



Village of  
**ESTERO**

# RIVERCREEK

## PHASE THREE DEVELOPMENT ORDER

(f.k.a. Corkscrew Crossing)

**PLANNING ZONING & DESIGN BOARD  
MEETING – August 22, 2023**

Lee County Homes Associates IV, LLLP

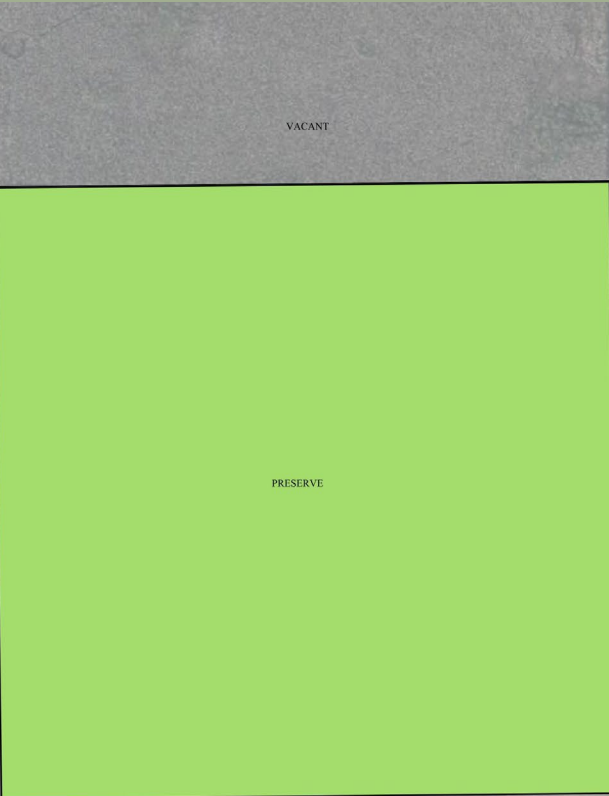
# PROPOSED SITE PLAN

## 554 D.U. (Single Family Homes)



**Wildcat Run**

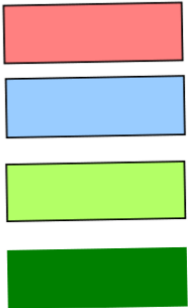
SITE PLAN FOR  
CORKSCREW CROSSING



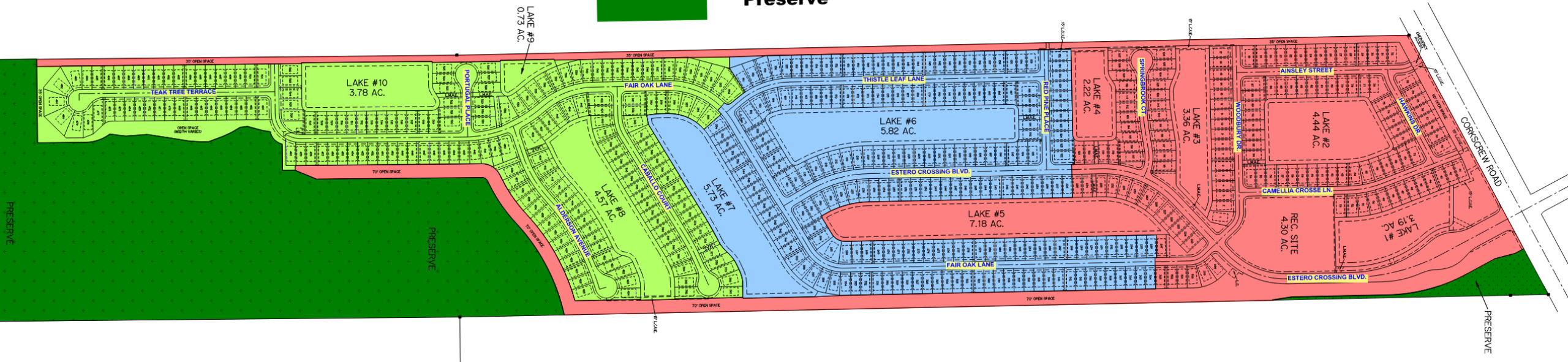
**Bella Terra**

**Preserve at Corkscrew**

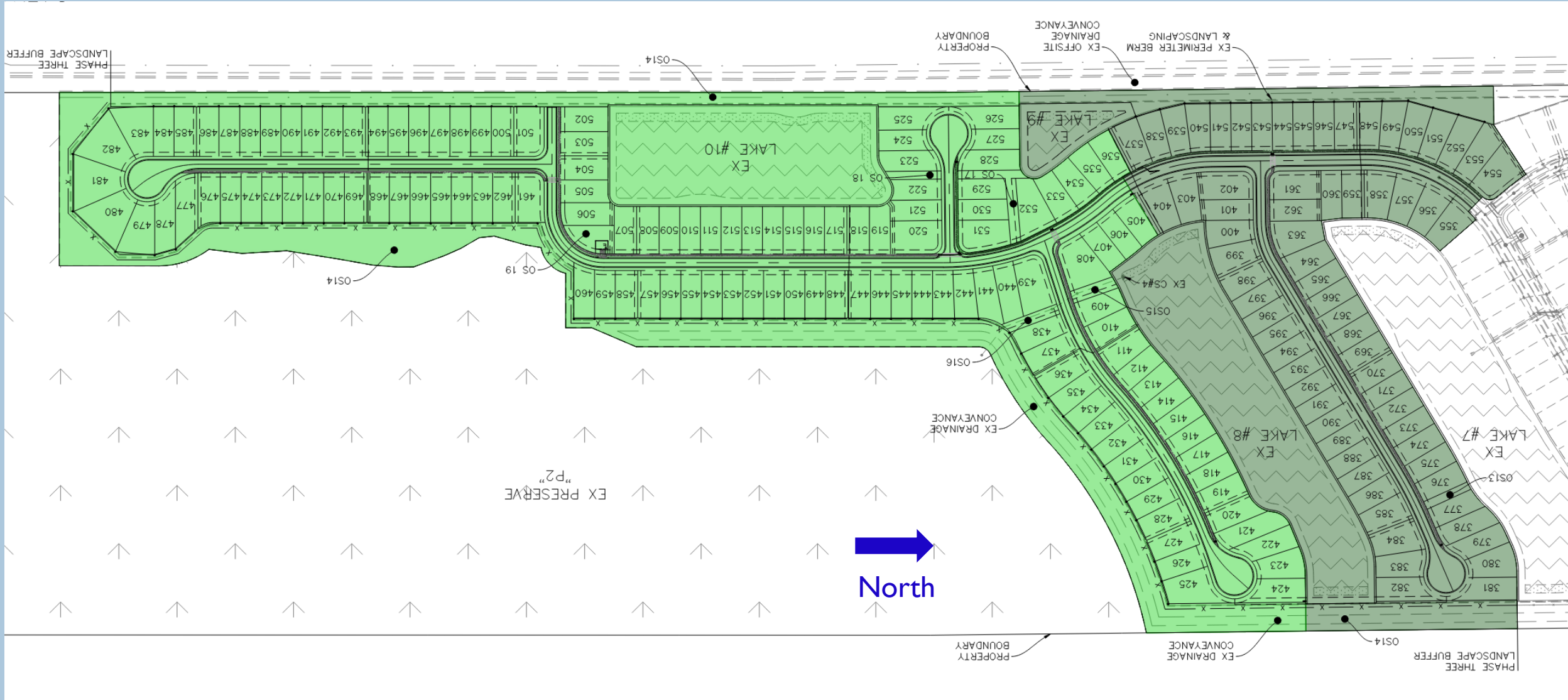
# PROJECT PHASING



- Phase One (141 Lots)** (APPROVED, INFRASTRUCTURE COMPLETE & HOMES UNDER CONSTRUCTION)
- Phase Two (213 Lots)** (APPROVED, INFRASTRUCTURE UNDER CONSTRUCTION)
- Phase Three (200 Lots)**
- Preserve**



# Phase Three





**Phase One Status**  
**Looking Northwest**



# Phase Two Status

Looking Southeast



**Phase Three**  
**Looking South**

# Front Entry




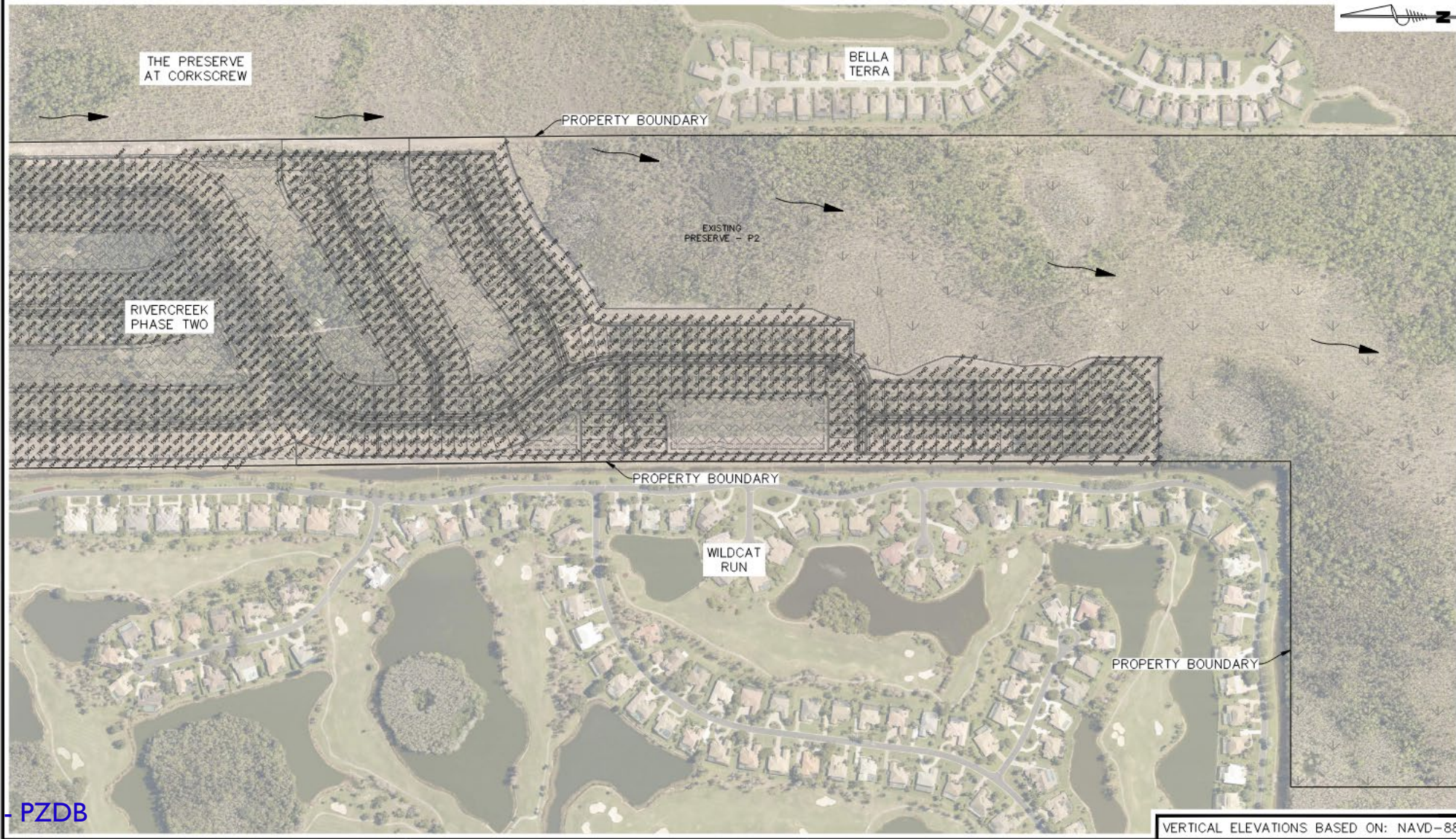


# Phase 3 - Questions



**NOTES:**  
 1. SITE PREVIOUSLY CLEARED AND FILLED UNDER RIVERCREEK (VIA CORKSCREW CROSSING) - PHASE ONE, VILLAGE OF ESTERO DO - DOB 2020-E008

**LEGEND:**  
 EXISTING SURFACE WATER FLOWS 



**AERIAL AND EXISTING CONDITIONS**  
**RIVERCREEK PHASE THREE**

GLH ENGINEERING, LLC  
 1600 SAWGRASS CORPORATE PARKWAY, SUITE 400  
 SUNRISE, FLORIDA 33323  
 PHONE: (954) 753-1730

REVISIONS	DATE	BY	CHK


0 100 200 400  
 SCALE IN FEET

DATE: 2023/04/28  
 DESIGNED BY: LCS  
 CHECKED BY: LCS  
 FILE NAME: CCPL303.DWG

LUKE C. SCHULTHEIS, P.E.  
 FLORIDA P.E. #88518

SHEET 3 OF 35

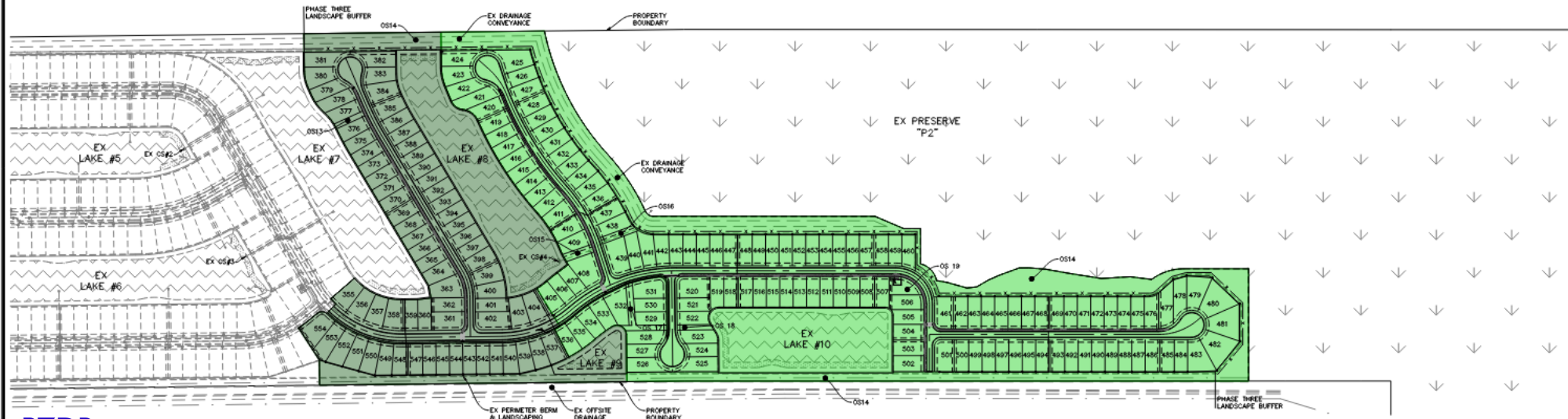
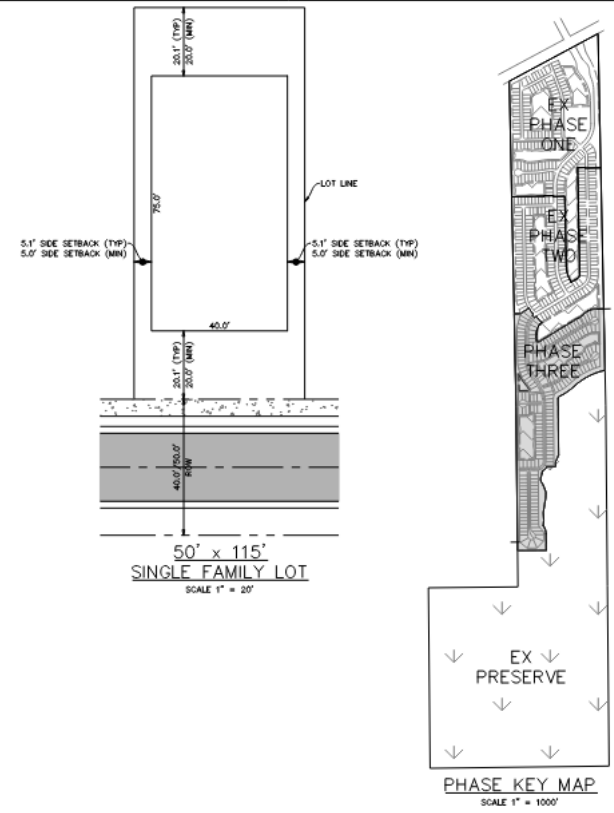
- NOTES**
- EXISTING IS DEFINED AS EITHER PREVIOUSLY PERMITTED OR EXISTING.
  - FINAL DIMENSIONS OF ALL LOTS SHALL BE PROVIDED WITH THE RESPECTIVE PHASE.
  - PER ORDINANCE 2019-25 EXHIBIT A 18A, THE PLANS MUST DELINEATE A PRESERVE CONTAINING A MINIMUM OF 25+ ACRES. REQUIRED PRESERVE PREVIOUSLY PLATTED UNDER RIVERCREEK - PHASE ONE.
    - EX PRESERVE "P1" AREA = 2.10 AC.
    - EX PRESERVE "P2" AREA = 222.27 AC.
    - TOTAL EX PRESERVE AREA = 224.37 AC.

- LEGEND**
- PHASE 3A
  - PHASE 3B
  - PHASE 3B
  - OS# OPEN SPACE TRACT NUMBER

**WATER MANAGEMENT SUMMARY**

WATER MANAGEMENT PARAMETER	BASIN		
	BASIN 2	BASIN 3	BASIN 4
LAKES	1&2	3-6	7-10
CONTROL ELEVATION (FT-NAVD)	16.8	16.3	15.8
25-YEAR, 3-DAY RAINFALL (INCHES)	10.8		
100-YEAR, 3-DAY RAINFALL (INCHES)	13.5		
PEAK 25-YEAR, 3-DAY RAINFALL (FT-NAVD)	18.90	18.77	18.84
PEAK 100-YEAR, 3-DAY RAINFALL (FT-NAVD)	19.77	19.71	19.77
FEMA ELEVATION (FT-NAVD)	NOT MAPPED	NOT MAPPED	NOT MAPPED
MINIMUM ROAD ELEVATION (FT-NAVD)	19.1	19.1	19.1
MINIMUM FINISHED FLOOR ELEVATION (FT-NAVD)	19.8	19.8	19.8
MINIMUM PERMETER BERM (FT-NAVD)	19.1	19.1	19.1

- PHASES**
- PHASE THREE (LOTS 385-564) [200 LOTS]**
- PHASE 3A (PH3A) - LOTS 305-404 & 537-554 (68 LOTS)**
- A) ISSUANCE OF A BUILDING PERMIT: (THE FOLLOWING ITEMS MUST BE COMPLETED FOR THE VILLAGE OF ESTERO TO ISSUE A BUILDING PERMIT IN THIS PHASE)**
- RECORDATION OF THE PLAT BY THE VILLAGE OF ESTERO.
  - WATER SERVICE FOR TEMPORARY FIRE PROTECTION FOR VERTICAL CONSTRUCTION ACCEPTABLE TO ESTERO FIRE RESCUE AND BUILDING OFFICIAL.
  - COMPLETION OF STABILIZED ACCESS ROAD.
  - FILLED AND COMPACTED TO HOLD-DOWN GRADE FOR LOT REQUESTING BUILDING PERMIT (HOLD DOWN TO BE DETERMINED BY DEVELOPER AND CONTRACTOR, NOT TO EXCEED 12 INCHES FROM FINISHED FLOOR ELEVATION).
  - P.E. CERTIFIED COMPACTION RESULTS FOR LOT REQUESTING BUILDING PERMIT.
  - INSTALLATION OF ALL UNDERGROUND UTILITIES TO SERVE THE PROPOSED LOTS (INFRASTRUCTURE DOES NOT REQUIRE CERTIFICATION FROM LOU, LCOOH, OR FDEP).
  - EXCAVATION AND STABILIZATION (500) OF LAKES 7 & 8.
- B) ISSUANCE OF C.O. (CERTIFICATE OF OCCUPANCY): (THE FOLLOWING ITEMS MUST BE COMPLETED FOR THE VILLAGE OF ESTERO TO ISSUE A C.O. IN THIS PHASE)**
- PRELIMINARY ACCEPTANCE OF UTILITIES TO SERVE PROPOSED LOTS (INFRASTRUCTURE REQUIRES CERTIFICATION FROM LOU, LCOOH, AND FDEP).
  - INSTALLATION OF DRAINAGE INFRASTRUCTURE WITHIN PHASE 3A.
  - ROADWAYS WITHIN PHASE 3A PAVED (FIRST LEFT ONLY).
  - INSTALLATION AND ACTIVATION OF DRY UTILITIES.
  - PARTIAL CERTIFICATION OF PHASE 3A FROM SFMWD.
  - COMPLETION OF LAKES 7 & 8 (500, LANDSCAPING & LITTORALS). (BASED ON CONSTRUCTION TIMING AND WATER LEVELS WITHIN THE PROJECT, THE LITTORAL PLANTINGS MAY NOT BE PLANTED, NOTE THE LITTORAL SHELVES HAVE BEEN BONDED UNDER 0020200-00008. THE LITTORAL PLANTINGS WILL BE PLANTED IN LATE SPRING JUST BEFORE WATER LEVELS RISE IN THE WET SEASON TO ENSURE THE GREATEST CHANCE OF PLANT SURVIVAL).
  - INSTALLATION OF EAST LANDSCAPE BUFFER ADJACENT TO PHASE THREE LOTS (ZONE 1 & ALL OF THE LEE).
- PHASE 3B (PH3B) - LOTS 405-536 [132 LOTS]**
- A) ISSUANCE OF A BUILDING PERMIT: (THE FOLLOWING ITEMS MUST BE COMPLETED FOR THE VILLAGE OF ESTERO TO ISSUE A BUILDING PERMIT IN THIS PHASE)**
- RECORDATION OF THE PLAT BY THE VILLAGE OF ESTERO.
  - WATER SERVICE FOR TEMPORARY FIRE PROTECTION FOR VERTICAL CONSTRUCTION ACCEPTABLE TO ESTERO FIRE RESCUE AND BUILDING OFFICIAL.
  - COMPLETION OF STABILIZED ACCESS ROAD.
  - FILLED AND COMPACTED TO HOLD-DOWN GRADE FOR LOT REQUESTING BUILDING PERMIT (HOLD DOWN TO BE DETERMINED BY DEVELOPER AND CONTRACTOR, NOT TO EXCEED 12 INCHES FROM FINISHED FLOOR ELEVATION).
  - P.E. CERTIFIED COMPACTION RESULTS FOR LOT REQUESTING BUILDING PERMIT.
  - INSTALLATION OF ALL UNDERGROUND UTILITIES TO SERVE THE PROPOSED LOTS (INFRASTRUCTURE DOES NOT REQUIRE CERTIFICATION FROM LOU, LCOOH, OR FDEP).
  - EXCAVATION AND STABILIZATION (500) OF LAKES 9 & 10.
- B) ISSUANCE OF C.O. (CERTIFICATE OF OCCUPANCY): (THE FOLLOWING ITEMS MUST BE COMPLETED FOR THE VILLAGE OF ESTERO TO ISSUE A C.O. IN THIS PHASE)**
- PRELIMINARY ACCEPTANCE OF UTILITIES TO SERVE PROPOSED LOTS (INFRASTRUCTURE REQUIRES CERTIFICATION FROM LOU, LCOOH, AND FDEP).
  - INSTALLATION OF DRAINAGE INFRASTRUCTURE WITHIN PHASE 3B.
  - ROADWAYS WITHIN PHASE 3B PAVED (FIRST LEFT ONLY).
  - INSTALLATION AND ACTIVATION OF DRY UTILITIES.
  - PARTIAL CERTIFICATION OF PHASE 3B FROM SFMWD.
  - COMPLETION OF LAKES 9 & 10 (500, LANDSCAPING & LITTORALS). (BASED ON CONSTRUCTION TIMING AND WATER LEVELS WITHIN THE PROJECT, THE LITTORAL PLANTINGS MAY NOT BE PLANTED, NOTE THE LITTORAL SHELVES HAVE BEEN BONDED UNDER 0020200-00008. THE LITTORAL PLANTINGS WILL BE PLANTED IN LATE SPRING JUST BEFORE WATER LEVELS RISE IN THE WET SEASON TO ENSURE THE GREATEST CHANCE OF PLANT SURVIVAL).



**SITE & PHASING PLAN**  
**RIVERCREEK PHASE THREE**

GLH ENGINEERING, LLC  
1600 SAWGRASS CORPORATE PARKWAY, SUITE 400  
SUNRISE, FLORIDA 33312  
PHONE: (954) 753-1730

REVISIONS	DATE	BY	CHK

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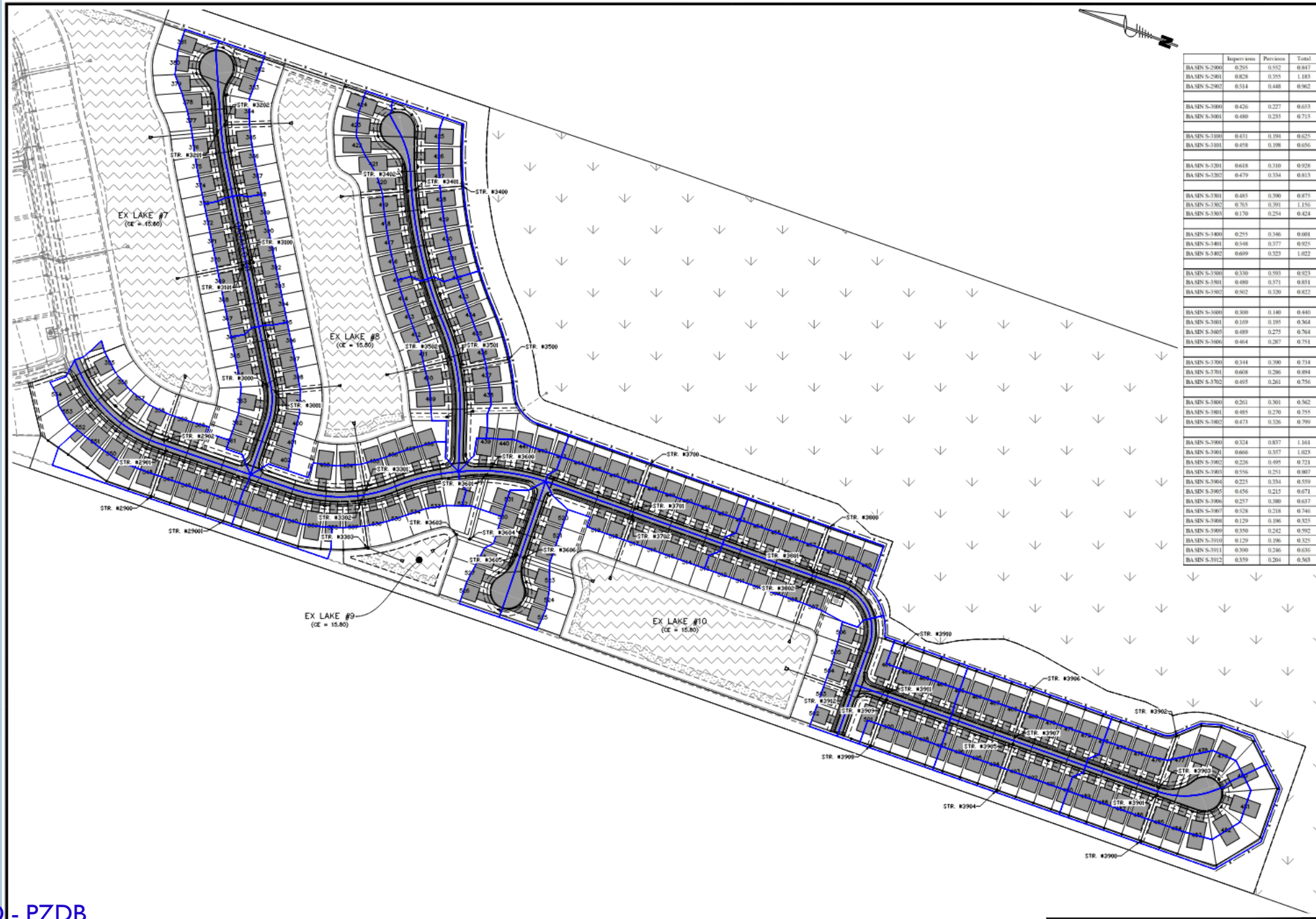
DATE: 2023/04/28  
DESIGNED BY: LCS  
CHECKED BY: LCS  
FILE NAME: CCPL304.DWG

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VERTICAL ELEVATIONS BASED ON: NAVD-88

SHEET 4 OF 35

MASTER DRAINAGE PLAN  
RIVERCREEK PHASE  
THREE



	Impervious	Pervious	Total
BASIN S-2900	0.295	0.552	0.847
BASIN S-2901	0.828	0.355	1.183
BASIN S-2902	0.514	0.448	0.962
BASIN S-3000	0.426	0.227	0.653
BASIN S-3001	0.680	0.285	0.965
BASIN S-3100	0.471	0.194	0.665
BASIN S-3101	0.458	0.198	0.656
BASIN S-3201	0.618	0.310	0.928
BASIN S-3202	0.479	0.354	0.833
BASIN S-3301	0.485	0.390	0.875
BASIN S-3302	0.765	0.391	1.156
BASIN S-3303	0.170	0.254	0.424
BASIN S-3400	0.255	0.346	0.601
BASIN S-3401	0.548	0.377	0.925
BASIN S-3402	0.699	0.323	1.022
BASIN S-3500	0.320	0.593	0.913
BASIN S-3501	0.480	0.371	0.851
BASIN S-3502	0.502	0.320	0.822
BASIN S-3600	0.300	0.140	0.440
BASIN S-3601	0.169	0.195	0.364
BASIN S-3605	0.489	0.275	0.764
BASIN S-3606	0.464	0.287	0.751
BASIN S-3700	0.344	0.390	0.734
BASIN S-3701	0.608	0.286	0.894
BASIN S-3702	0.405	0.261	0.666
BASIN S-3800	0.261	0.301	0.562
BASIN S-3801	0.485	0.270	0.755
BASIN S-3802	0.473	0.326	0.799
BASIN S-3900	0.324	0.837	1.161
BASIN S-3901	0.666	0.357	1.023
BASIN S-3902	0.226	0.495	0.721
BASIN S-3903	0.556	0.251	0.807
BASIN S-3904	0.225	0.324	0.549
BASIN S-3905	0.456	0.215	0.671
BASIN S-3906	0.257	0.380	0.637
BASIN S-3907	0.528	0.218	0.746
BASIN S-3908	0.129	0.196	0.325
BASIN S-3909	0.350	0.242	0.592
BASIN S-3910	0.129	0.196	0.325
BASIN S-3911	0.390	0.246	0.636
BASIN S-3912	0.359	0.204	0.563

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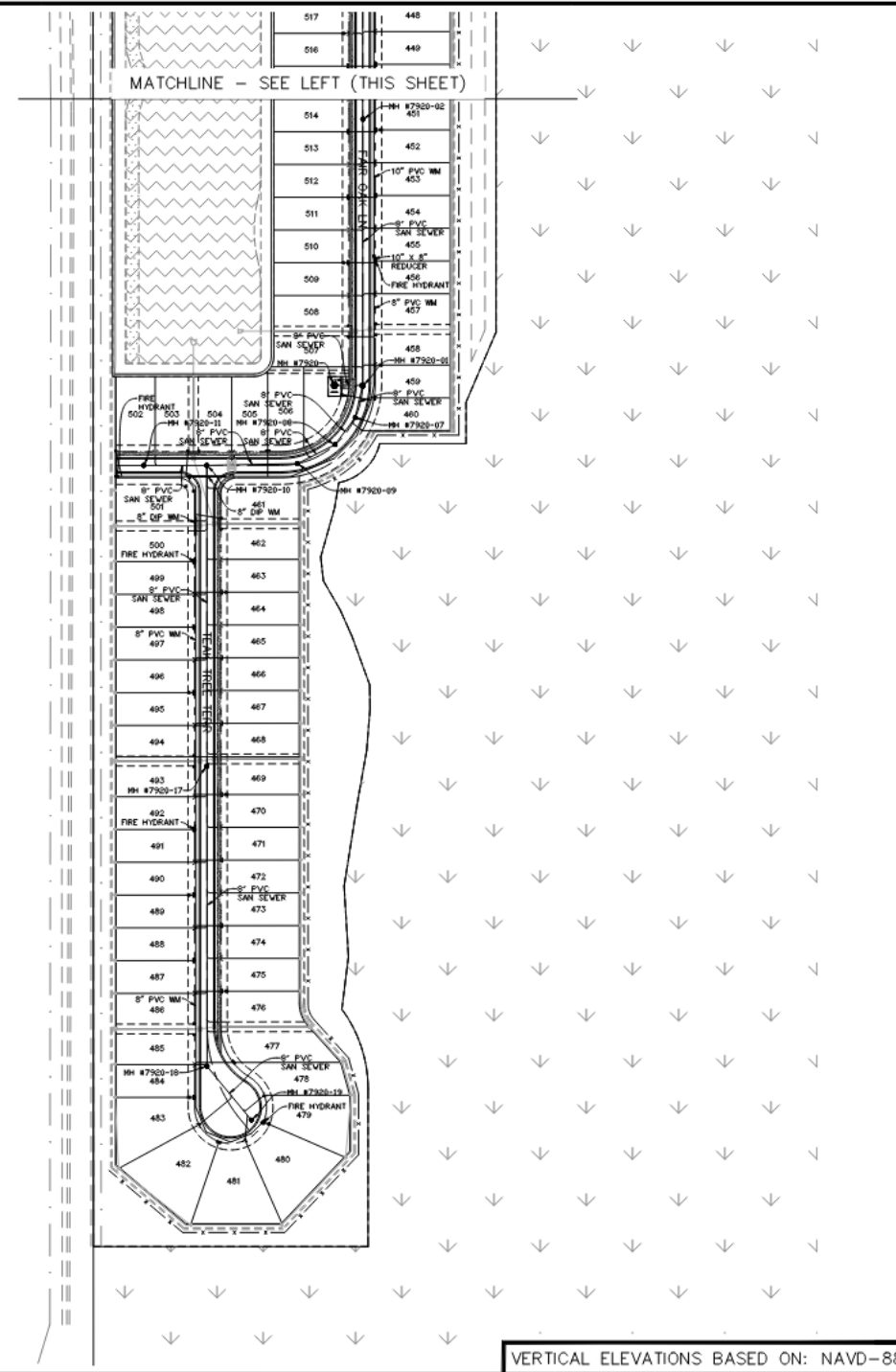
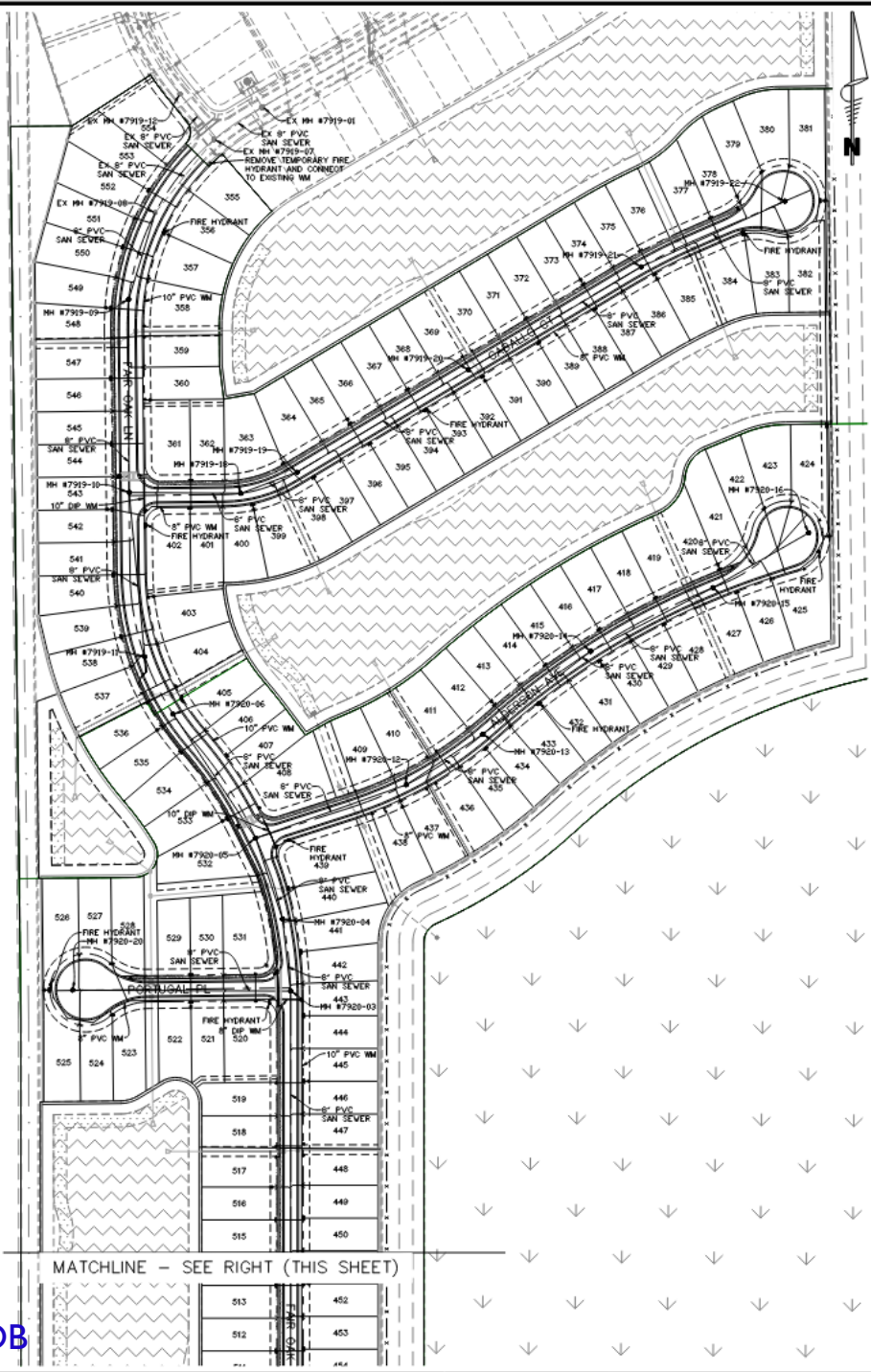
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VERTICAL ELEVATIONS BASED ON: NAVD-88



MASTER UTILITY PLAN  
RIVERCREEK PHASE  
THREE

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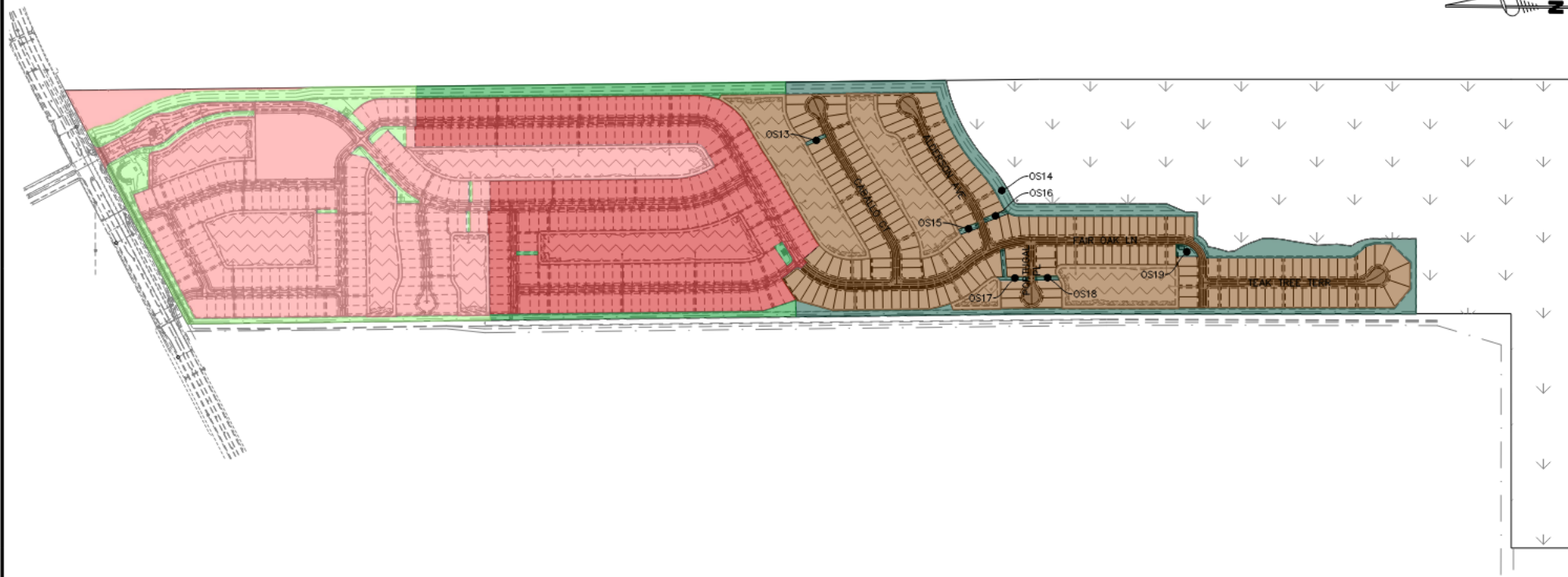
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SHEET 8 OF 35



OPEN SPACE CALCULATION	
DEVELOPMENT AREA	61.89 AC
OPEN SPACE (PLATTED OS TRACTS)	10.06 AC
OS13	0.05 AC
OS14	9.48 AC
OS15	0.08 AC
OS16	0.08 AC
OS17	0.16 AC
OS18	0.06 AC
OS19	0.15 AC
OPEN SPACE (% DEVELOPMENT)	16.23%
PREVIOUS DEVELOPMENT	
DEVELOPMENT AREA	111.29 AC
OPEN SPACE (PLATTED OS TRACTS)	13.59 AC
OPEN SPACE (% DEVELOPMENT)	12.21%

- OPEN SPACE CALCULATION**
- PHASE 1 DEVELOPMENT
  - PHASE 1 OPEN SPACE
  - PHASE 2 DEVELOPMENT
  - PHASE 2 OPEN SPACE
  - PHASE 3 DEVELOPMENT
  - PHASE 3 OPEN SPACE

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OPEN SPACE PLAN  
 RIVERCREEK PHASE  
 THREE