



ESTERO CROSSING – BLDG. 1 (DUNKIN) – PZDB DO APPROVAL MEETING

ESTERO, FL
September 27, 2022

CONSULTANT TEAM

STOCK DEVELOPMENT, *Developer*



BOOTH DESIGN GROUP, *Landscape Architecture*



BOOTHDESIGNGROUP
landscape architecture • planning • urban design

GMA ARCHITECTS AND PLANNERS, *Architect*



DELISI FITZGERALD, INC., *Civil Engineering*



VICINITY MAP



ESTERO CROSSING

SITE PLAN

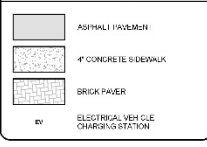
GENERAL DEVELOPMENT NOTES:

1. ALL CONTRACTORS AND SUBCONTRACTORS SHALL MAINTAIN 1-20 WORK AND THE 6-16 RELATIVE TO THE WORK IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND ALL REQUIREMENTS OF THE PROJECT PER 20-20-10.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL LOCAL, STATE AND FEDERAL PERMITS NECESSARY FOR CONSTRUCTION.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE VARIANCE OF ESTERO LAND DEVELOPMENT CODE.
4. THE CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY FOR CONSTRUCTION.
5. THE CONTRACTOR SHALL NOTIFY THE OWNER AND CONTACT ALL UTILITY COMPANIES FOR LOCATION OF EXISTING UTILITIES IN THE AREA 72 HOURS MINIMUM PRIOR TO COMMENCING CONSTRUCTION.
6. OTHER NEARBY EXISTING UTILITIES (SIGNALS, STREET LIGHTS, VEGETATION AND VARIOUS LANDSCAPE IMPROVEMENTS) NOT APPROXIMATE TO EXISTING FIELD LOCATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR IN THE FIELD PRIOR TO COMMENCING ANY CONSTRUCTION.
7. THE NORTH AMERICAN VERTICAL DATUM (NAD83) IS THE BENCHMARK DATUM FOR THIS PROJECT.
8. ANY PUBLIC LAND CORNER WITH BOUNDS OF CORNER POINTS SHALL BE PROTECTED. ANY LAND CORNER MARKED WITH A CORNER OF BOUNDS (C.O.B.) SHALL BE PROTECTED BY THE CONTRACTOR.
9. EXISTING IMPROVEMENTS SHALL BE PROTECTED TO A CONDITION EQUIVALENT TO THAT WHICH EXISTED PRIOR TO COMMENCING CONSTRUCTION. AT NO ADDITIONAL COST TO THE OWNER.
10. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE ORDINANCES AND TO THE CONVICTION OF ANY VIOLATION OF ANY ORDINANCE SHALL BE REPORTED TO THE ENGINEER AND OWNER'S REPRESENTATIVE IMMEDIATELY.
11. CONTRACTOR IS REQUIRED TO OBTAIN ALL WRITTEN APPROVALS FOR ANY DEVIATIONS FROM THE LAND DEVELOPMENT REGULATIONS.
12. UNDERGROUND CONTRACTOR SHALL MINIMIZE THE WORK AREA AND WIDTH OF ALL TRENCHES TO AVOID DISTURBANCE OF NATURAL VEGETATION. SIGN PROTECT TRENCHES SHALL BE PLACED ONLY ON EXISTING, UNCLEANED AREAS AS DIRECTED BY THE OWNER. CONTRACTOR SHALL MAINTAIN CLEARANCE UNDER ANY TREES AND/OR BRANCHES OF TREES FROM A MINIMUM OF 10 FEET.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC AND USAGE OF THE EXISTING STREETS ACCORDANT TO THE PROJECT. ALL TRAFFIC MAINTENANCE CONTROL SHALL BE IN ACCORDANCE WITH THE FLORIDA MANUAL OF TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS. TRAFFIC CONTROL PROCEDURES SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION.
14. NO DEWATERING IS PROPOSED WITH THIS PROJECT. IF DEWATERING IS REQUIRED, A PERMIT FROM SPFLMIA IN ACCORDANCE WITH 405-29.301, P.A.D. SHALL BE OBTAINED.
15. THE EXISTING PROPOSED ROAD BUFFER FROM CORNER'S PLACE & CORNSCREW WOODLANDS BOULEVARD SHALL BE MAINTAINED IN THE FULLTY OF THE ESTERO CROSSING PROJECT BY OWNER'S ASSOCIATION.
16. NO BLASTING IS PROPOSED WITH THIS PROJECT.

SIGNING AND MARKING NOTES:

1. ALL SIGNING AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, THE FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS, LATEST EDITION, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND PUBLISHED STANDARDS.
2. PAVEMENT MARKINGS SHALL BE PERMANENT REFLECTIVE TRAFFIC PAINT WITH GLASS BEADS IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS.
3. ALL STOP SIGN LOCATIONS SHALL INCLUDE A 24" PAINTED WHITE STOP BAR UNLESS NOTED OTHERWISE.
4. ALL SIGNING, PAVEMENT MARKING, STREET NAME SIGNS, ETC. ARE TO BE INCLUDED WITHIN 15 DAY PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

LEGEND



ENTITLEMENT INVENTORY TABLE

USE	MAXIMUM DENSITY	PREVIOUSLY PROPOSED	PROPOSED THIS PROJECT	TOTAL TO DATE
MAXI-FAMILY RESIDENTIAL	20 UNITS	0	0	0
RETAIL COMMERCIAL	60,000 SF	46,304 SF	4,782 SF	51,786 SF

(1) MAXIMUM DENSITIES PER ORDINANCE 2019-29

SITE DEVELOPMENT REGULATIONS PER ORDINANCE 2019-29

CATEGORY	REQUIRED	PROPOSED
MINIMUM BUILDING SETBACK		
COMMERCIAL FRONT YARD	20 FT	50 FT (1)
CORNSCREW WOODLANDS ROAD E.O.P.	20 FT	N/A
MAIN STREET ROADWAY (ESTERO TOWN COMMONS PLACE)	6 FT	10.0 FT
OTHER STREET BOUNDARIES (WEST BOUNDARIES)	20 FT	34 FT
MINIMUM BUILDING SEPARATION	20 FT	174 FT (1)
MAXIMUM BUILDING HEIGHT	45 FT (2 STOREYS)	30.00 FT (1 STORY)
MAXIMUM LOT COVERAGE	76%	17%

(1) LOT COVERAGE FOR THE COMMERCIAL OUTPARCEL INCLUDES PREVIOUSLY PERMITTED BUILDINGS PER DOS2020-007 AND DOS2020-006

PARKING SUMMARY

USE	SPACES	REQUIRED	PROVIDED
PREVIOUSLY PERMITTED BUILDINGS (REF. DOS2020-007 AND DOS2020-006)			
MAXI-FAMILY OCCUPANCY COV-2LEX	41 PER 1,000 SF OF FLOOR AREA (23,869 SF)	105	108
RETAIL/RESTAURANT (CASUAL SEATING)	12.5 PER 1,000 SF OF FLOOR AREA (5,309 SF + 1,719 SEATING)	99	98
ELDT 1			
RETAIL/RESTAURANT (THINKIN')	13 PER 1,000 SF OF FLOOR AREA (1,400 SF)	25.5	
RETAIL	1 PER 300 SF OF FLOOR AREA (2,973 SF)	9.9	32
	(SEE NOTE 6)	TOTAL SPACES	228
			228(1)

ELECTRICAL VEHICLE CHARGING STATIONS (SEE NOTE 7)

COMMERCIAL	150 SPACES OR MORE REQUIRE 3 EV STATIONS MIN.	3	4
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BICYCLE PARKING FACILITIES

COMMERCIAL	5% OF REQUIRED VEHICLE SPACES	10	12 (SEE NOTE 8)
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LOADING SPACES

COMMERCIAL	1 SPACE FOR THE FIRST 10,000 SF OF FLOOR AREA (5,309 SF)	0	0
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- NOTES:
1. THIS REPRESENTS THE NUMBER OF HANDICAP SPACES INCLUDING IN THE TOTAL SPACES.
 2. PARKING REQUIREMENTS PER VILLAGE OF ESTERO LOC. 5-204 B.
 3. BICYCLE PARKING REQUIREMENTS PER VILLAGE OF ESTERO LOC. 5-206.
 4. SPACES SHALL NOT BE REDUCED BY TREES OR OTHER OBSTACLES OR FULL TRAILER TRUCKS SO LONG AS SPACES ARE PROVIDED PER VILLAGE OF ESTERO LOC. 5-203.
 5. BICYCLE SPACES WERE PROVIDED UNDER DOS2020-007. 2 BICYCLE SPACES WERE PROVIDED.
 6. INCLUDES 4 ON STREET PARKING SPACES.
 7. EV PARKING SPACES PROVIDED PREVIOUSLY WITH DOS2020-007.

REFUSE & SOLID WASTE DISPOSAL FACILITIES

REQUIRED	PROVIDED
COMMERCIAL REQUIREMENT PER VILLAGE OF ESTERO LOC. 5-10	158 SF PER VEHICLE FROM 500 SF UP TO 10,000 SF
PROPOSED COMMERCIAL	4,782 SF
REQUIRED COLLECT ON AREA (PROVIDED)	129 SF
13' x 12' ENCLOSURE	158 SF

NOTES:

1. THE ENCLOSURE SHALL HAVE A MINIMUM 12 FEET 100% CLEAR OPENING.
2. A 9' MINIMUM OVERHEAD CLEARANCE OF 22 FEET IS REQUIRED.

BUFFER REQUIREMENTS

PROPERTY LINE	ADJACENT USE	BUFFER REQUIRED
NORTH	R.O.W.	20' TYPE D(1)
EAST	R.O.W.	20' TYPE D(1)
SOUTH	R.O.W.	ALTERNATE(1)
WEST	R.O.W.	20' TYPE D(1)

(1) 20' EXCHANGED TYPE D BUFFER REQUIRED PER ORDINANCE 20-20-10.
(2) ALTERNATE PLANNING PER PATTERN BOOK PER ORDINANCE 20-20-10.

BUILDING SUMMARY

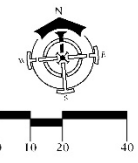
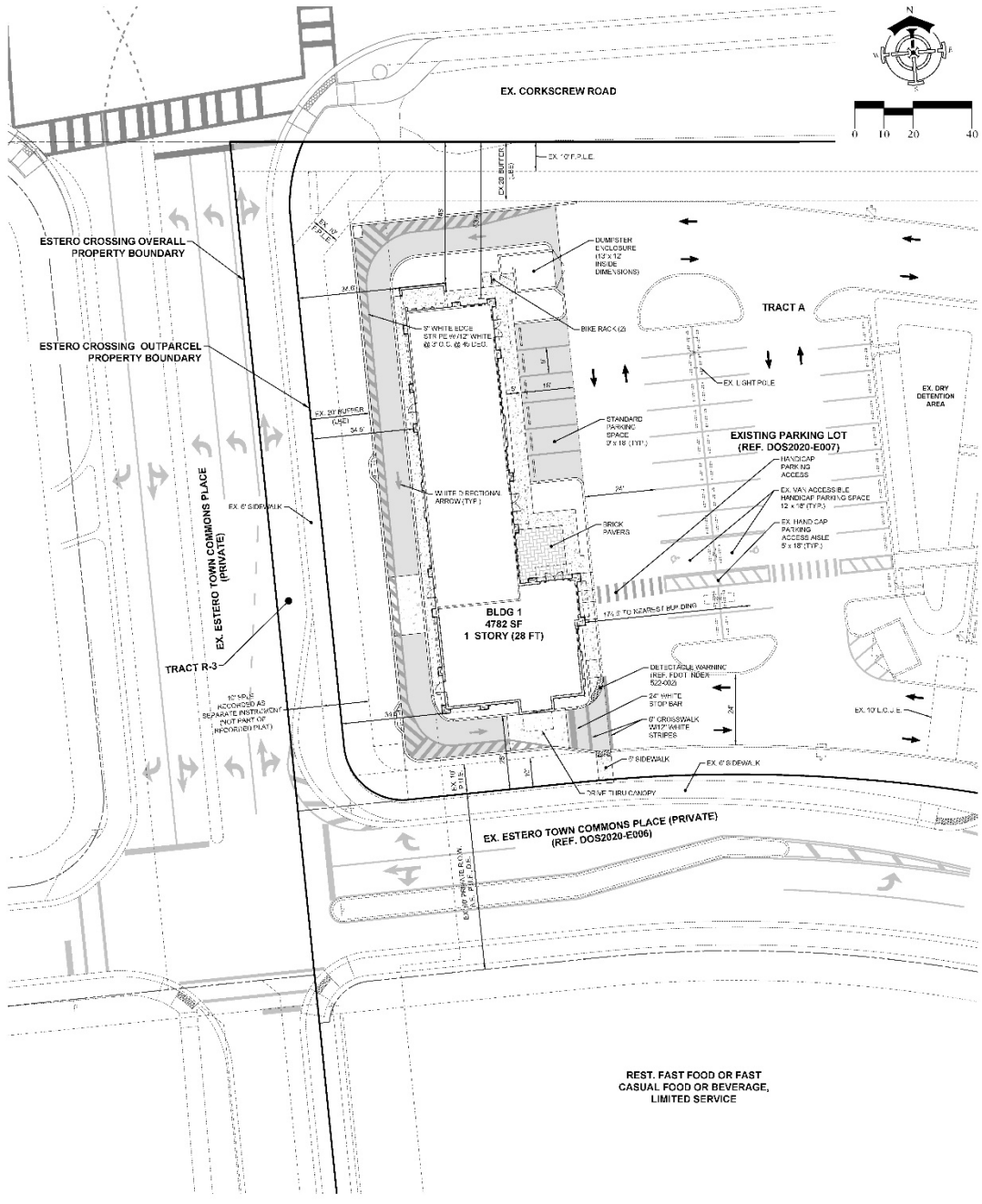
BUILDING	GROSS FLOOR AREA (SQ. FT.)	STORIES
BLDG 1	4,782	1

COMMERCIAL OUTPARCEL OPEN SPACE

OUTPARCEL AREA	REQUIRED OPEN SPACE	OPEN SPACE PROVIDED
5.06 AC	0.91 AC (18% MIN.)	1.71 AC

NOTES:

1. REQUIRED OPEN SPACE PER ORDINANCE 2019-20.



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ENGINEER OF RECORD:
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 LICENSE NO. 10,343
 1001 W. PALM BLVD., SUITE 100, FORT MYERS, FL 33901

SD ESTERO CROSSING, LLC
 OWNER / DEVELOPER
 1605 HENDRY STREET
 FORT MYERS, FL 33901
 (239) 982-7444

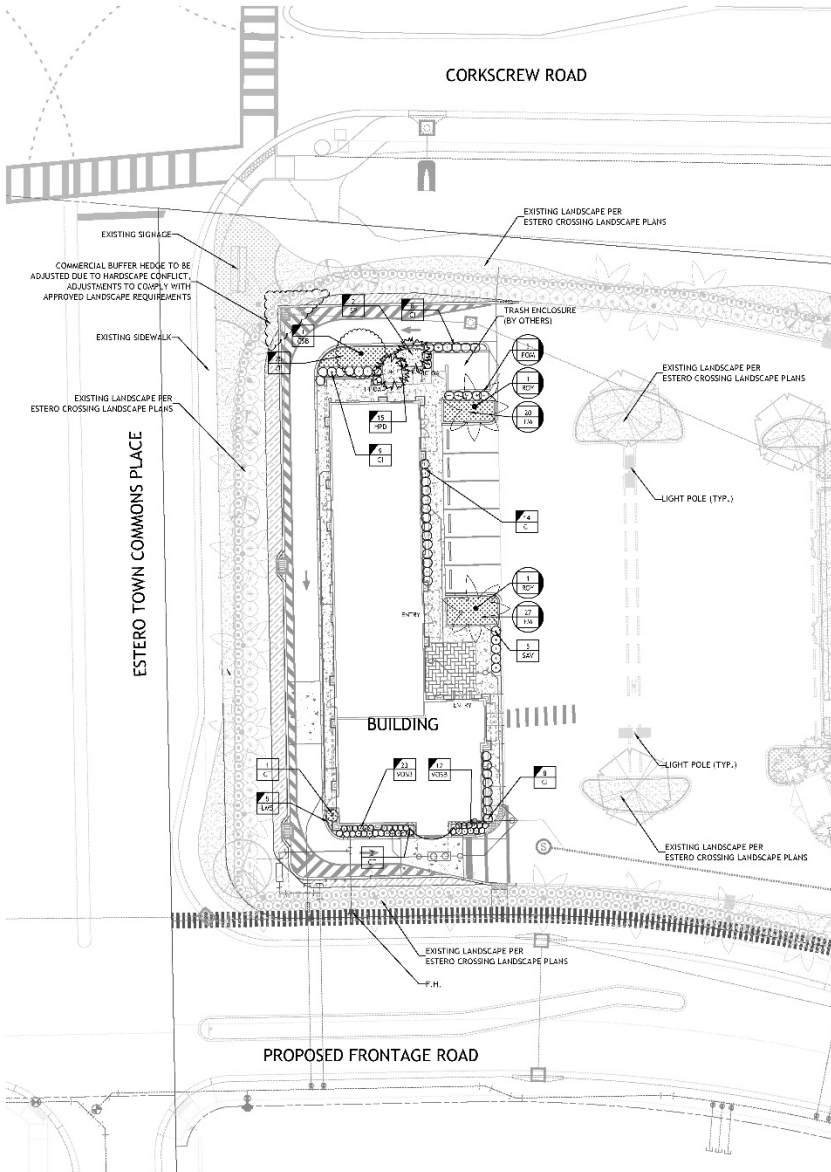
DUNKIN DONUTS AT ESTERO CROSSING

DATE	DESCRIPTION

SITE LAYOUT, SIGNING AND MARKING PLAN

Project Manager:	JFW
Drawn By:	WMC
Checked By:	JFW
Project Number:	21613
Location in Schedule:	35
Drawn Date:	02/23
Company:	DELISI FITZGERALD, INC.

LANDSCAPE PLANS



BUILDING PERIMETER PLANT MATERIAL SCHEDULE

PLANT MATERIAL NOTES:
 1. THE CONTRACTOR SHALL BID AND BE RESPONSIBLE FOR THE PLANT SIZE AND NOT SOLELY BY THE CONTAINER. CONTAINER IS PROVIDED AS A MIN. SIZE.
 2. THE GENERAL CONTRACTOR/LANDSCAPE CONTRACTOR SHALL PERFORM A MIN. OF 3 SOIL TEST FROM VARIOUS LOCATIONS AROUND SITE AFTER FILL HAS BEEN COMPLETED. TEST SHALL BE SUBMITTED TO OWNER/LANDSCAPE ARCHITECT FOR REVIEW. PLANTS LARGER THAN 10 ACRES SHALL HAVE A MIN. OF 5 SOIL SAMPLES TESTED.
 3. IN A CONFLICT BETWEEN THE PLANS AND THE SPECIFICATIONS/PLANT MATERIAL SCHEDULE, THE PLANS SHALL GOVERN.

QTY	CODE	BOTANICAL NAME	COMMON NAME	SPECIFICATION	NATIVE	TOLERANCE	NOTES
39	CI	CHRYSOBALANUS (CACO)	GREEN COCOPLUM	7 GAL., 36" HT.	YES	YES	
1	CSR	CORDIA SEBESTENA	ORANGE CEICER TREE	10' HT. X 4.5" SPD., 7" CAL.	YES	YES	
3	CT	CORYLYNE FRUTICOSA	HAWAIIAN TI PLANT	3 GAL. 30-36" HT. X MULTI TRUNK	NO	NO	RED SISTER TI
47	FR	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL. 16-18" HT. X 12" SPD., FULL	NO	YES	
15	HPD	HAMELIA HODOOSA	DAWAR FIREBUSH	3 GAL. 10'-18" HT. X 14" SPD.	YES	YES	
5	LAS	LIRIOPE MUSCARI 'SUPER BLUE'	SUPER BLUE LIRIOPE	1 GAL., 12" HT. X 12" SPD.	YES	YES	
2	ROY	ROYSTONIA ELATA	FLORIDA ROYAL PALM	8-10" CROWN WOOD, 24" DA	YES	YES	HEAVY TRUNK
5	SAV	SCHOFFERUS ARBORESCOLA 'TRINETTE'	VORREGETT SCHOFFERUS	3 GAL., 24" HT. X 14" SPD., FULL	NO	NO	
3	SP	SABAL PALMETTO	CABBAGE PALM	SEE PLAN FOR CLEAR TRUNK HEIGHTS	YES	YES	
34	VOBS	V. OBVATIN 'MRS SCHILLER'S DELIGHT'	MRS SCHILLER'S VIBURNUM	7 GAL., 28" HT. X 18" SPD., FULL	YES	YES	
25	ZP	ZAMIA FURCATA	COONITE	3 GAL., 20"-22" HT. X 10" SPD.	YES	YES	

NO REQUIRED NATIVE
 LET FOUNDATION PLANTING

NO VEHICULAR USE LANDSCAPE PLANTINGS
 LET

LANDSCAPE MATERIAL QUANTITIES

SHEEDED HARDWOOD MULCH, COLOR COCOA BROWN	7.5 C.Y.
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*QUANTITIES ARE PROVIDED AS A COURTESY, CONTRACTOR TO VERIFY ALL QUANTITIES. TREES NOT INCLUDED IN PLANT BEDS TO HAVE A MIN. 4" DIA. MULCH RING

BUILDING FOUNDATION LANDSCAPE AREA REQUIREMENTS

	BUILDING FOOTPRINT	BUILDING PERIMETER	LANDSCAPE REQUIRED	LANDSCAPE PROVIDED
BUILDING	4800 S.F.	380 L.F.	480 S.F.	582 S.F.

VEHICULAR USE AREA LANDSCAPE REQUIREMENTS

DESCRIPTION	QUANTITY REQUIRED	PERCENTAGE REQUIRED	QUANTITY PROVIDED
TOTAL VEHICULAR USE AREA (VUA)	950 S.F.		
INTERIOR LANDSCAPING AREA	95 S.F.	100% VUA	320 S.F.
TOTAL CANOPY TREES	1 TOTAL	6,327 / 230 S.F.	34

NATIVE PLANT MATERIAL REQUIREMENTS

AT LEAST 75 PERCENT OF THE TREES AND 50 PERCENT OF THE SHRUBS USED SHALL BE NATIVE (FLORIDA SPECIES)

DESCRIPTION	QTY.	PERCENT
NATIVE TREE/PALM VARIETIES	3	100%
NON-NATIVE TREE/PALM VARIETIES	0	0%
TOTAL:	3	100%
NATIVE SHRUB/GC VARIETIES	5	62.5%
NON-NATIVE SHRUB/GC VARIETIES	3	37.5%
TOTAL:	8	100%

GENERAL NOTES

- CONTRACTOR SHALL VISIT THE SITE AND INFORM HIMSELF FULLY AS TO CONDITIONS THEREON AND OF ADJACENT SITES WHICH WILL BE AFFECTED BY THE WORK.
- DO NOT WILLFULLY INSTALL OR CONSTRUCT ITEMS AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNREMOVABLE OBSTRUCTIONS, EXISTING TREE CANOPIES, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN SHOWN ON THE DRAWINGS. SUCH OBSERVATIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT/OWNER'S REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT REPORTED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- THE DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. ALL BRACING, TEMPORARY SUPPORTS, SHORING, ETC. ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. OBSERVATION VISITS TO THE JOB SITE BY THE LANDSCAPE ARCHITECT/OWNER'S REPRESENTATIVE DOES NOT INCLUDE INSPECTION OF CONSTRUCTION METHODS AND FOR SAFE SITE CONDITIONS AT THE WORK SITE. THESE VISITS SHALL NOT BE CONSTRUED AS CONTINUOUS AND DETAILED INSPECTIONS.
- CONTRACTOR SHALL CHECK AND VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ELEVATIONS PRIOR TO STARTING CONSTRUCTION AND BE RESPONSIBLE FOR SAME. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- NO CONTRACTOR IDENTIFICATION SIGNS SHALL BE PERMITTED ON THE PROJECT, EXCEPT AS APPROVED BY THE OWNER.
- ALL PERMITS NECESSARY ARE TO BE PROVIDED BY THE INSTALLING CONTRACTOR INCLUDING ALL COSTS. THE CONTRACTOR SHALL NOT KNOWINGLY VIOLATE CONDITIONS OF THE PERMITS. ALL CONFLICTS WITH ALL TERMS AND CONDITIONS OF THE APPROVED PERMITS.
- ALL UTILITIES TO REMAIN IN PLACE, EXCEPT AS INDICATED ON THE DRAWINGS, CONTACT "ONE-CALL" AT 811 AT LEAST 48 TO 72 HOURS PRIOR TO EXCAVATION FOR VERIFICATION OF EXISTING UTILITY LOCATIONS PRIOR TO ANY EXCAVATIONS. NOT ALL UTILITIES ARE MEMBERS OF THE "ONE-CALL" SYSTEM; THEREFORE, DIRECT CONTACT WITH THE UTILITY COMPANY MAY BE REQUIRED. CONTRACTOR SHALL CONTACT LEAF COUNTY UTILITIES FOR LOCATION OF UNDERGROUND STORM WATER, SEWER AND WATER UTILITIES, AND LATERAL LINES THAT MIGHT BE PRESENT. ALL UTILITIES TO REMAIN IN PLACE, EXCEPT AS INDICATED ON THE PLANS.
- LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS, BUT DO NOT PURPORT TO BE ABSOLUTELY CORRECT. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING HIS WORK PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAKE ALL EFFORTS TO LIMIT THE "TRACKING" OF SOIL ONTO CITY/COUNTY STREETS FROM HAULING ACTIVITIES. CONTRACTOR SHALL REMOVE ALL SOIL FROM CITY/COUNTY STREETS RESULTING FROM CONSTRUCTION ACTIVITIES.
- CAREFULLY REVIEW THE PLANS AND THE SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ITEMS CONTAINED HEREIN. IF THERE IS A CONFLICT BETWEEN THE PLANS AND THE SPECIFICATIONS, CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- IN A CONFLICT BETWEEN THE PLANS AND THE SPECIFICATIONS, THE PLANS SHALL GOVERN.
- THE CONTRACTOR SHALL PROVIDE A SUBMITTAL LOG FOR APPROVAL BY THE PROJECT REPRESENTATIVE. ALL SUBMITTALS ARE TO INCLUDE THE NUMBERING SYSTEM DEVELOPED IN THE SUBMITTAL LOG.
- THE CONTRACTOR SHALL PROVIDE A 24 HOUR EMERGENCY CONTACT PERSON AT THE PRE-CONSTRUCTION MEETING.
- UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE LANDSCAPE ARCHITECT IN WRITING, AND REQUEST A FINAL INSPECTION. ANY ITEMS THAT ARE JUDGED INCOMPLETE OR UNACCEPTABLE BY THE OWNER OR THE LANDSCAPE ARCHITECT SHALL BE PROMPTLY CORRECTED BY THE CONTRACTOR.
- SIDEWALKS / PAVING LAYOUT SHALL BE FIELD-STAKED USING G.P.S. BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO FORM WORK AND INSTALLATION. THE CONTRACTOR MUST NOTIFY THE L.A. AT LEAST EIGHT HOURS IN ADVANCE OF THE REQUIRED REVIEW. ALL OF THE PROPOSED LOCATIONS SHALL BE MARKED FOR A SPECIFIC PHASE OF WORK PRIOR TO CALLING FOR A REVIEW. COORDINATES THAT DO NOT RESULT IN THE GEOMETRY SHOWN ON THE PLANS SHALL BE CHECKED BY THE CONTRACTOR'S SURVEY CREW. CORRECTIONS OF TRAIL SHALL BE VERIFIED BY THE LANDSCAPE ARCHITECT. LAYOUT MUST COMPLY WITH FDEP PERMIT.
- ALL CONCRETE WALKS SHALL NOT EXCEED A SLOPE OF 1:30, AND CROSS SLOPES ON ALL CONCRETE SIDEWALKS SHALL NOT EXCEED 2%. IF THE SIDEWALK DOES EXCEED THIS SLOPE, ADA COMPLIANT HAIR-CRIP RAAPS WILL BE REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING AND THE COST OF ALL REQUIRED CONCRETE TESTING. TESTING SHALL INCLUDE BUT NOT BE LIMITED TO MATERIALS FOR PAVING SUB-BASE, ASPHALT PAVING, STRUCTURAL AND FINISH CONCRETE.
- CONTRACTOR TO MAINTAIN EXISTING BENCH MARKS, MONUMENTS, AND OTHER REFERENCE POINTS WITHIN AND ADJACENT TO THE PROJECT LIMITS. CONTRACTOR TO CONTACT ALL RESPONSIBLE PARTIES IF RELOCATION IS REQUIRED OF BENCHMARKS AND OTHER REFERENCE POINTS.
- CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE CITY'S ARCHEOLOGICAL EXPERT IF DURING THE EXCAVATION PROCESS ARTICLES OF SIGNIFICANCE ARE UNCOVERED.
- ANY CHANGES MADE IN THE FIELD BY THE CONTRACTOR OR OWNER REGARDING THE HARDSCAPE PLACEMENT SHALL BE FULLY RECORDED WITH AS-BUILTS AND PROVIDED TO THE OWNER AND L.A.
- DESIGN, MATERIALS, EQUIPMENT AND PRODUCTS OTHER THAN THOSE DESCRIBED BELOW OR INDICATED ON THE DRAWINGS MAY BE CONSIDERED FOR USE, PROVIDED PRIOR APPROVAL IS OBTAINED FROM THE OWNER, OWNER'S REPRESENTATIVE AND THE APPLICABLE GOVERNING CODE AUTHORITY.
- DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

- IRRIGATION SYSTEM TO BE DESIGNED TO ELIMINATE WATERING OF IMPERVIOUS SURFACES



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OWNER

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 MIAMI, FL 33156
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ESTERO CROSSING DUNKIN' DONUTS
 CORKSREW ROAD
 ESTERO | FLORIDA

SIGNATURE & SEAL

Registration: 1C20000471

PERMIT SET

ISSUE DATE	DESCRIPTION	DATE
1	PERMIT SET	09-22-2022
2	PERMIT SET	08-08-2022
3	PERMIT SET	09-06-2022

REVISIONS

NO.	DATE	DESCRIPTION
1	09-22-2022	ISSUE FOR PERMIT

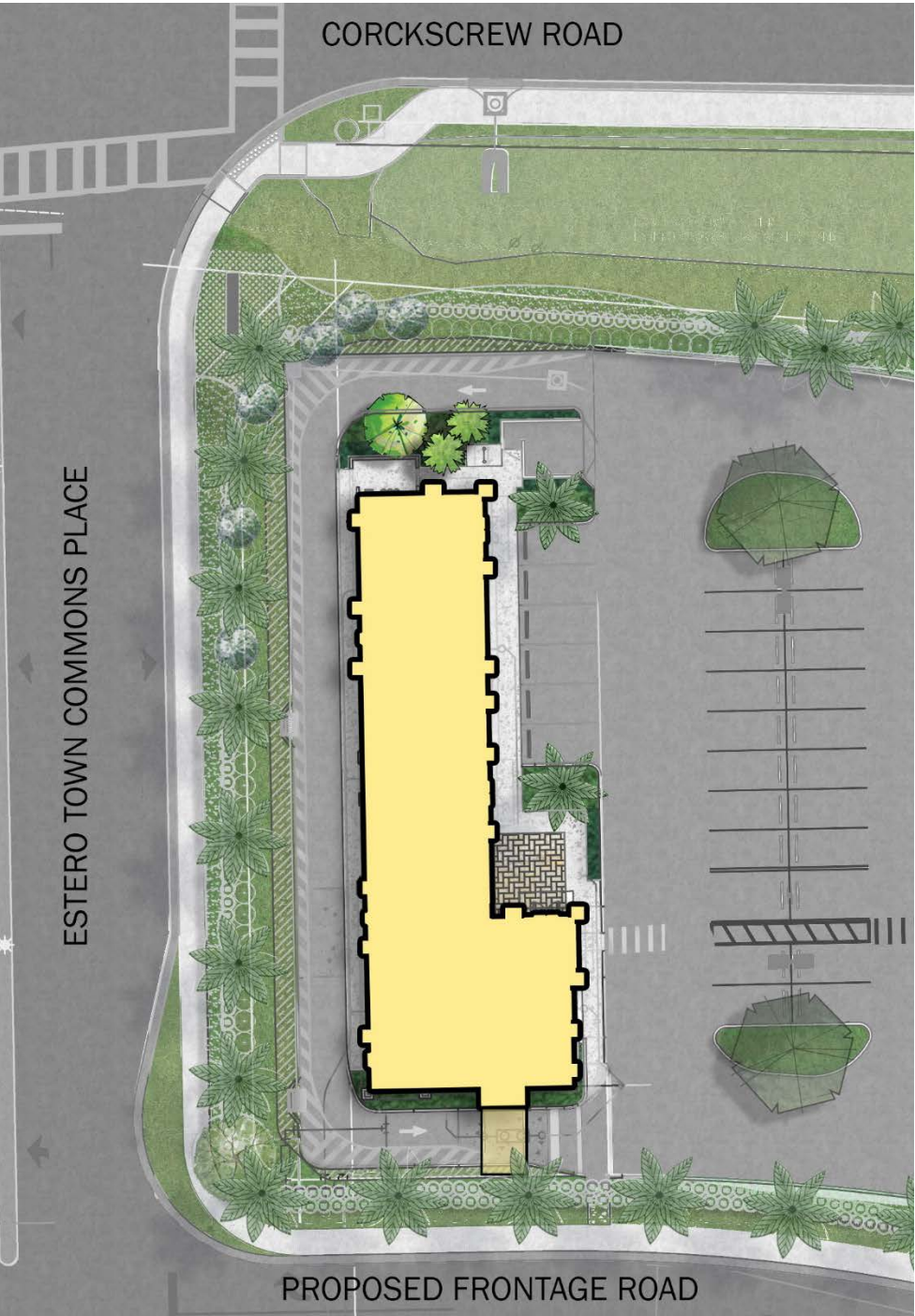
NO.	DATE	DESCRIPTION
1	09-22-2022	ISSUE FOR PERMIT
2	08-08-2022	ISSUE FOR PERMIT
3	09-06-2022	ISSUE FOR PERMIT

SCALE: 1" = 10'-0"
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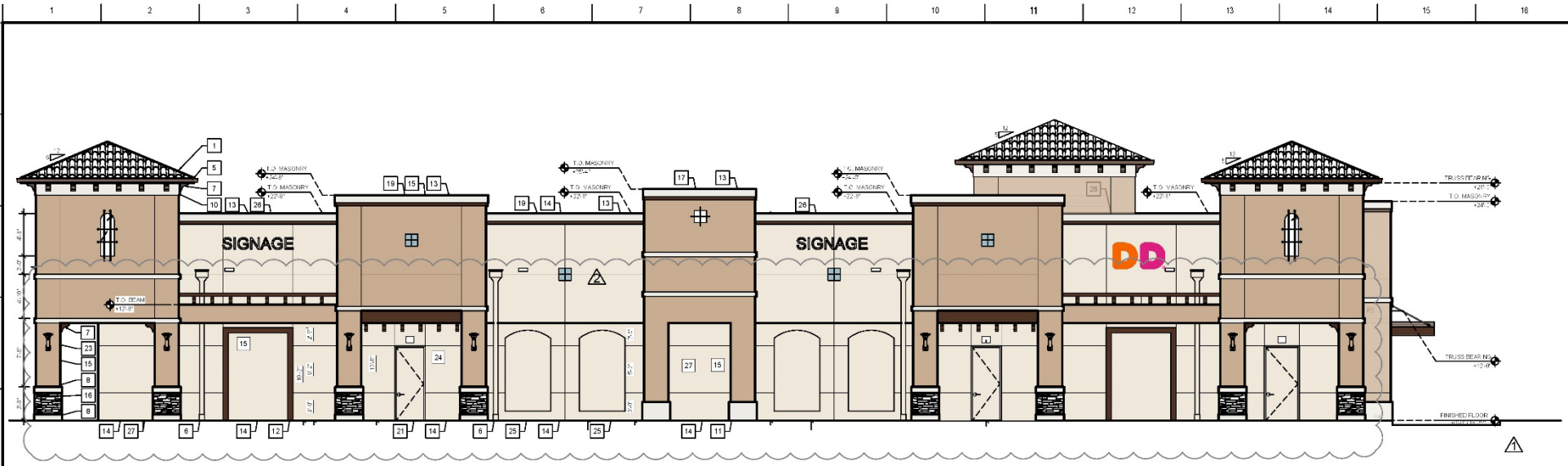
LANDSCAPE DEVELOPMENT PLAN

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LANDSCAPE PLAN RENDERING

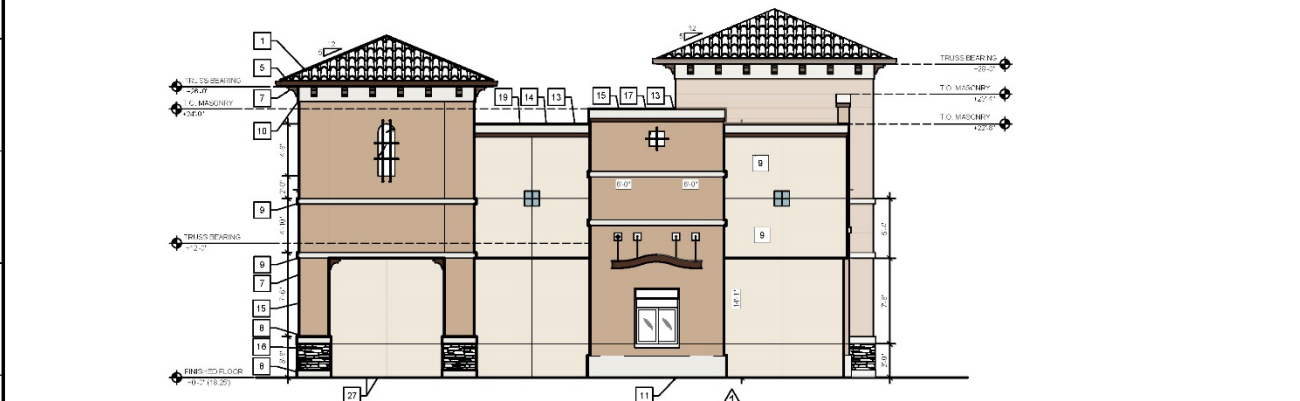


BUILDING ELEVATIONS



G1 WEST EXTERIOR ELEVATION - REAR

SCALE: 3/16" = 1'-0"



A1 SOUTH EXTERIOR ELEVATION

SCALE: 3/16" = 1'-0"

A EXTERIOR ELEVATION KEY NOTES

KEY	DESCRIPTION
1	CONCRETE PARALLEL FLASH
2	BEEL CLADDING FRAME, METAL AWNING OF DECORATIVE PERGOLA TRUSS TAILS (13)
3	FINISH METAL TRUSS TAIL ON DECORATIVE PERGOLA TRUSS TAILS (13)
4	FINISH METAL BRISCOLA (13)
5	FINISH METAL OUTLET & DOWNSPOUT TIE TO UNDERGROUND TERMINATOR
6	FINISH METAL SCUPPER BOX WITH DOWNSPOUT TIE TO UNDERGROUND STORAGE TANK
7	FINISH TRUSS (13) SEE ELEC. DRAWING
8	PAINTED SMOOTH STUCCO BANDING
9	PAINTED SMOOTH STUCCO BANDING
10	PAINTED SMOOTH STUCCO BANDING
11	PAINTED SMOOTH STUCCO BANDING
12	PAINTED SMOOTH STUCCO BANDING
13	PAINTED TRUSS FINISHES WITH SMOOTH STUCCO TRUSS (13), SEE ELEC. DRAWING
14	PAINTED SMOOTH ENTIRE STUCCO TEXTURE TO MATCH BUILDINGS 2 & 3 ON THIS PROPERTY, SEE ELEVATIONS ON THIS COLOR
15	PAINTED TRUSS FINISHES TO MATCH BUILDINGS 2 & 3 ON THIS PROPERTY, SEE ELEVATIONS ON THIS COLOR

16	STONE VENEER (13) (DORADO STONE MOUNTAIN EDGE, SERRA PERE)
17	STONE VENEER (13) (DORADO STONE MOUNTAIN EDGE, SERRA PERE) TO MATCH BUILDINGS 2 & 3
18	STONE VENEER (13) (DORADO STONE MOUNTAIN EDGE, SERRA PERE) TO MATCH BUILDINGS 2 & 3
19	STONE VENEER (13) (DORADO STONE MOUNTAIN EDGE, SERRA PERE) TO MATCH BUILDINGS 2 & 3
20	STONE VENEER (13) (DORADO STONE MOUNTAIN EDGE, SERRA PERE) TO MATCH BUILDINGS 2 & 3
21	STONE VENEER (13) (DORADO STONE MOUNTAIN EDGE, SERRA PERE) TO MATCH BUILDINGS 2 & 3
22	STONE VENEER (13) (DORADO STONE MOUNTAIN EDGE, SERRA PERE) TO MATCH BUILDINGS 2 & 3
23	STONE VENEER (13) (DORADO STONE MOUNTAIN EDGE, SERRA PERE) TO MATCH BUILDINGS 2 & 3
24	STONE VENEER (13) (DORADO STONE MOUNTAIN EDGE, SERRA PERE) TO MATCH BUILDINGS 2 & 3
25	STONE VENEER (13) (DORADO STONE MOUNTAIN EDGE, SERRA PERE) TO MATCH BUILDINGS 2 & 3
26	STONE VENEER (13) (DORADO STONE MOUNTAIN EDGE, SERRA PERE) TO MATCH BUILDINGS 2 & 3
27	STONE VENEER (13) (DORADO STONE MOUNTAIN EDGE, SERRA PERE) TO MATCH BUILDINGS 2 & 3

ESTERO CROSSING OUTPARCEL - BUILDING 1
ESTERO CROSSING COMMONS PLACE
ESTERO, FLORIDA

EXTERIOR ELEVATIONS

ISSUE HISTORY

NO.	DATE	DESCRIPTION
1	08/20/20	ISSUE FOR PERMIT
2	09/15/20	ISSUE FOR PERMIT
3	10/15/20	ISSUE FOR PERMIT
4	11/15/20	ISSUE FOR PERMIT
5	12/15/20	ISSUE FOR PERMIT
6	01/15/21	ISSUE FOR PERMIT
7	02/15/21	ISSUE FOR PERMIT
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RENDERINGS



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