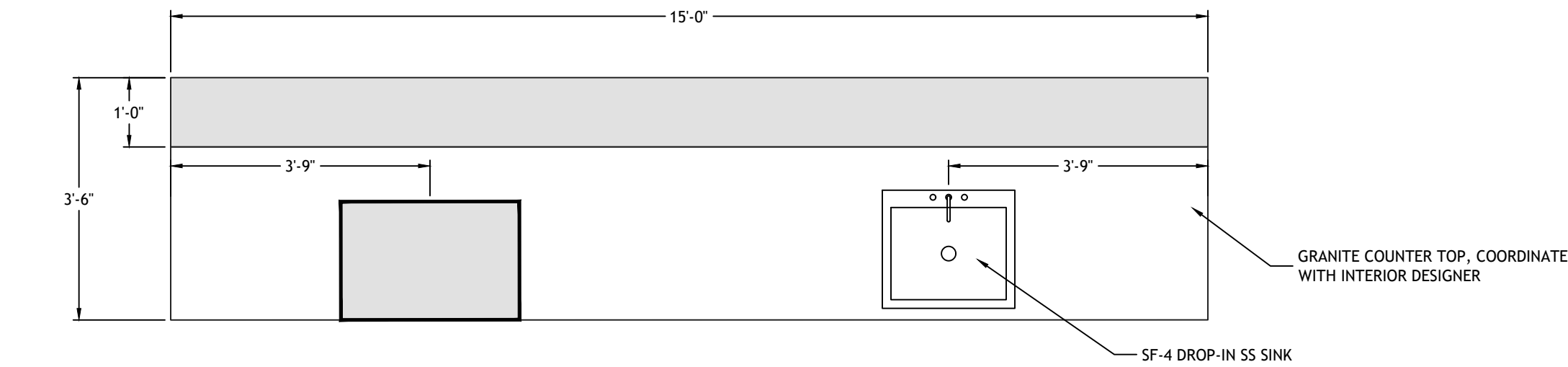
4 **ARTIFICIAL TURF SECTION DETAIL**
 LD-1 SCALE 1"=1'-0"



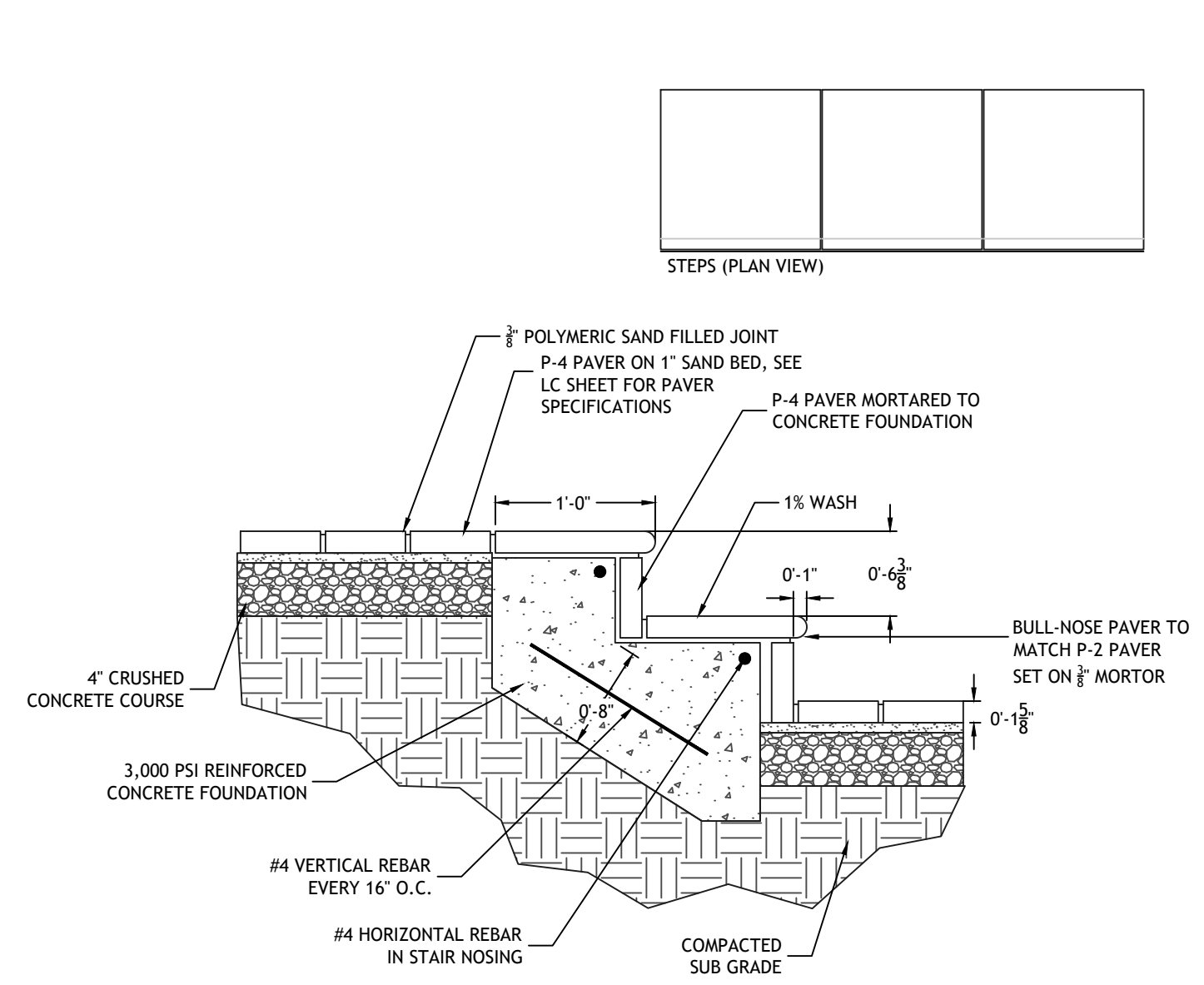
5 **4' HT. ALUMINUM PICKET FENCE**
 LD-1



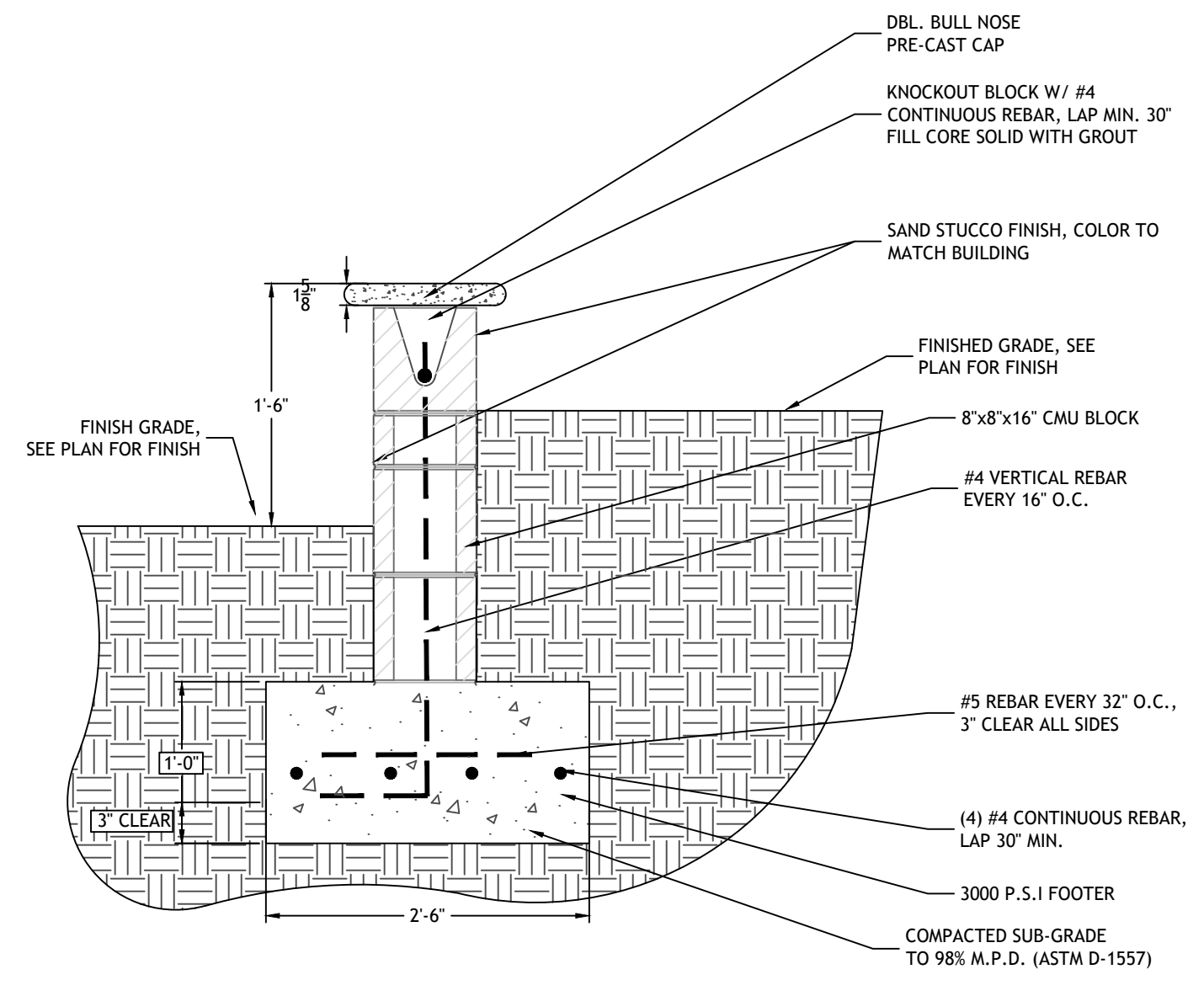
6 **GRILL SECTION**
 LD-1 SCALE 3/4"=1'-0"



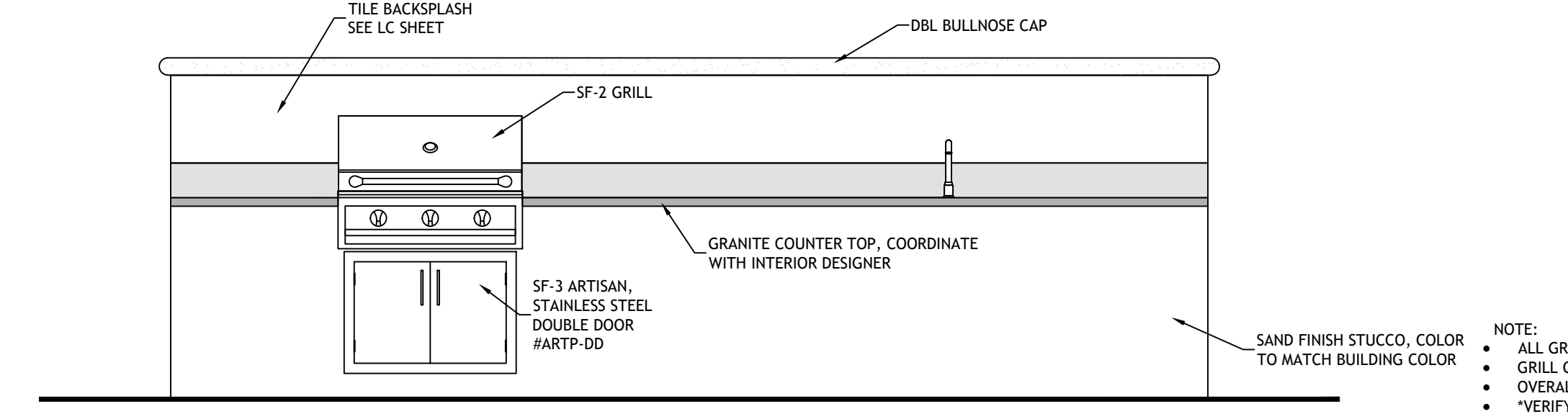
7 **GRILL PLAN AND ELEVATION**
 LD-1 SCALE 1/2"=1'-0"



8 **BRICK PAVER STAIRS**
 LD-1 SCALE 1"=1'-0"



9 **2' HT. CMU WALL**
 LD-1 SCALE 1"=1'-0"



10 **GRILL PLAN AND ELEVATION**
 LD-1 SCALE 1/2"=1'-0"

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	1	S01-DD	08-12-21
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	3	DO PLANS	02-15-22

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NO.	COMMENTS	DATE

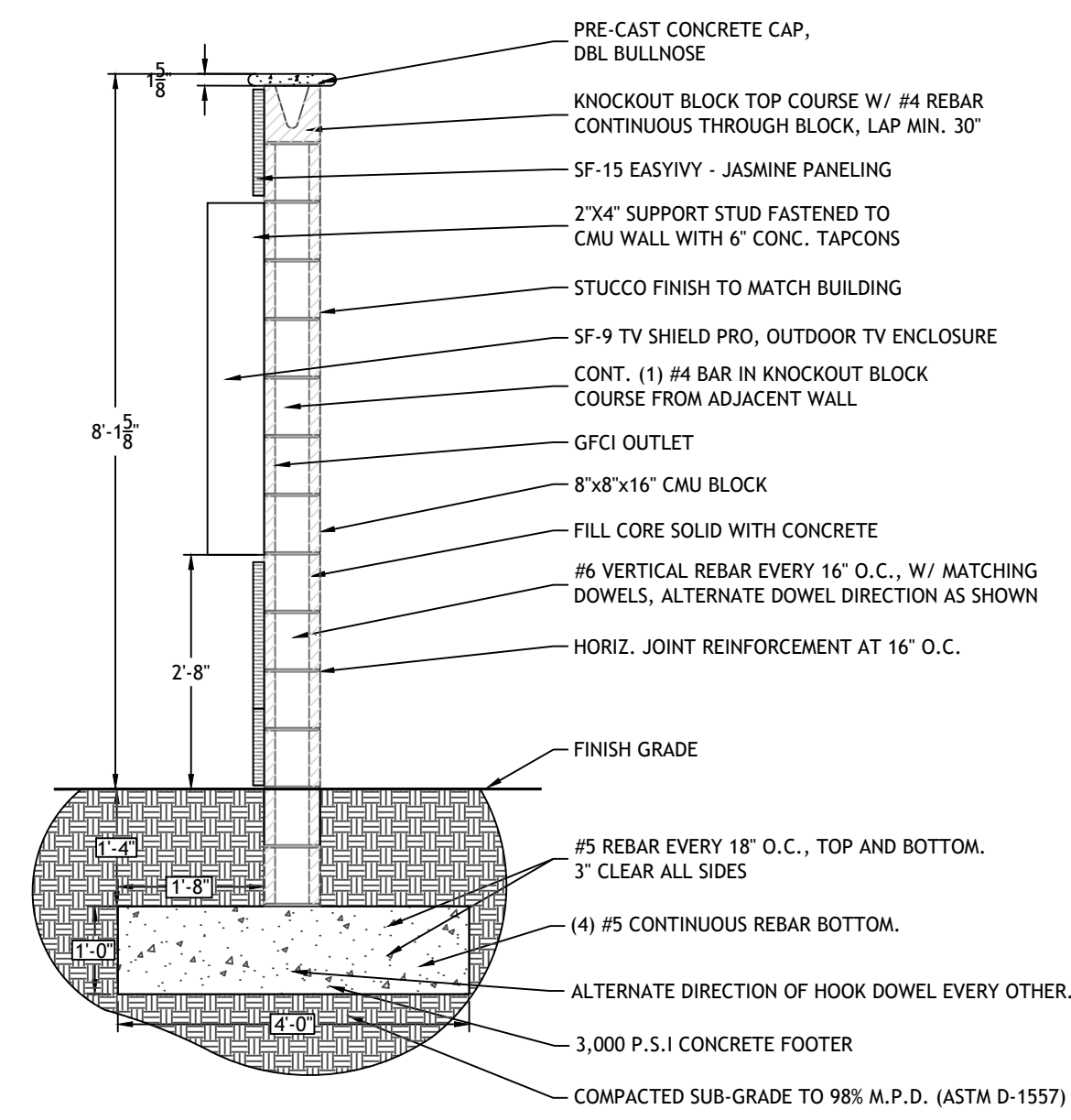
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 DRAWN BY: HB, GS, AH
 CHECKED BY: HB

SCALE: NO SCALE

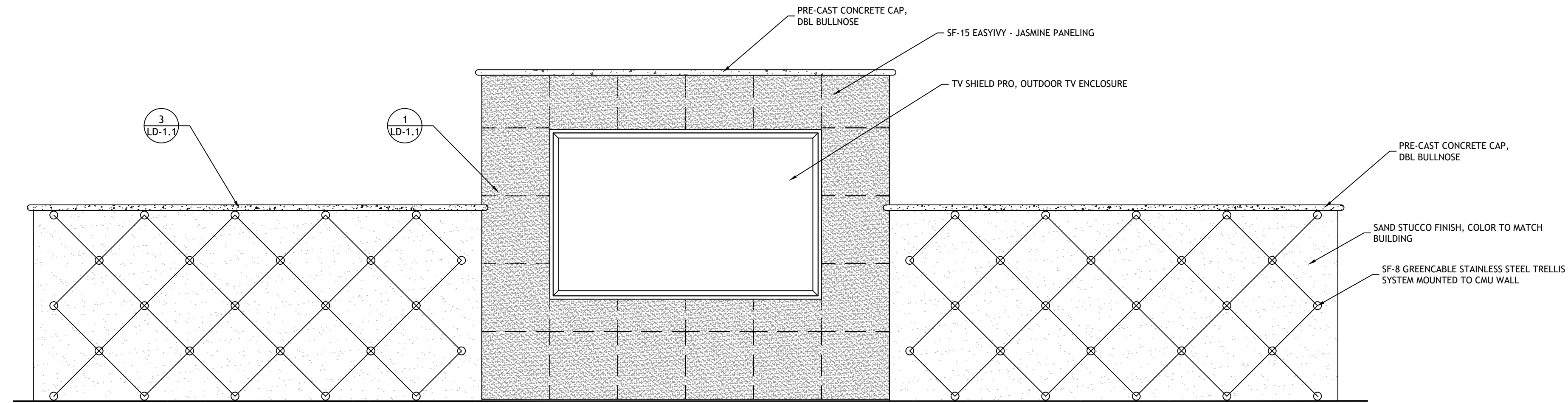


HARDSCAPE
DETAILS

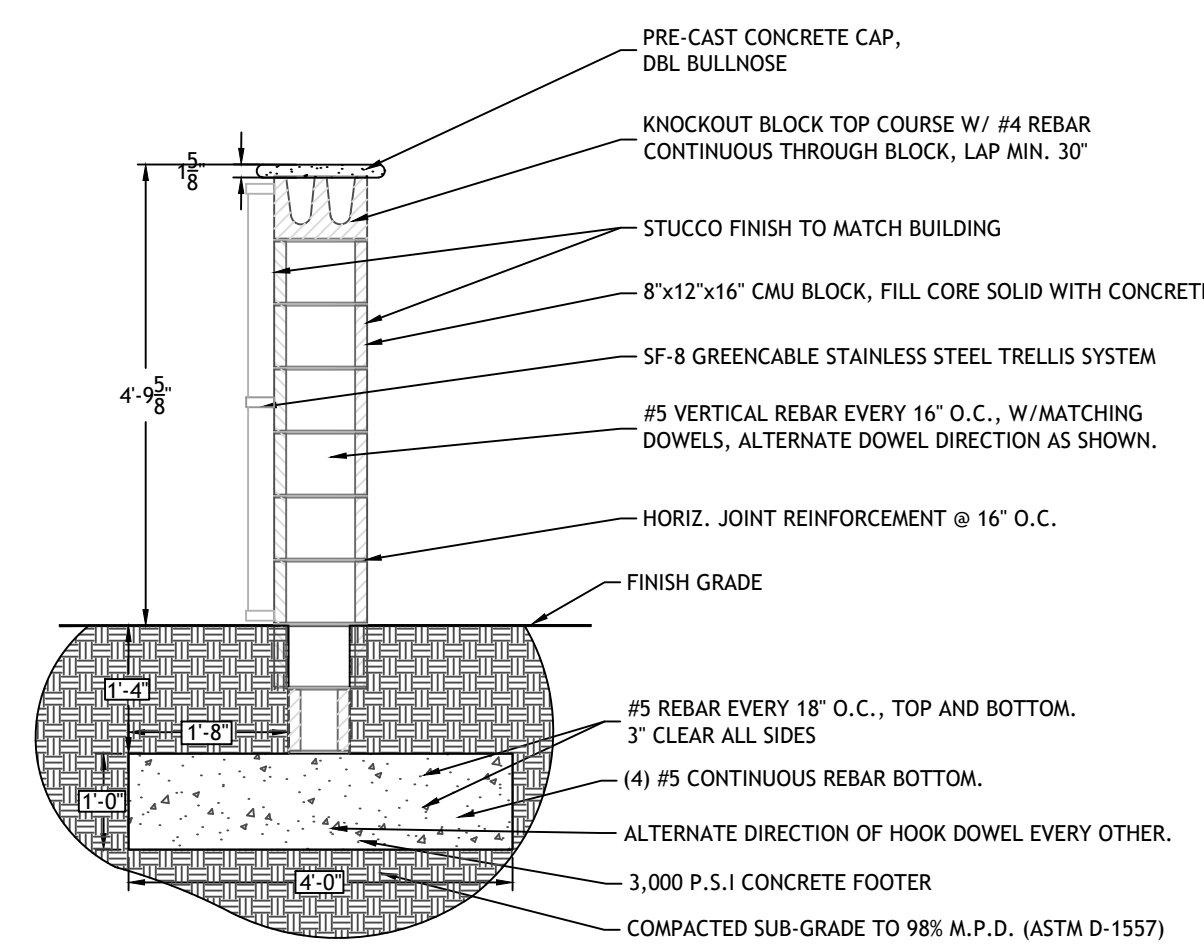
LD-1



1 8' CMU WALL DETAIL
 LD-1.1 SCALE 1/2"=1'-0"
 NOTE: REINFORCEMENT BARS SHALL CONFORM TO ASTM A615, GRADE 60



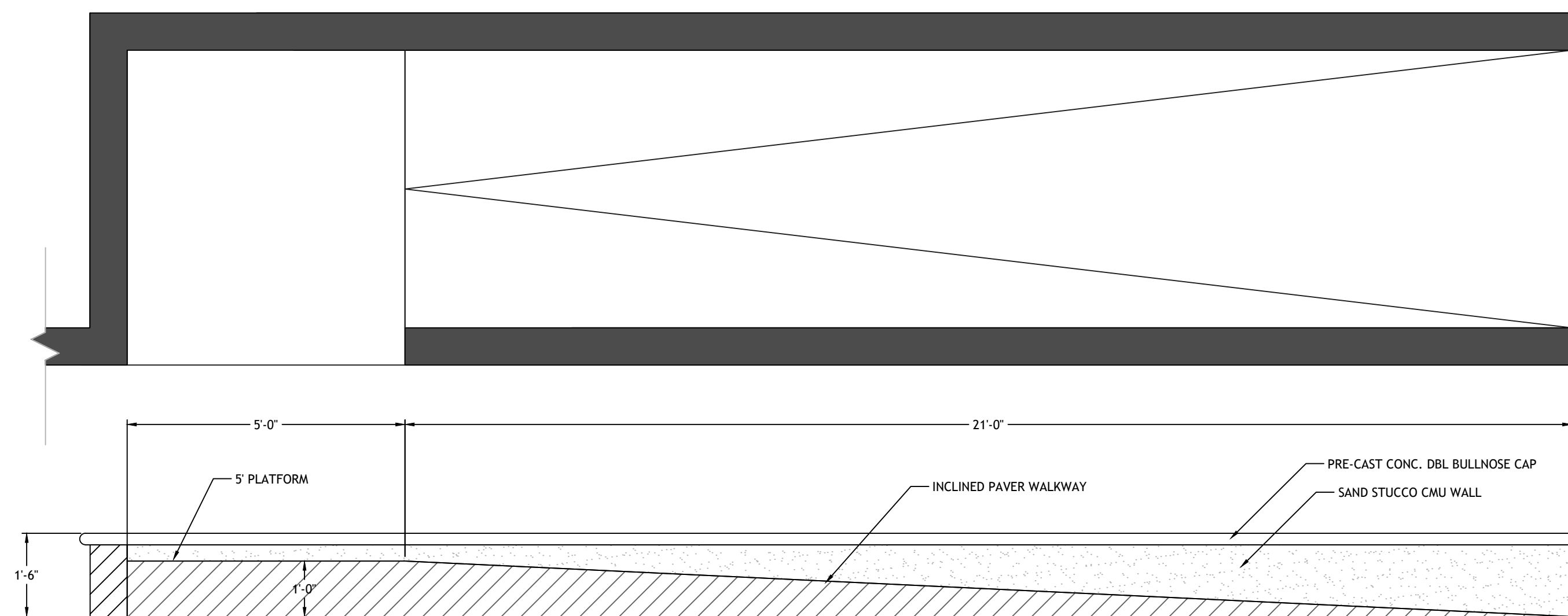
2 TAPERED CMU WALL ELEVATION
 LD-1.1 SCALE 1/2"=1'-0"



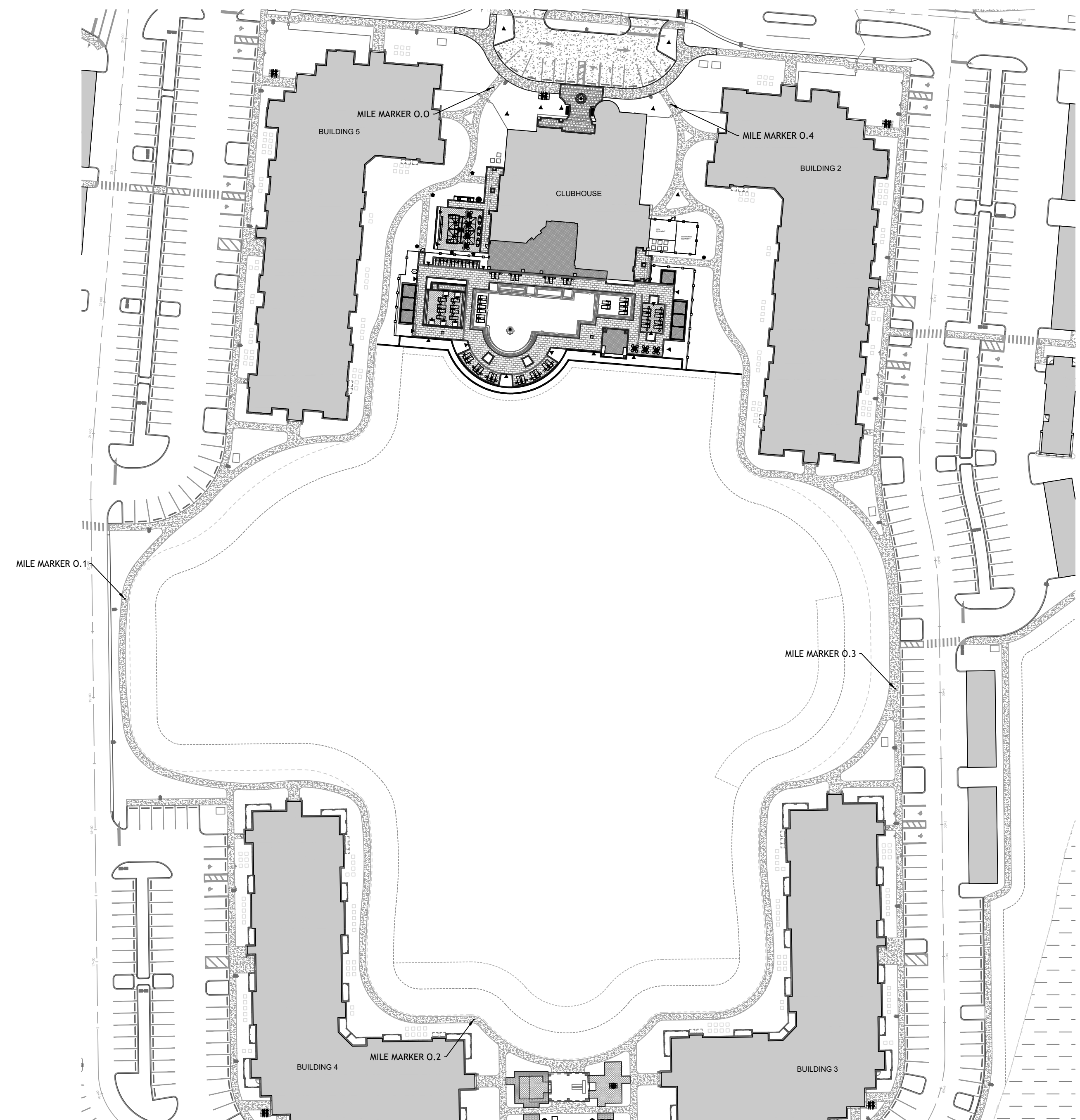
3 5' CMU WALL DETAIL
 LD-1.1 SCALE 1/2"=1'-0"
 NOTE: REINFORCEMENT BARS SHALL CONFORM TO ASTM A615, GRADE 60



4 MILE MARKER INLAY
 LD-1.1 NOT TO SCALE



5 SLOPED PAVER WALKWAY
 LD-1.1 SCALE 1/2"=1'-0"



6 MILE MARKER INLAY SITE PLAN
 LD-1.1 SCALE 1"=60'-0"



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1	SOFI DD	08-12-21
2	DO PLANS	09-24-21
3	DO PLANS	02-15-22

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NO.	COMMENTS	DATE

SHEET INFORMATION

JOB NUMBER 21017
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 CHECKED BY HB

SCALE: NO SCALE



HARDSCAPE DETAILS

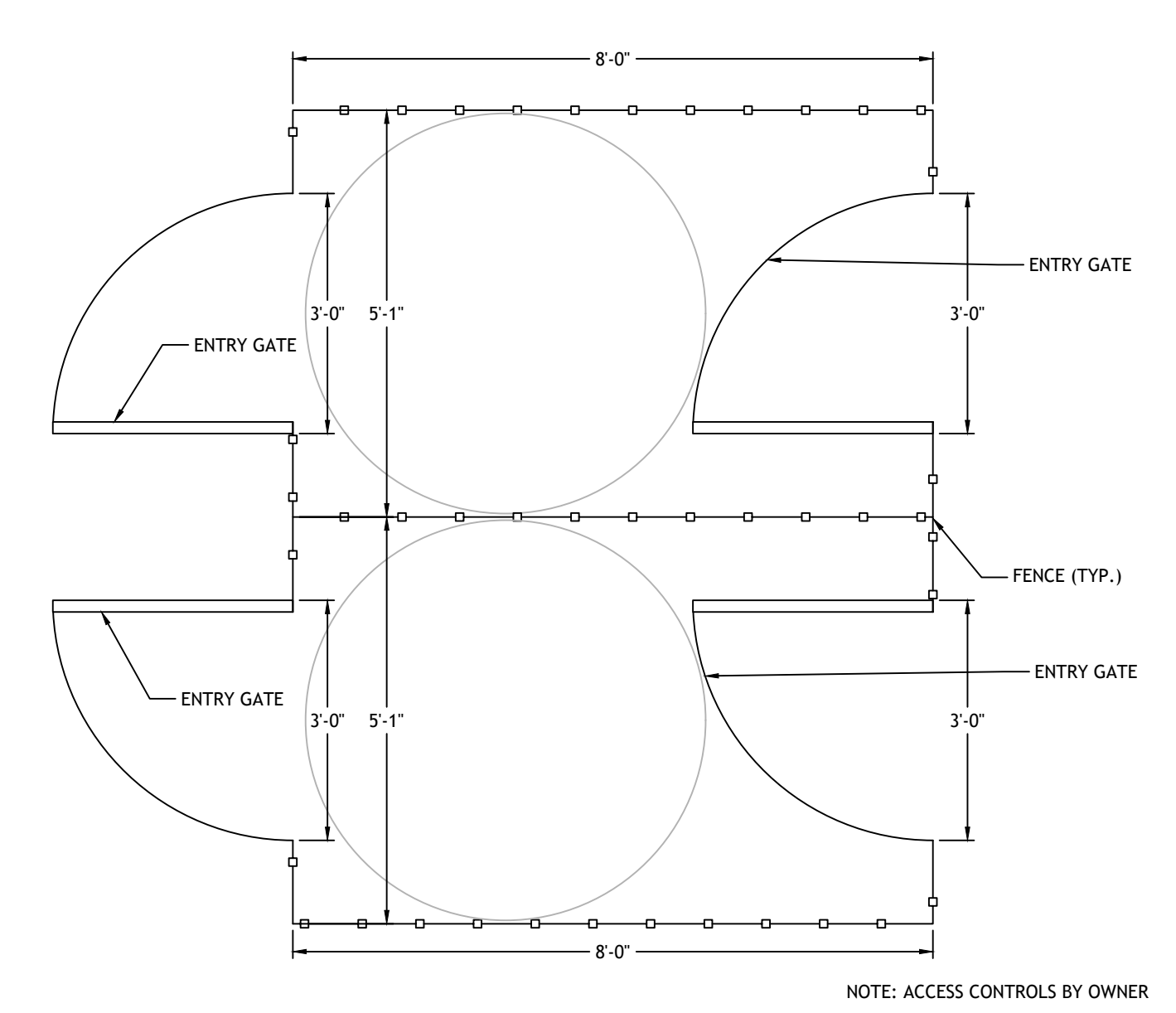
LD-1.1

ISSUE DATE	
1	5/21/20 08-12-21
2	DO PLANS 09-24-21
3	DO PLANS 02-15-22

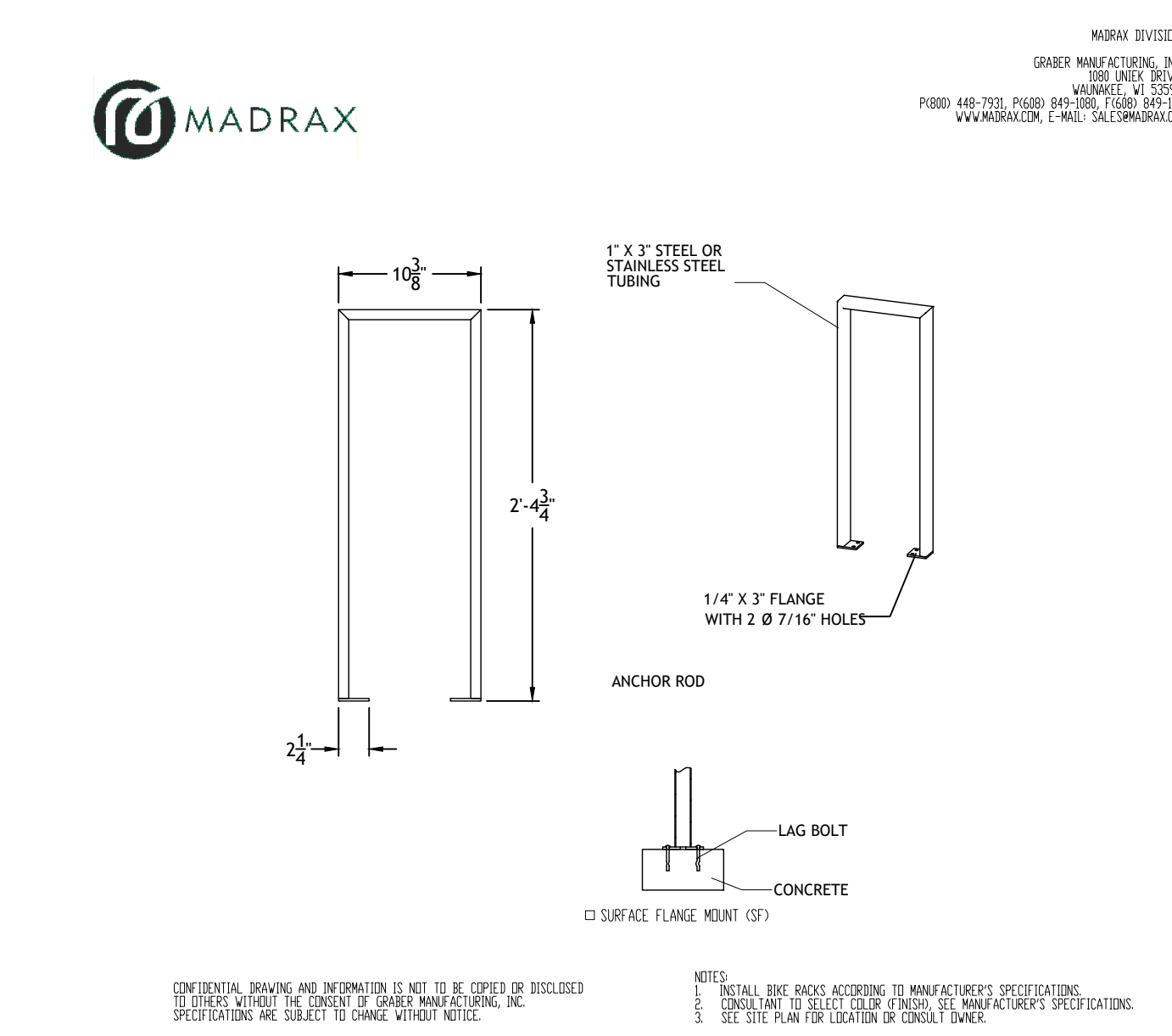
NO.	COMMENTS	DATE

SHEET INFORMATION

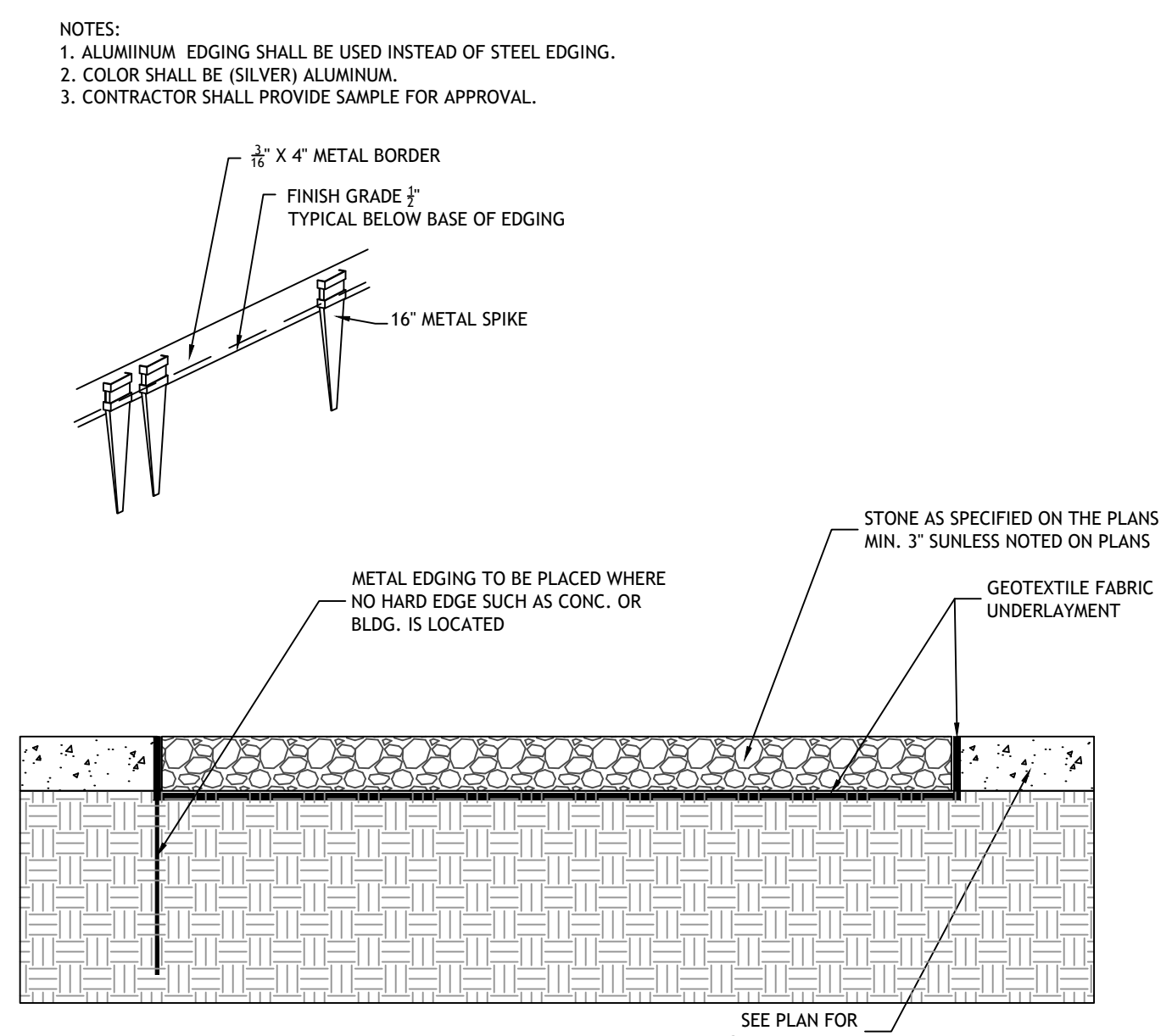
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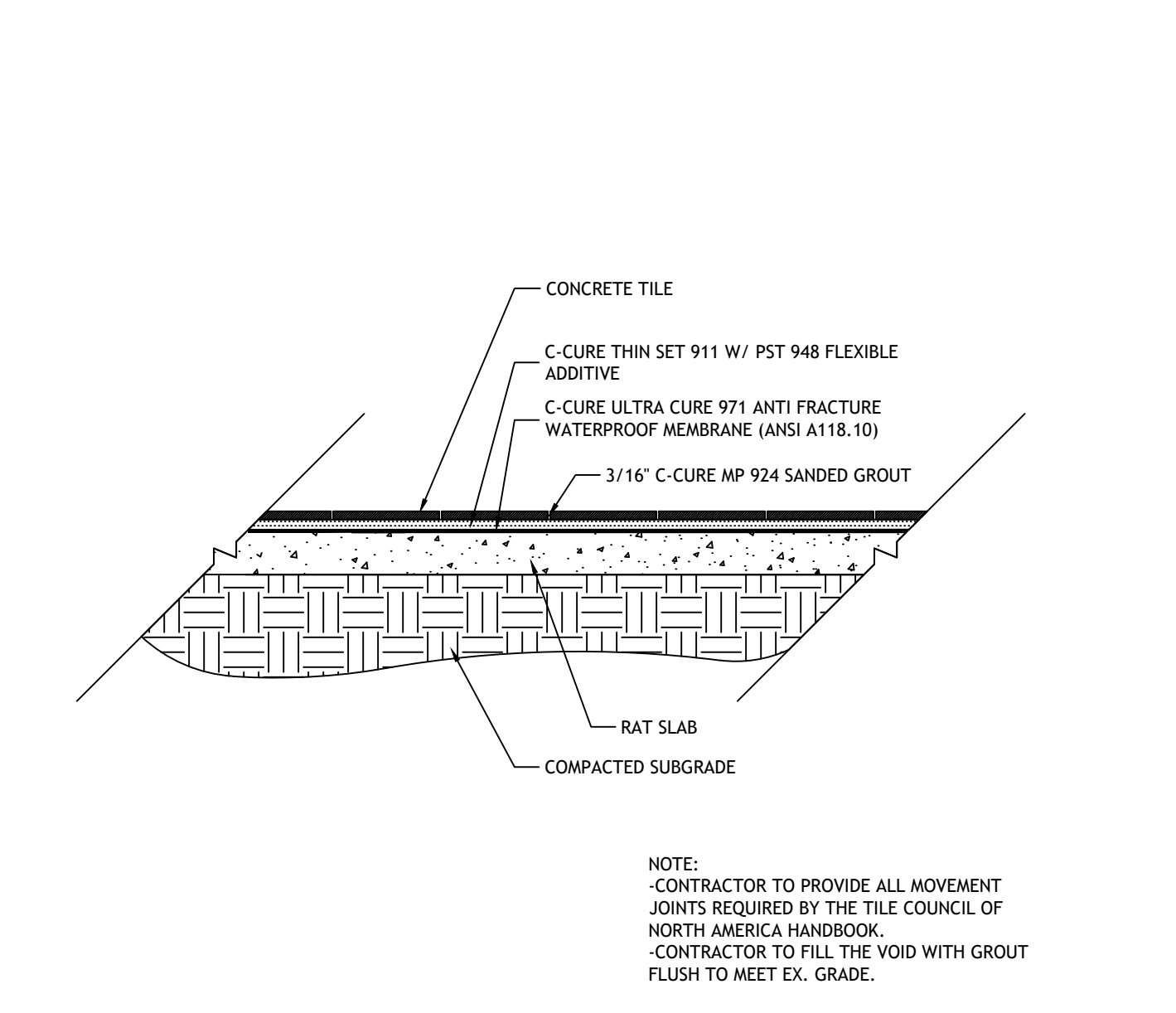
4 DOG PARK ENTRY GATE
SCALE: 1/2"=1'-0"



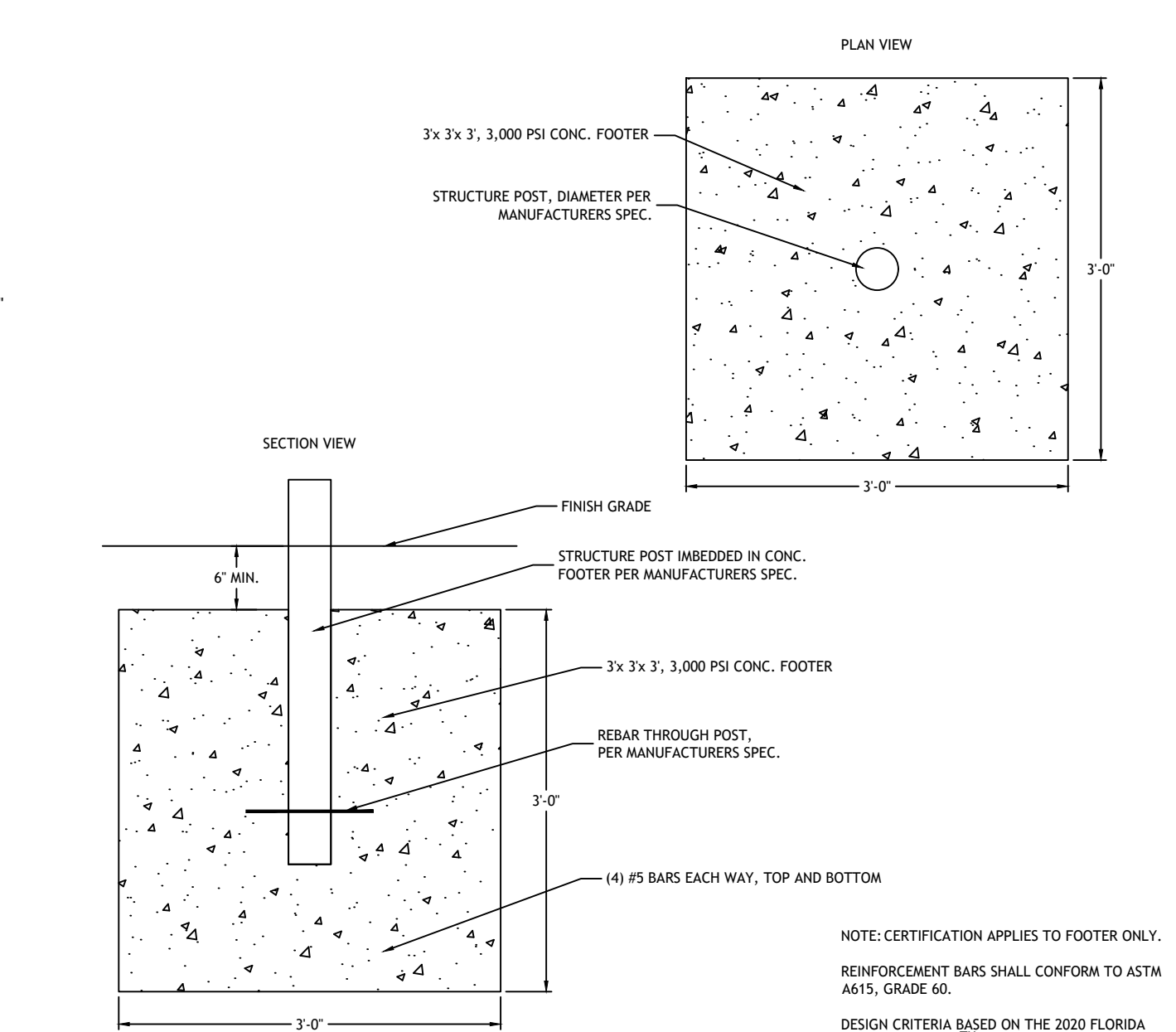
3 BIKE RACK DETAIL
SCALE: NTS



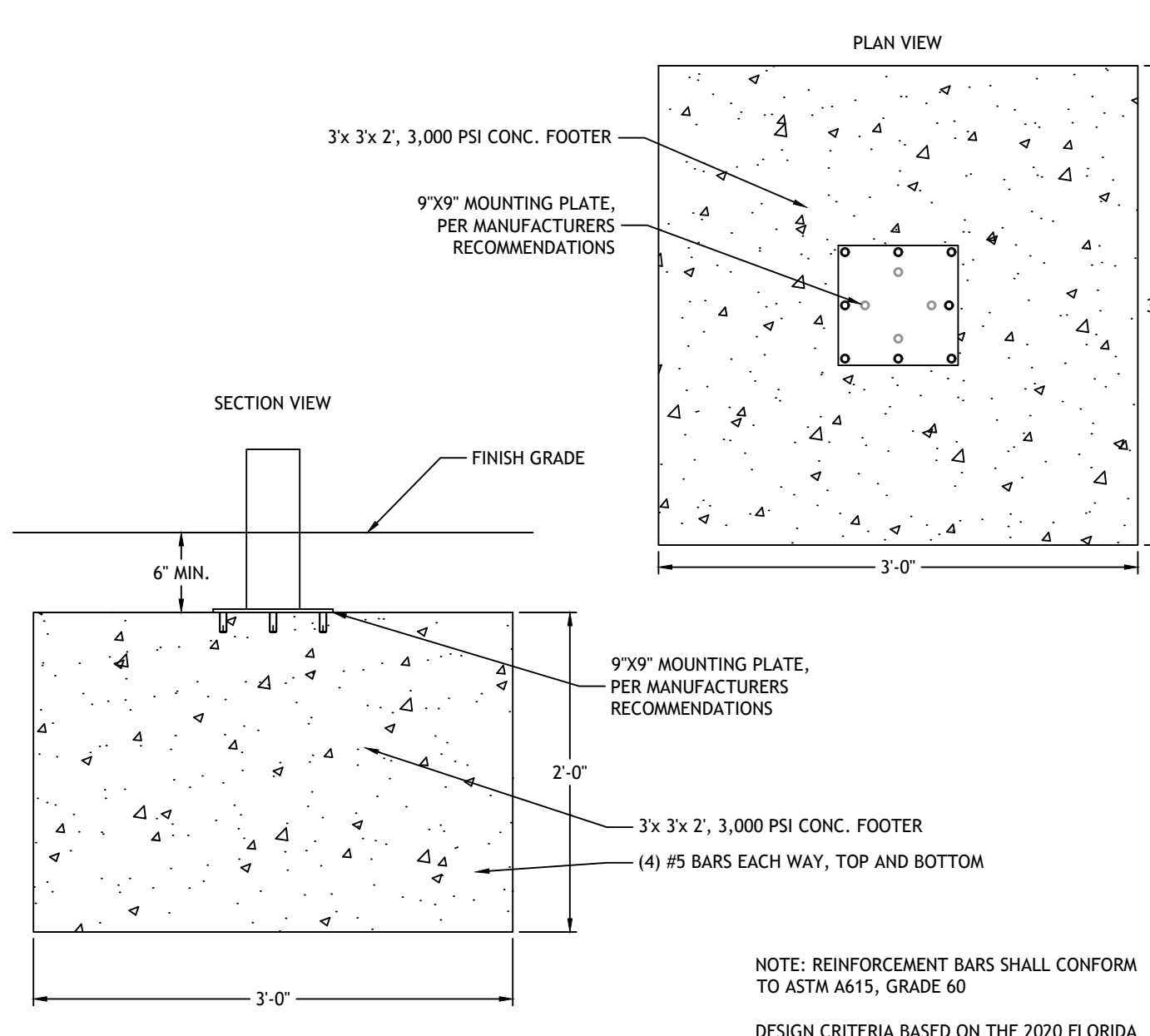
2 ROCK W/ UNDERLAYMENT



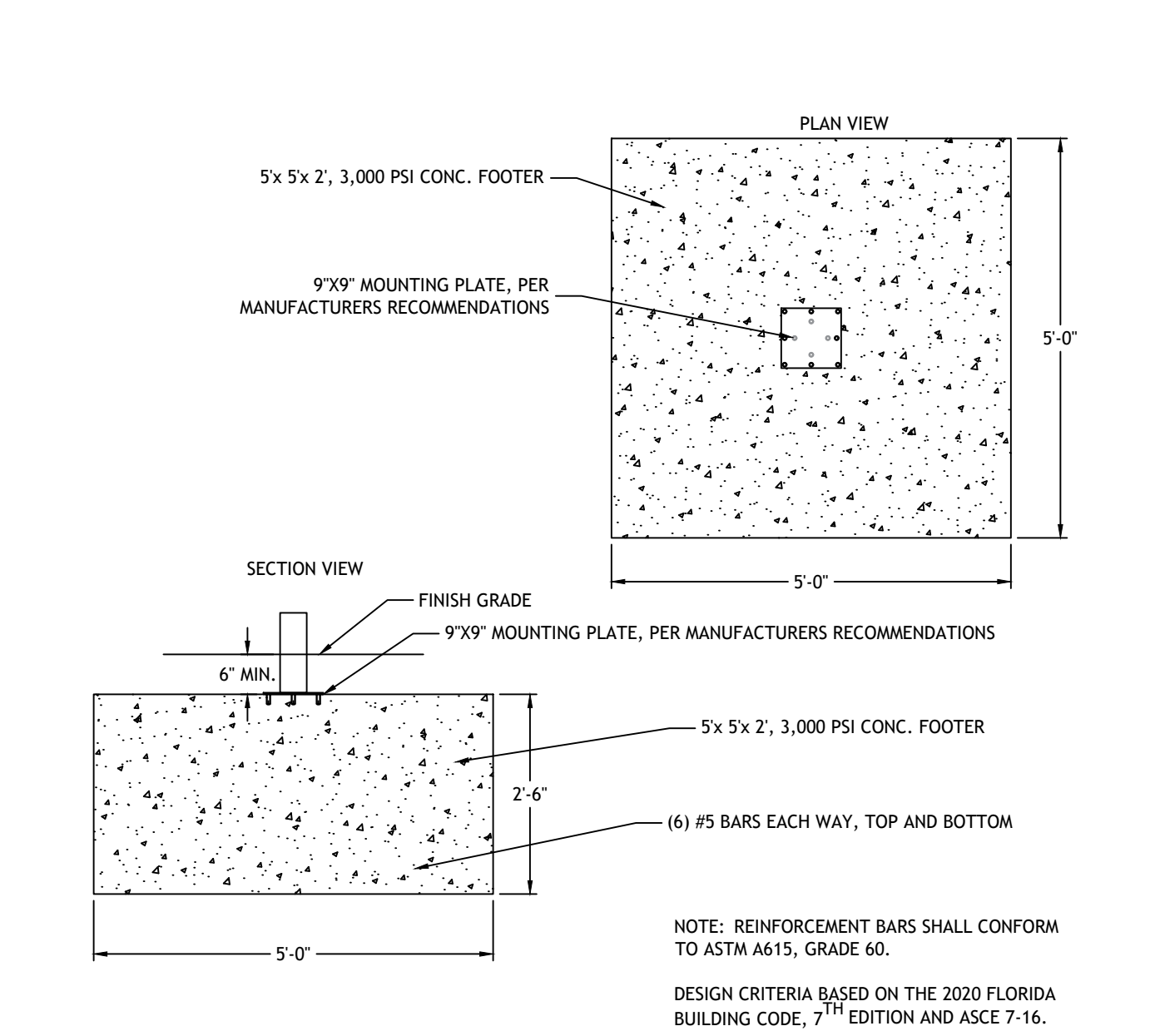
1 CONCRETE TILE SETTING SECTION DETAIL
N.T.S.



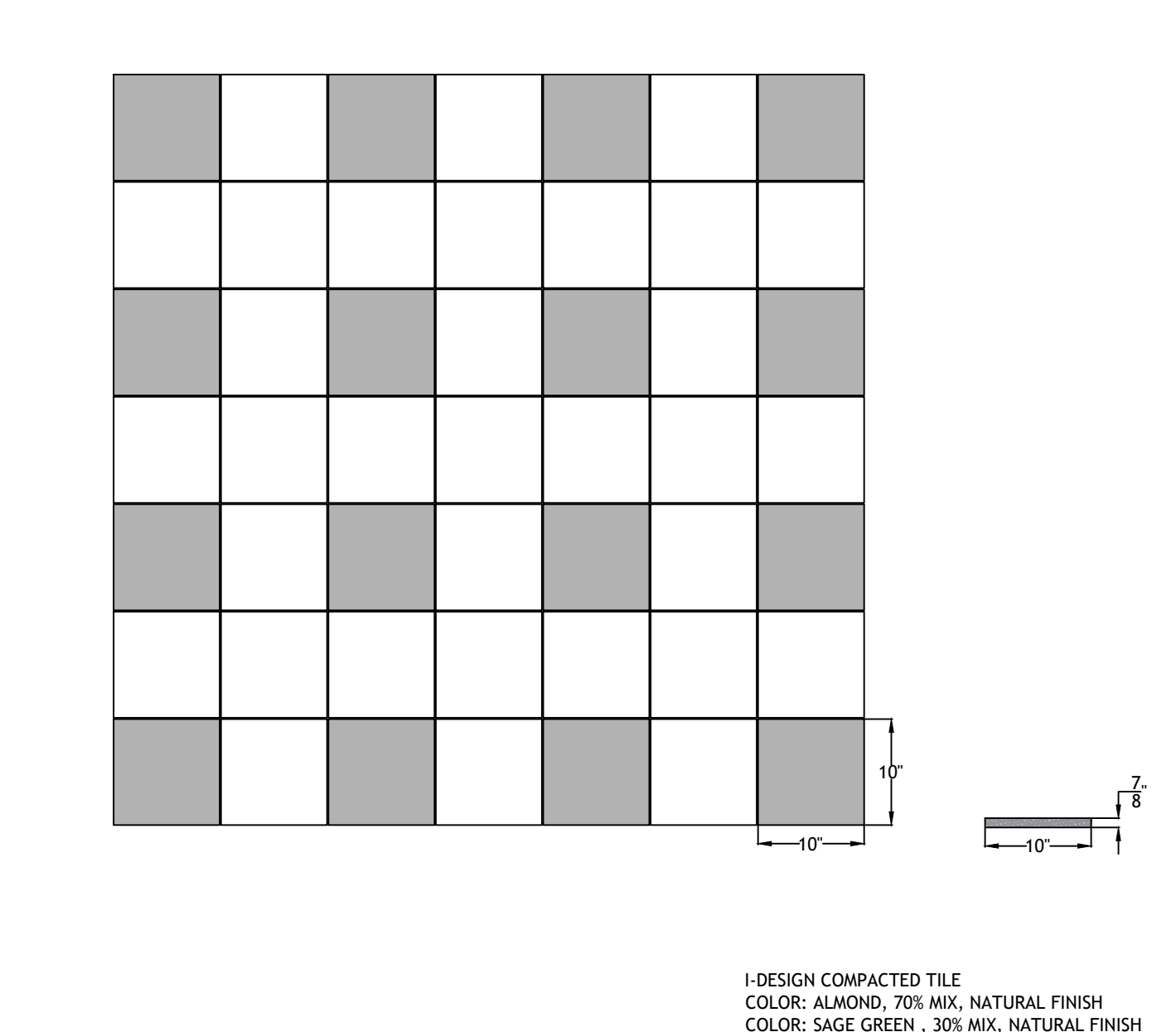
8 12'x 24' T-POST SHADE STRUCTURE FOOTER
SCALE: 3/4" = 1'-0"



7 10'x 10' CABANA FOOTER DETAIL
SCALE: 1"=1'-0"



6 10'x10' QUAD UMBRELLA FOOTER DETAIL
SCALE: 1/2"=1'-0"



5 ACCENT TILE LAYOUT
SCALE: 1/2"=1'-0"

MADRAX DESIGN
GRABER MANUFACTURING, INC.
1005 S. BIRCH DRIVE
VALMORALE, VA 22070
PH: 703.732.8100 FAX: 703.732.8101
WWW.MADRAX.COM E-MAIL: SALES@MADRAX.COM



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NOTES:
1. ALUMINUM EDGING SHALL BE USED INSTEAD OF STEEL EDGING.
2. COLOR SHALL BE (SILVER) ALUMINUM.
3. CONTRACTOR SHALL PROVIDE SAMPLE FOR APPROVAL.

NOTE:
-CONTRACTOR TO PROVIDE ALL MOVEMENT JOINTS REQUIRED BY THE TILE COUNCIL OF NORTH AMERICA HANDBOOK.
-CONTRACTOR TO FILL THE VOID WITH GROUT FLUSH TO MEET EX. GRADE.

SEE PLAN FOR ADJACENT MATERIAL

NOTES:
1. INSTALL RING RINGS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULTANT TO VERIFY COLOR OF FINISH, PER MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OF CONCRETE SLAB.

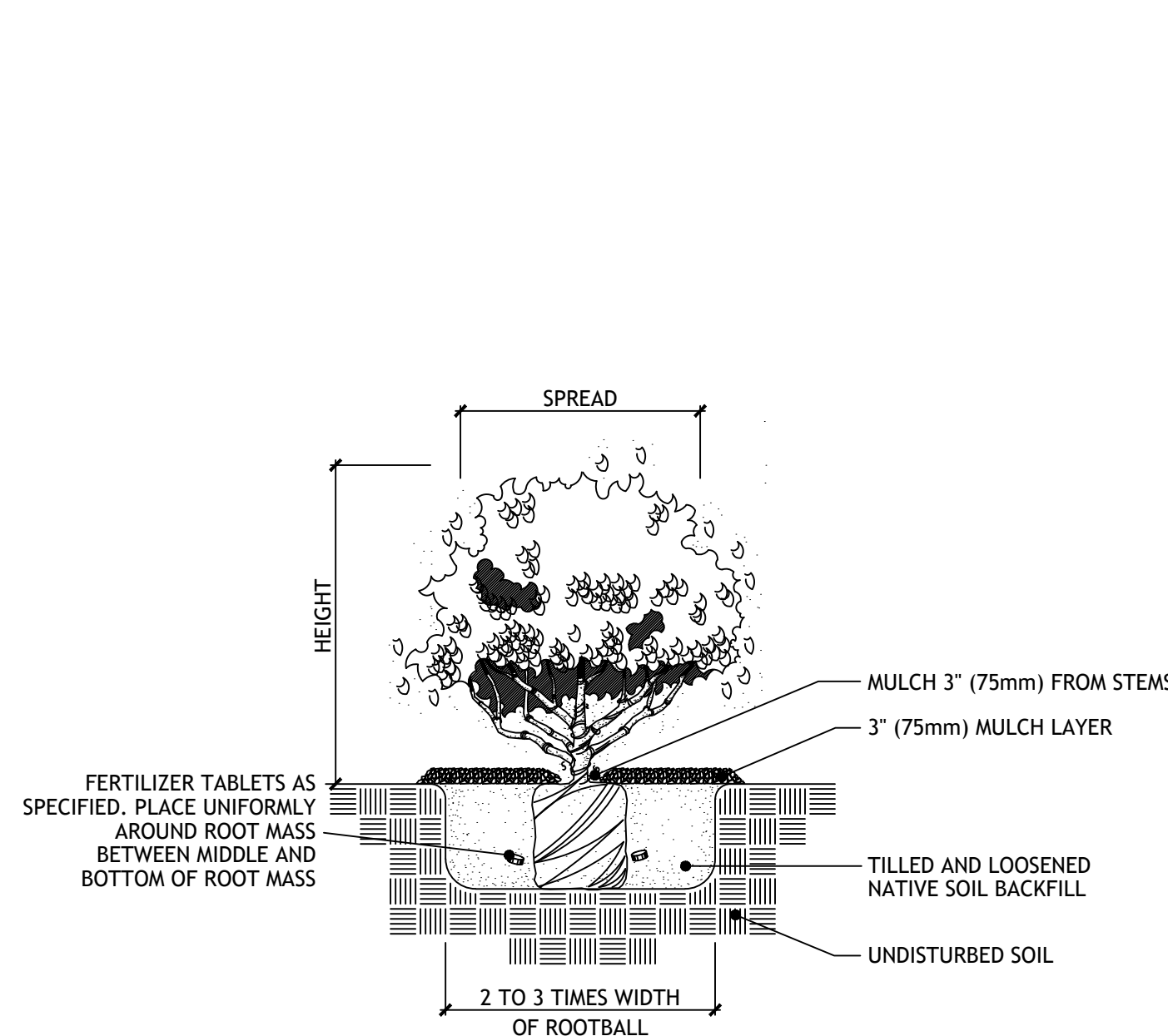
NOTE: ACCESS CONTROLS BY OWNER

1-DESIGN COMPACTED TILE
COLOR: ALMOND, 70% MIX, NATURAL FINISH
COLOR: SAGE GREEN, 30% MIX, NATURAL FINISH

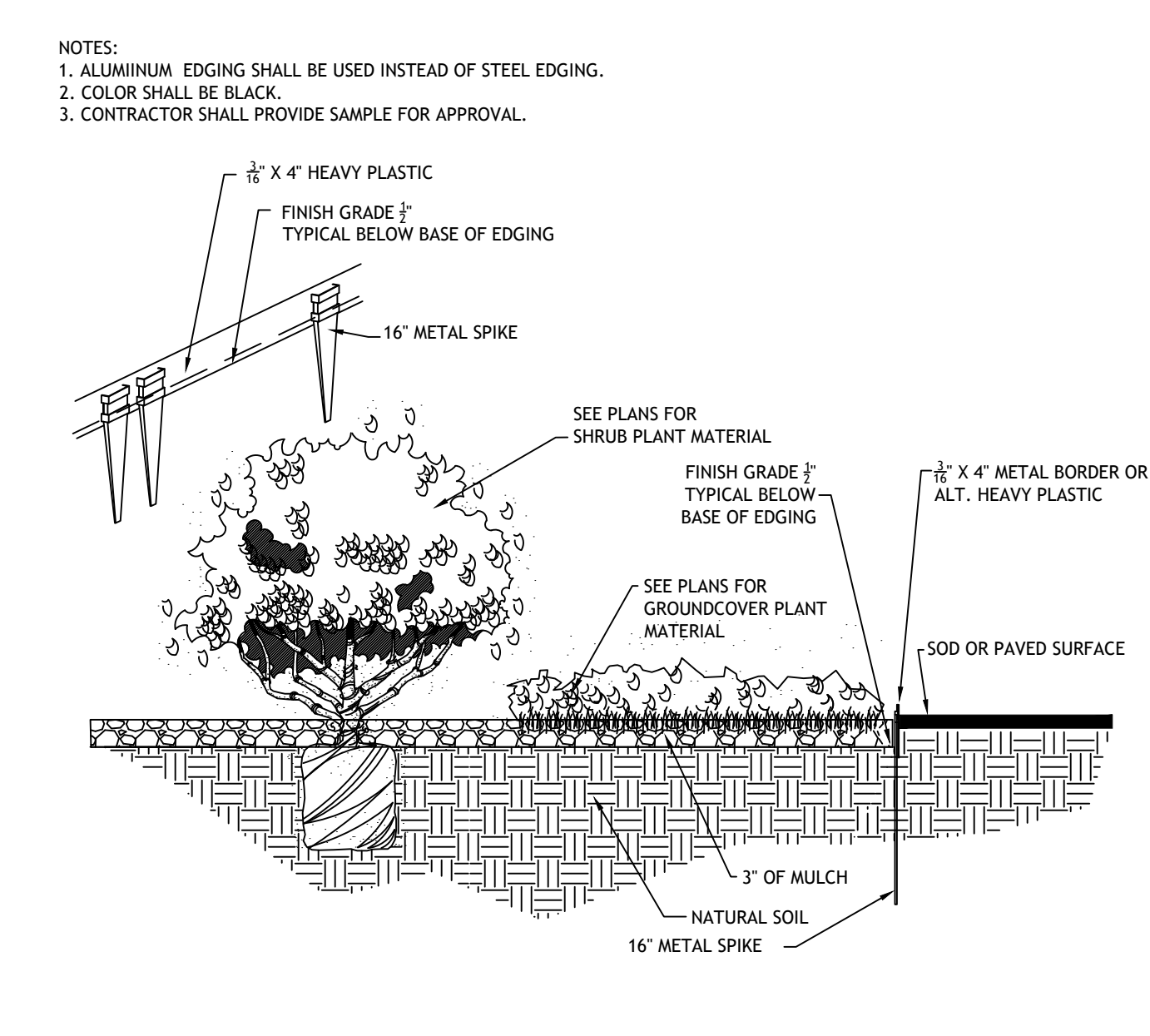
NOTE: REINFORCEMENT BARS SHALL CONFORM TO ASTM A615, GRADE 60.
DESIGN CRITERIA BASED ON THE 2020 FLORIDA BUILDING CODE, 7TH EDITION AND ASCE 7-16.

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DESIGN CRITERIA BASED ON THE 2020 FLORIDA BUILDING CODE, 7TH EDITION AND ASCE 7-16.

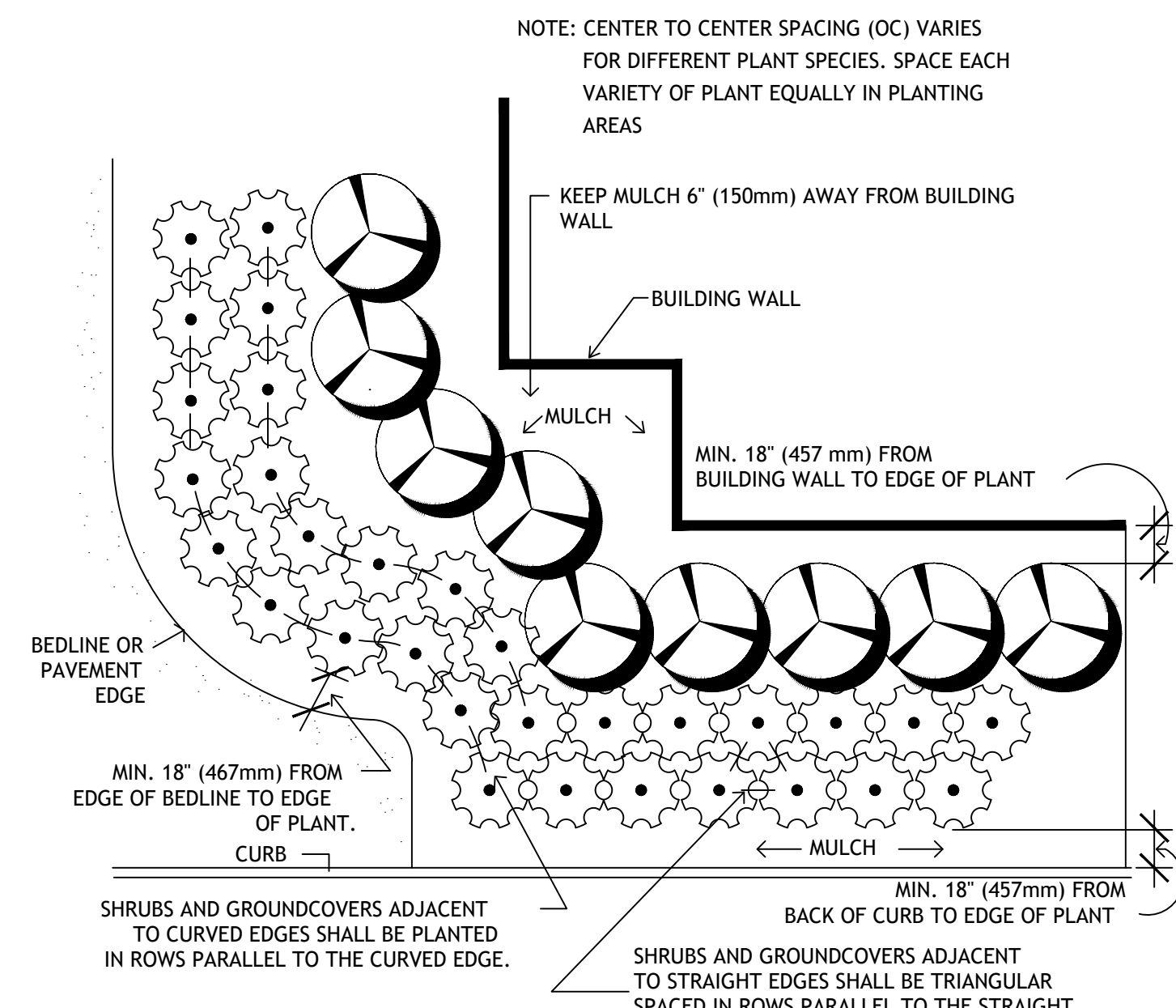
NOTE: CERTIFICATION APPLIES TO FOOTER ONLY.
REINFORCEMENT BARS SHALL CONFORM TO ASTM A615, GRADE 60.
DESIGN CRITERIA BASED ON THE 2020 FLORIDA BUILDING CODE, 7TH EDITION AND ASCE 7-16.



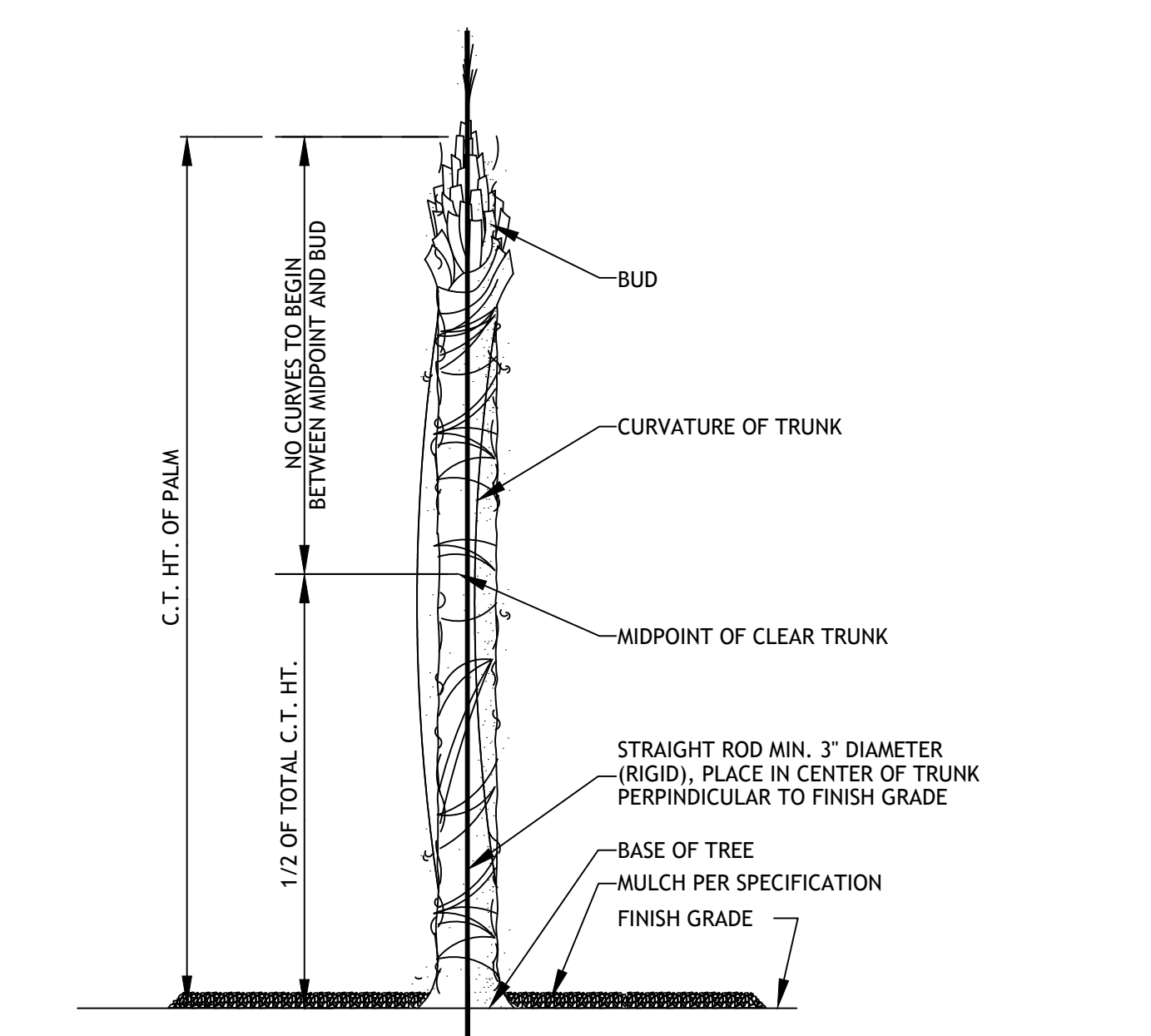
1 SHRUB PLANTING DETAIL
LD-2



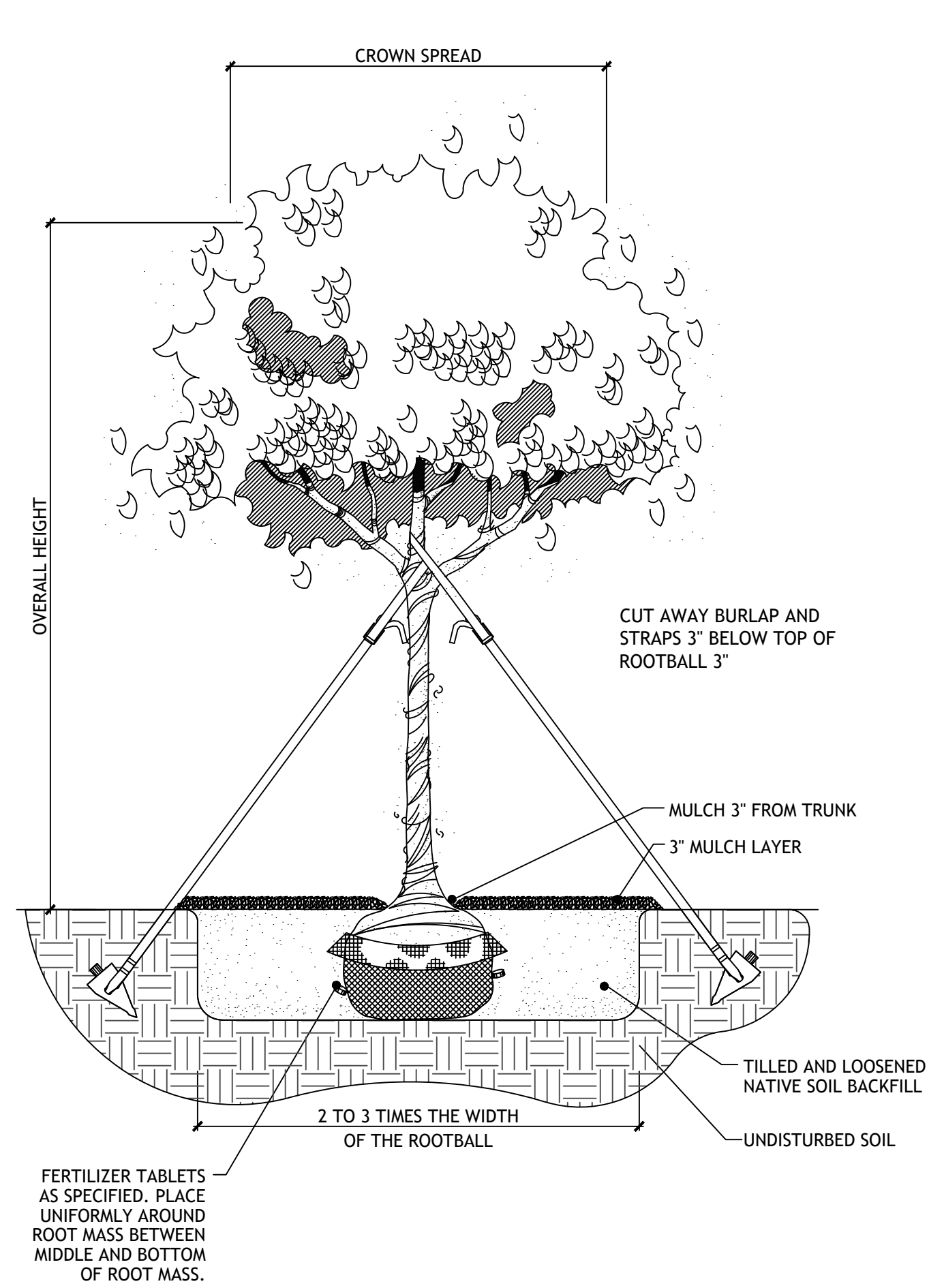
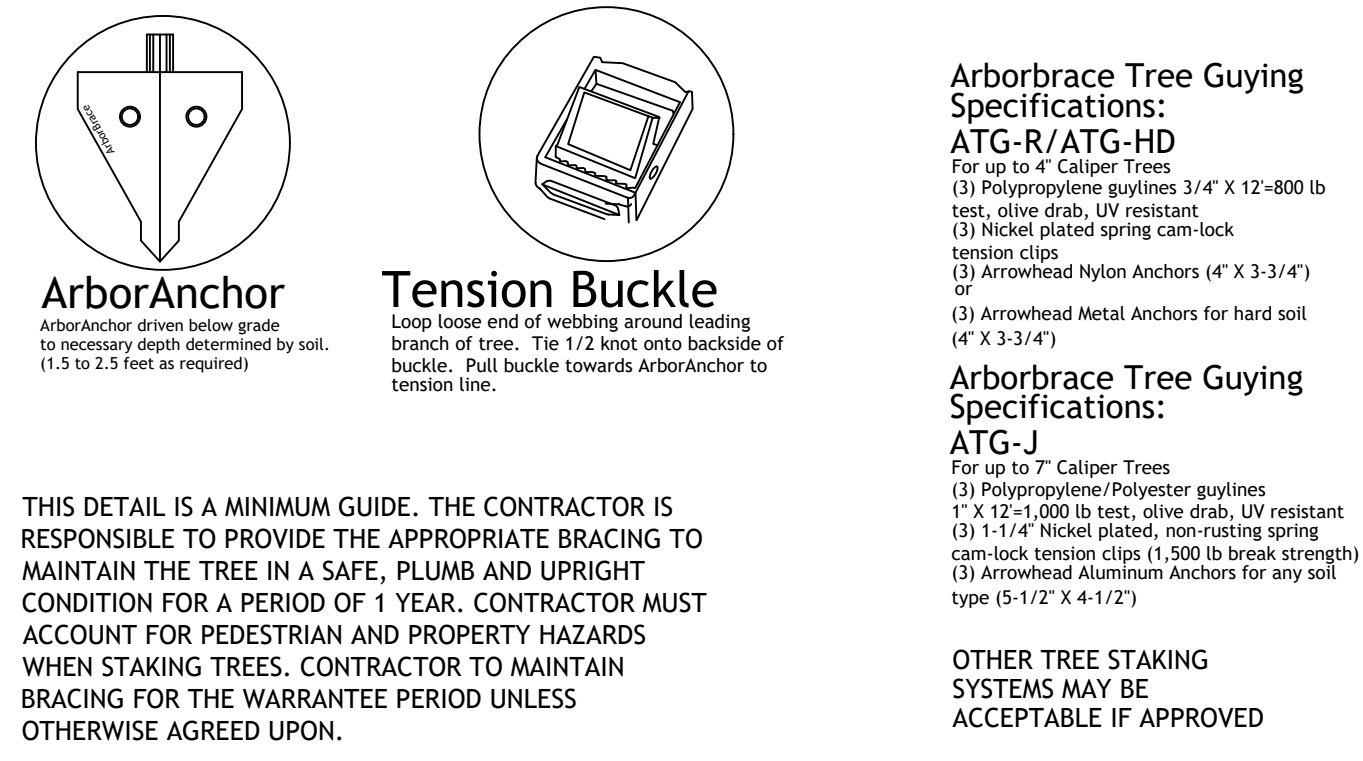
2 METAL LANDSCAPE BED EDGING
LD-2



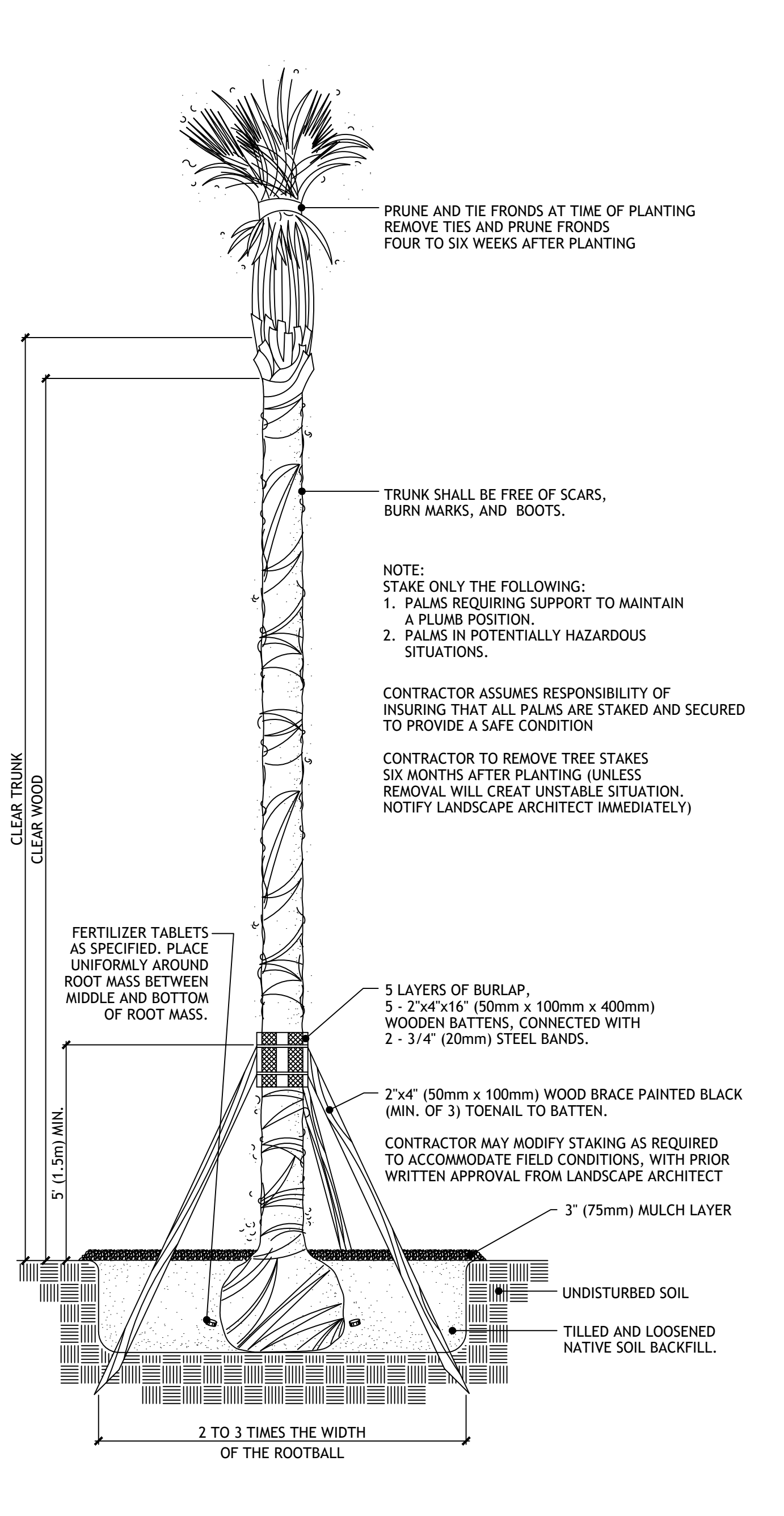
3 SHRUB AND GROUND COVER LAYOUT DETAIL
LD-2



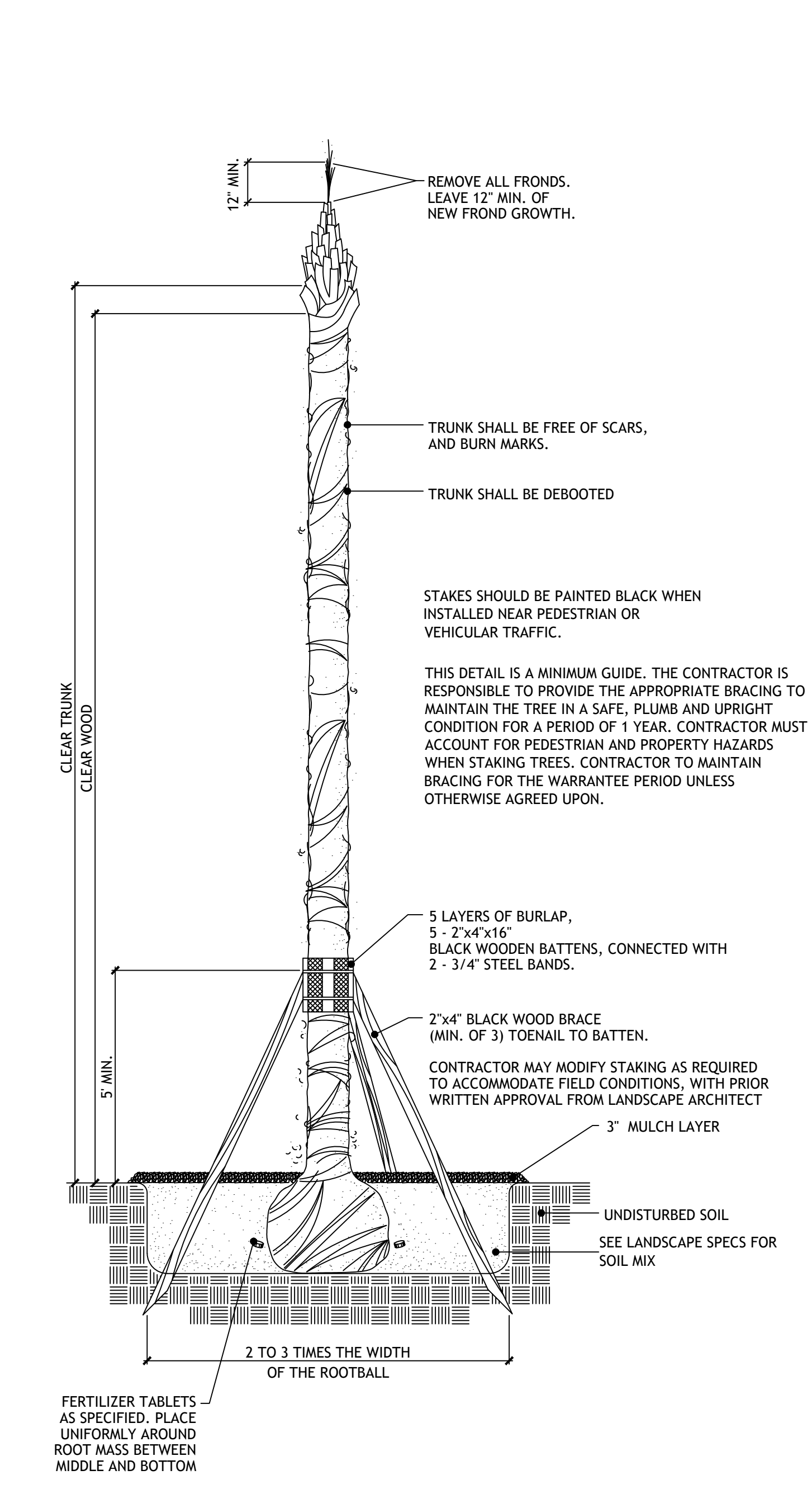
4 SABAL PALM ACCEPTABLE CURVATURE DETAIL
LD-2



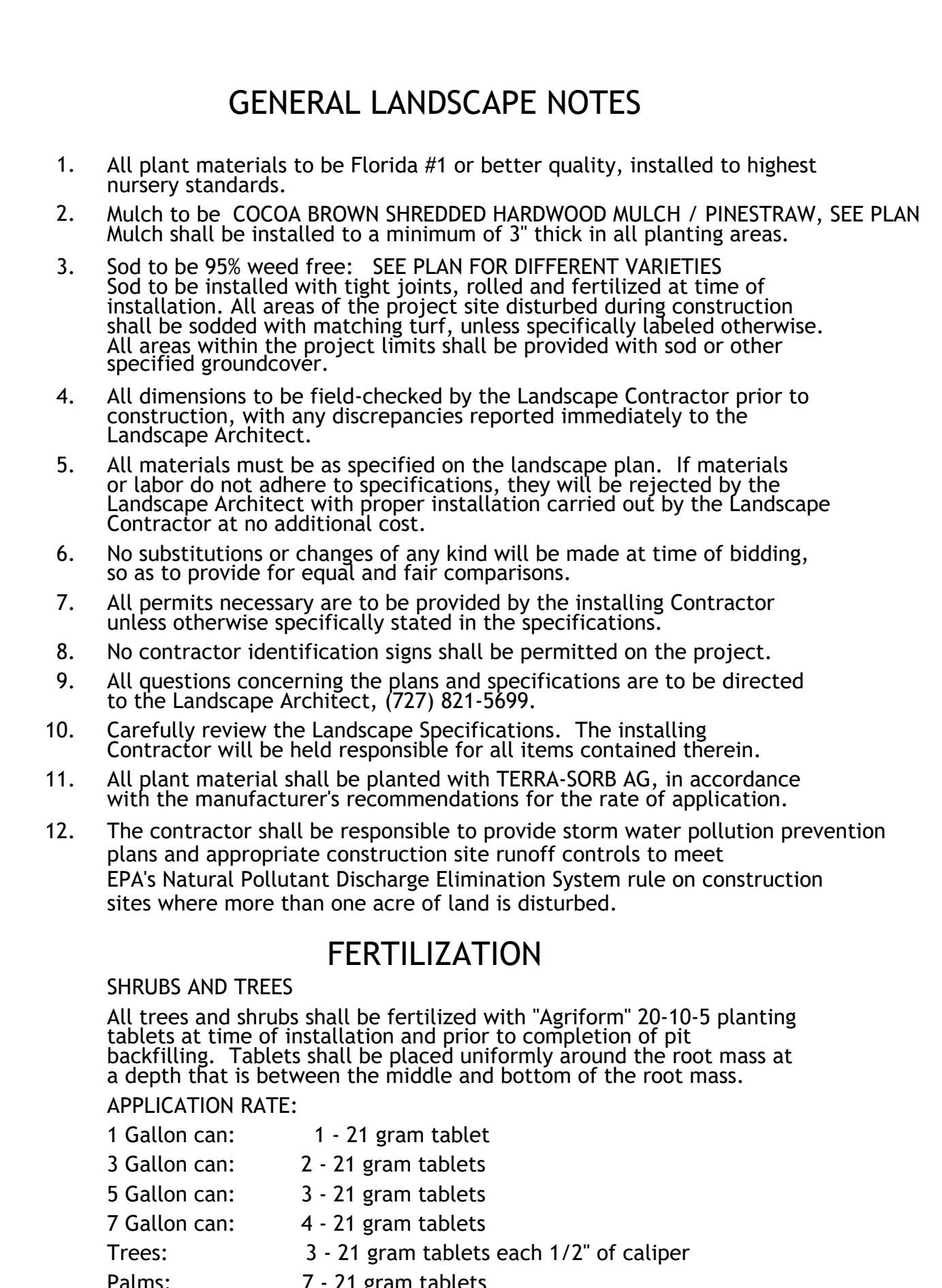
5 ARBOR BRACE TREE PLANTING DETAIL
LD-2 SCALE: N.T.S.



6 PALM PLANTING DETAIL (EXCEPT SABAL PALMS)
LD-2



7 SABAL PALM PLANTING DETAIL
LD-2



7 SABAL PALM PLANTING DETAIL
LD-2

GENERAL LANDSCAPE NOTES

- All plant materials to be Florida #1 or better quality, installed to highest nursery standards.
- Mulch to be COCOA BROWN SHREDDED HARDWOOD MULCH / PINESTRAW, SEE PLAN Mulch shall be installed to a minimum of 3" thick in all planting areas.
- Sod to be 95% weed free: SEE PLAN FOR DIFFERENT VARIETIES Sod to be installed with tight joints, rolled and fertilized at time of installation. All areas of the project site disturbed during construction shall be sodded with matching turf, unless specifically labeled otherwise. All areas within the project limits shall be provided with sod or other specified groundcover.
- All dimensions to be field-checked by the Landscape Contractor prior to construction, with any discrepancies reported immediately to the Landscape Architect.
- All materials must be as specified on the landscape plan. If materials or labor do not adhere to specifications, they will be rejected by the Landscape Architect with proper installation carried out by the Landscape Contractor at no additional cost.
- No substitutions or changes of any kind will be made at time of bidding, so as to provide for equal and fair comparisons.
- All permits necessary are to be provided by the installing Contractor unless otherwise specifically stated in the specifications.
- No contractor identification signs shall be permitted on the project.
- All questions concerning the plans and specifications are to be directed to the Landscape Architect, (727) 821-5699.
- Carefully review the Landscape Specifications. The installing Contractor will be held responsible for all items contained therein.
- All plant material shall be planted with TERRA-SORB AG, in accordance with the manufacturer's recommendations for the rate of application.
- The contractor shall be responsible to provide storm water pollution prevention plans and appropriate construction site runoff controls to meet EPA's Natural Pollutant Discharge Elimination System rule on construction sites where more than one acre of land is disturbed.

FERTILIZATION

SHRUBS AND TREES
All trees and shrubs shall be fertilized with "Agriform" 20-10-5 planting tablets at time of installation and prior to completion of pit backfilling. Tablets shall be placed uniformly around the root mass at a depth that is between the middle and bottom of the root mass.

APPLICATION RATE:
1 Gallon can: 1 - 21 gram tablet
3 Gallon can: 2 - 21 gram tablets
5 Gallon can: 3 - 21 gram tablets
7 Gallon can: 4 - 21 gram tablets
Trees: 3 - 21 gram tablets each 1/2" of caliper
Palms: 7 - 21 gram tablets

GROUND COVER AREAS
All groundcover areas shall receive fertilization with "Osmocote" time release fertilizer as per manufacturer's specifications.

NOTES:
1. ALUMINUM EDGING SHALL BE USED INSTEAD OF STEEL EDGING.
2. COLOR SHALL BE BLACK.
3. CONTRACTOR SHALL PROVIDE SAMPLE FOR APPROVAL.

NOTE: CENTER TO CENTER SPACING (OC) VARIES FOR DIFFERENT PLANT SPECIES. SPACE EACH VARIETY OF PLANT EQUALLY IN PLANTING AREAS

PRUNE AND TIE FRONDS AT TIME OF PLANTING REMOVE TIES AND PRUNE FRONDS FOUR TO SIX WEEKS AFTER PLANTING

NOTE:
STAKE ONLY THE FOLLOWING:
1. PALMS REQUIRING SUPPORT TO MAINTAIN A PLUMB POSITION.
2. PALMS IN POTENTIALLY HAZARDOUS SITUATIONS.

CONTRACTOR ASSUMES RESPONSIBILITY OF INSURING THAT ALL PALMS ARE STAKED AND SECURED TO PROVIDE A SAFE CONDITION

CONTRACTOR TO REMOVE TREE STAKES SIX MONTHS AFTER PLANTING (UNLESS REMOVAL WILL GREAT UNSTABLE SITUATION. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY)

REMOVE ALL FRONDS. LEAVE 12" MIN. OF NEW FROND GROWTH.

TRUNK SHALL BE FREE OF SCARS, AND BURN MARKS.
TRUNK SHALL BE DEBOOTED

STAKES SHOULD BE PAINTED BLACK WHEN INSTALLED NEAR PEDESTRIAN OR VEHICULAR TRAFFIC.

THIS DETAIL IS A MINIMUM GUIDE. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE BRACING TO MAINTAIN THE TREE IN A SAFE, PLUMB AND UPRIGHT CONDITION FOR A PERIOD OF 1 YEAR. CONTRACTOR MUST ACCOUNT FOR PEDESTRIAN AND PROPERTY HAZARDS WHEN STAKING TREES. CONTRACTOR TO MAINTAIN BRACING FOR THE WARRANTY PERIOD UNLESS OTHERWISE AGREED UPON.

5 LAYERS OF BURLAP, 5 - 2"x4"x16" (50mm x 100mm x 400mm) WOODEN BATTENS, CONNECTED WITH 2 - 3/4" (20mm) STEEL BANDS.

2"x4" (50mm x 100mm) WOOD BRACE PAINTED BLACK (MIN. OF 3) TOENAIL TO BATTEN.

CONTRACTOR MAY MODIFY STAKING AS REQUIRED TO ACCOMMODATE FIELD CONDITIONS, WITH PRIOR WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT

5 MIN.

CONTRACTOR MAY MODIFY STAKING AS REQUIRED TO ACCOMMODATE FIELD CONDITIONS, WITH PRIOR WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT



146 Second St. N. Ste. 302
St. Petersburg, FL 33701
727.821.5699
CONSULTANTS
CIVIL ENGINEER
DELISI FITZGERALD INC
1605 HENDRY STREET
FT MYERS | FLORIDA
239-418-0691
239-288-2537
ARCHITECT
CHARLAN BROCK ARCHITECTS
1770 FENNEL ST.
MAITLAND | FLORIDA, 32751
407-660-8900

OWNER
STOCK DEVELOPMENT
2639 PROFESSIONAL CIRCLE, SUITE 102
NAPLES | FLORIDA
239-592-7394

ESTERO CROSSING APARTMENTS
CORKSCREW ROAD
ESTERO | FLORIDA

SIGNATURE & SEAL

FL Registration: LC26000471

DO PLANS

ISSUE DATE	NO.	DESCRIPTION	DATE
	1	SOD DD	08-12-21
	2	DO PLANS	09-24-21
	3	DO PLANS	02-15-22

REVISIONS

NO.	COMMENTS	DATE

SHEET INFORMATION
JOB NUMBER: 21017
DRAWN BY: HB, GS, AH
CHECKED BY: HB

SCALE: NO SCALE



LANDSCAPE DETAILS

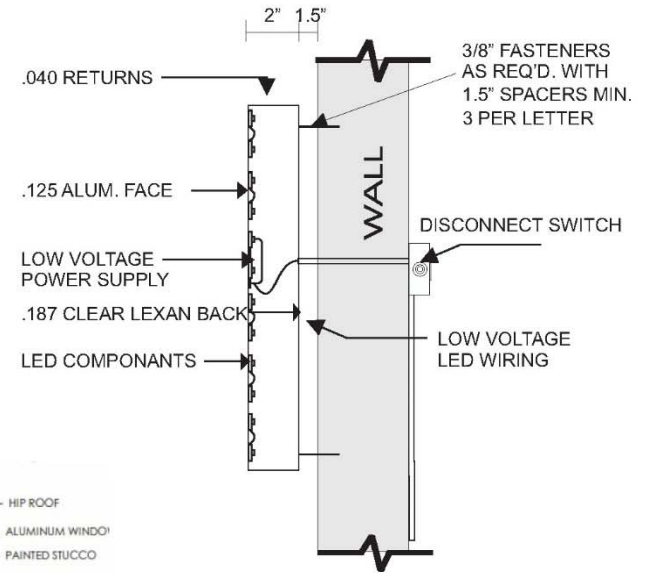
LD-2

SIGNAGE – TYPICAL MIXED USE BUILDING TENANT

9'-8" (VARIES)

2'-0" (VARIES)

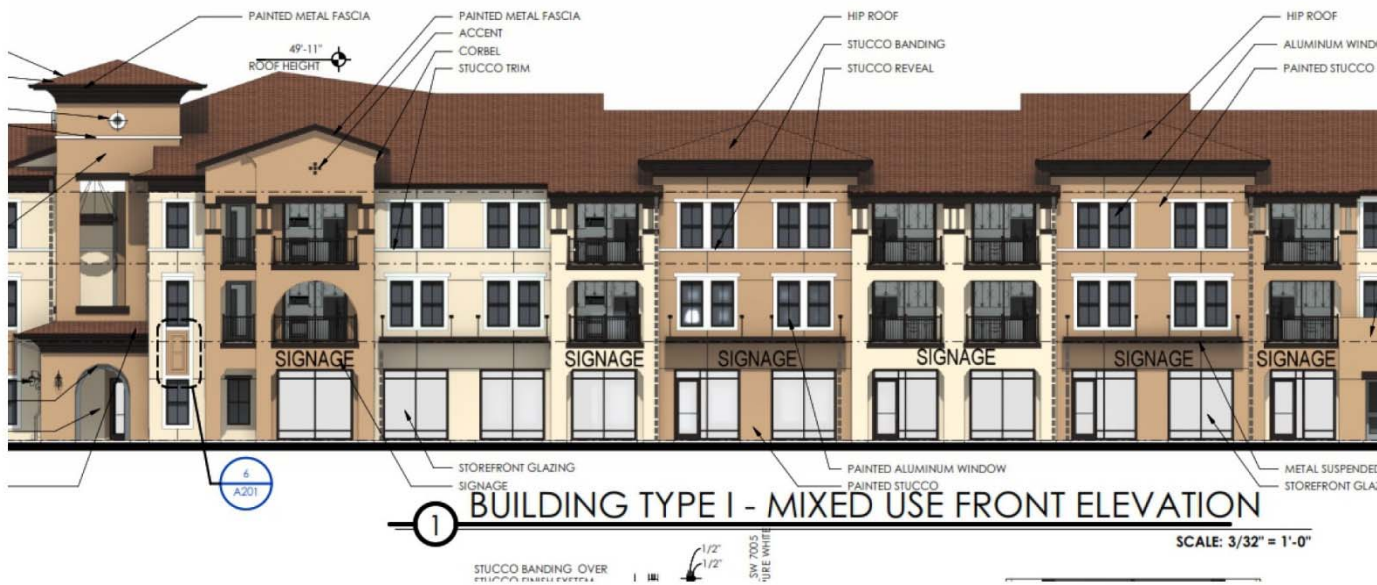
SIGNAGE



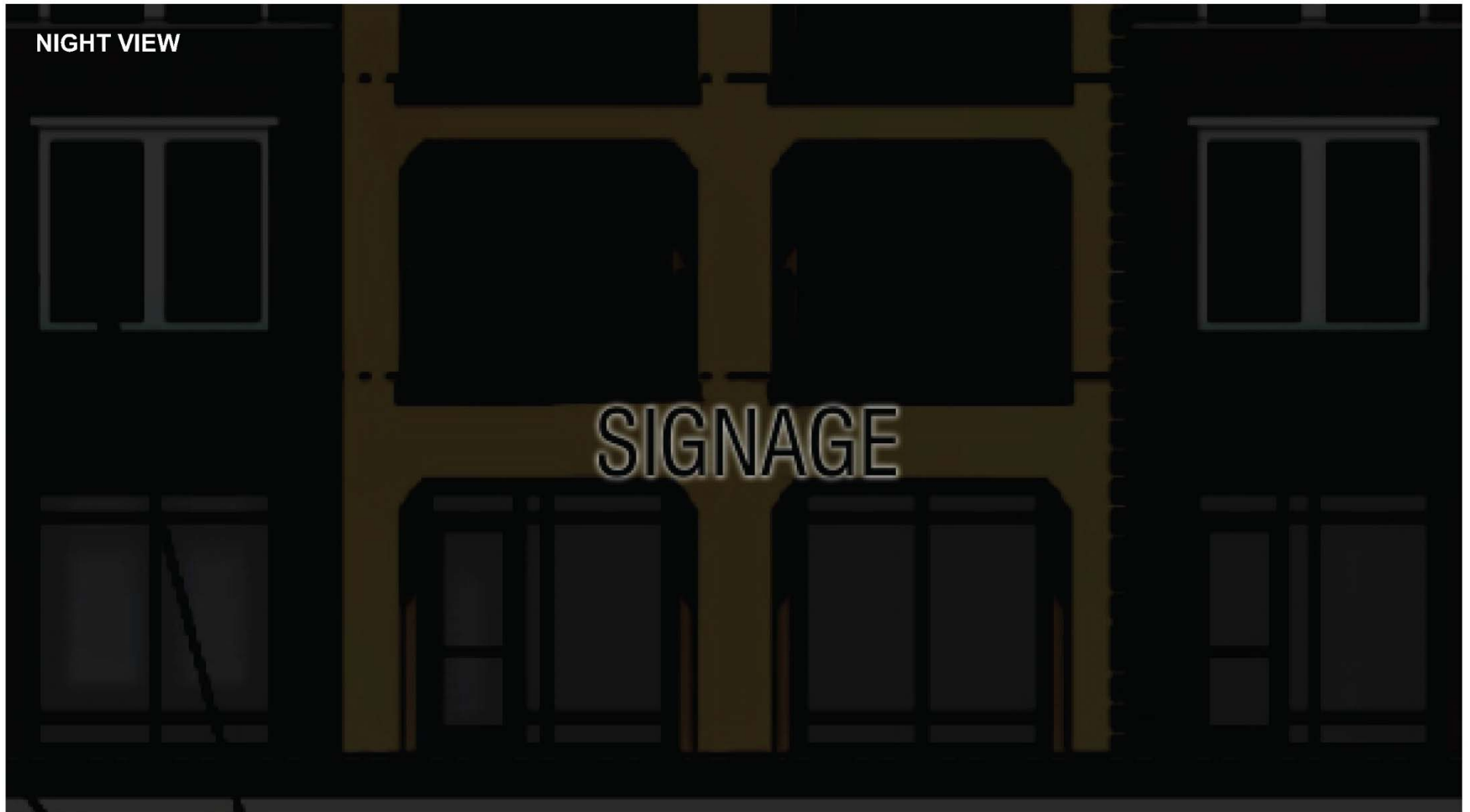
TYPICAL REVERSE CHANNEL LETTERS.

TO BE ILLUMINATED USING WHITE (7000K) LED'S.

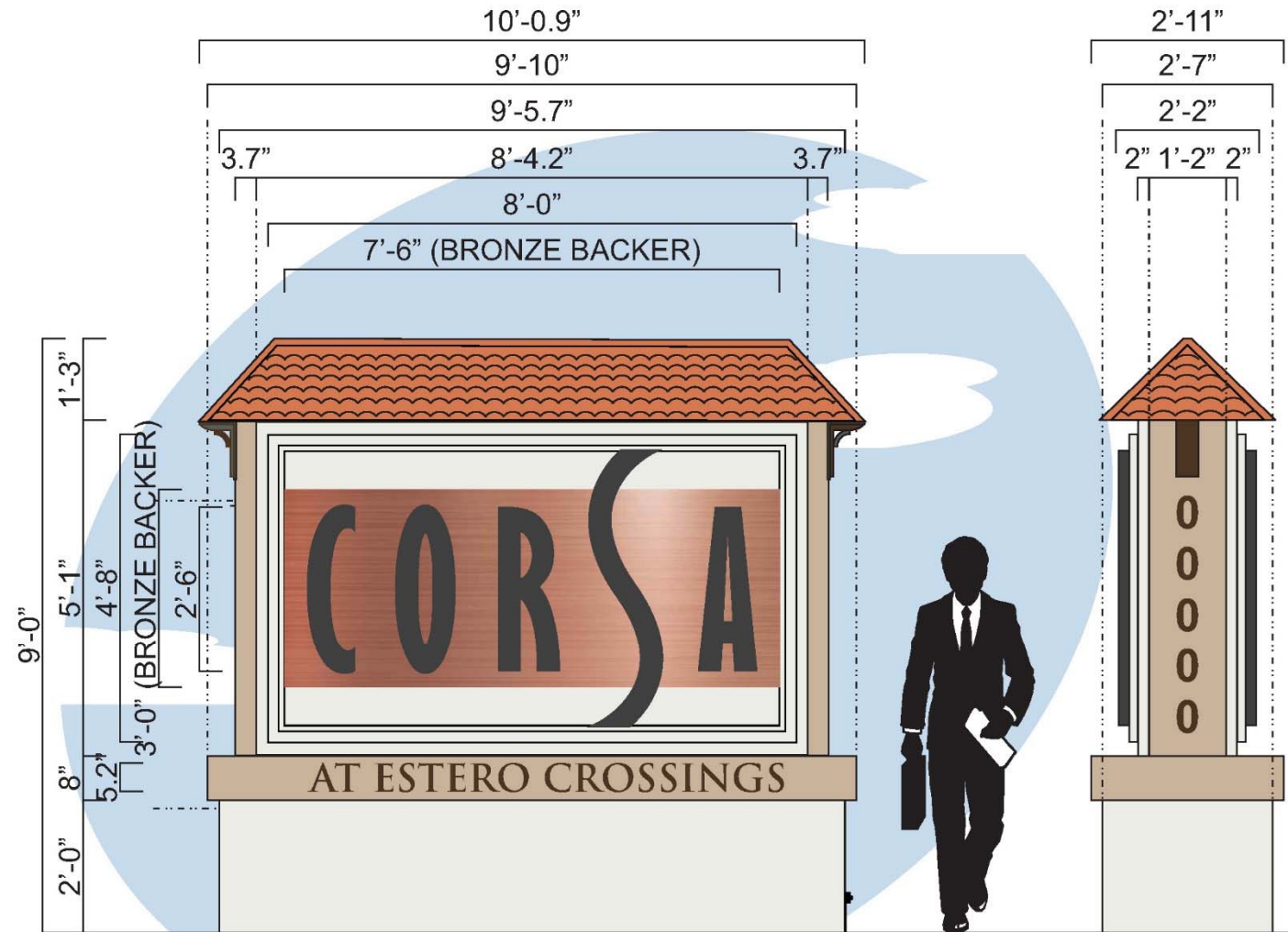
CONCEPTUAL SIGNAGE ONLY. FINAL SIGN DESIGN, AREA, GRAPHICS AND COLOR FOR EACH TENANT TO BE PROVIDED AT TIME OF PERMIT AND SHALL CONFORM TO THE VILLAGE OF ESTERO LDC.



SIGNAGE – TYPICAL MIXED USE BUILDING TENANT (NIGHT VIEW)



SIGNAGE – MONUMENT SIGN



MANUFACTURE & INSTALL ONE (1) DOUBLE FACED, ILLUMINATED GROUND SIGN.

ROOF - ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, ROOF TO RECEIVE BARREL TILE (BY OTHERS) TO MATCH BUILDING AND HAVE FABRICATED ALUM SCONCES AT CABINET ENDS

MAIN STRUCTURE - ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, FINISH TO BE TEXTURED. INSET "COLUMNS" TO BE SMOOTH PAINTED. ADDRESS NUMBERS TO BE .25" NON ILLUMINATED FLAT CUT OUT DIBOND LETTERS. FRAME AROUND COPY AREA TO BE 2" SQ TUBING WITH TEXTURED FINISH. BACKER PANEL TO BE ALUM WITH BRUSHED BRONZE PRINT. LETTERS TO BE REVERSE ILLUMINATED CHANNEL LETTERS SPACED 1.5" OFF OF BACKER PANEL.

BASE - ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, FINISH TO BE TEXTURED. SUBCOPY TO BE .25" NON ILLUMINATED FLAT CUT OUT DIBOND LETTERS WITH SMOOTH PAINTED FINISH.

TO BE ILLUMINATED USING WHITE (7000k) LED's.

SW#7005

SW#6069

SW#7713



CONCRETE BARREL TILE ROOF