DEVELOPMENT PLAN FOR:
THE COVE

NORTHCUTT CUSTOM HOMES
CITY OF FAIRVIEW
WILLIAMSON COUNTY, TENNESSEE

THIS DEVELOPMENT PLAN WAS APPROVED BY THE FAIRVIEW MUNICIPAL PLANNING COMMISSION, WITH SUCH EXCEPTIONS OR CONDITIONS AS INDICATED IN THE MINUTES OF THE COMMISSION ON

_____
DATE

NO GRADING OR CONSTRUCTION SHALL TAKE PLACE UNTIL CONSTRUCTION PLANS AND A DEVELOPMENT AGREEMENT REQUIRED BY THE SUBDIVISION REGULATIONS ARE APPROVED.

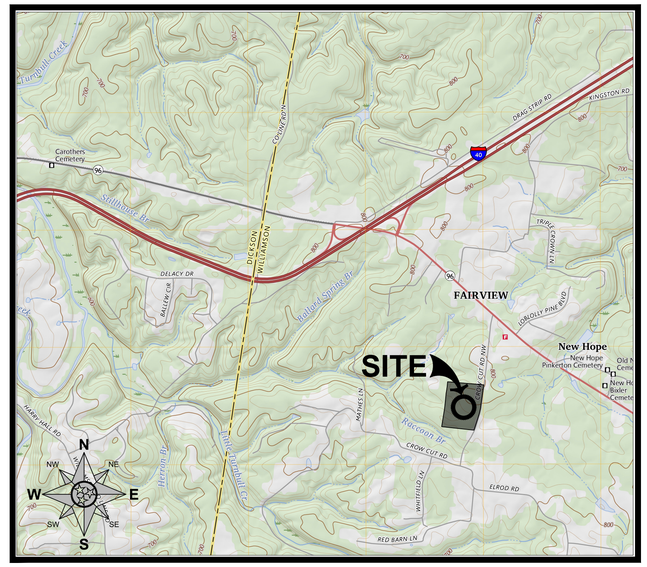
_____
PLANNING COMMISSION SECRETARY

I **MICHAEL CAMPBELL, PE**, HEREBY CERTIFY THAT THE APPROXIMATE LAYOUT OF PROPOSED STREETS, LOTS, AND OPEN SPACE AS SHOWN ON THE DEVELOPMENT PLAN FOR **THE COVE** COMPLIES WITH APPLICABLE ZONING AND SUBDIVISION REGULATIONS.

THIS CERTIFICATION IS PROVIDED TO THE PLANNING COMMISSION TO GIVE ASSURANCE THAT THE PROPOSED PLAN CAN BE ACCOMPLISHED WITHIN CURRENT REGULATIONS.

ANY VARIANCES REQUIRED TO IMPLEMENT THE PLAN AS PRESENTED ARE AS FOLLOWS:
1. NONE

ENGINEER 10/27/2025
DATE



VICINITY MAP
SCALE: 1" = 2,000'
SOURCE: USGS

Sheet List Table	
SHEET NUMBER	SHEET TITLE
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS
C1.1	AERIAL IMAGERY
C2.0	SITE LAYOUT PLAN
C2.1	LOT SUMMARY
C2.2	SOUTH ENTRANCE SIGHT DISTANCE PLAN & PROFILE
C2.3	ROAD PROFILES
C3.0	OVERALL GRADING & DRAINAGE PLAN
C5.0	SANITARY SEWER PLAN
C5.3	WATER LINE PLAN
C5.5	FIRE PROTECTION PLAN

CONTACT LIST

OWNER/DEVELOPER

NORTHCUTT CUSTOM HOMES, LLC
599 WILLIAMSON COUNTY LINE RD.
FAIRVIEW, TN 37062
PHONE: 615-412-4334
CONTACT: VADEN NORTHCUTT
E-MAIL: northcus@realtracs.com

CIVIL ENGINEER

M2 GROUP, LLC
P.O. BOX 2543
BRENTWOOD, TN 37024
PHONE: 615-656-0257 (EXT. 1000)
CONTACT: MICHAEL CAMPBELL, P.E.
E-MAIL: mike@m2groupllc.com

SURVEYOR

M2 GROUP, LLC
P.O. BOX 2543
BRENTWOOD, TN 37024
PHONE: 615-656-0257 (EXT. 2000)
CONTACT: STEPHEN VANDER HORST, RLS, CFS
E-MAIL: stephen@m2groupllc.com

UTILITY CONTACTS:

WATER & SANITARY SEWER SUPPLY

WATER AUTHORITY OF DICKSON COUNTY
MICHAEL W. ROGERS, P.E.
615-441-5403
101 COWAN RD.
DICKSON, TN 37055
mrogers@wadc.us

ELECTRIC SERVICE

MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORP. (MTEMC)
2156 EDWARD CURD LANE
FRANKLIN, TN 37067

GAS SERVICE

PIEDMONT NATURAL GAS
665 MAINSTREAM DR.
NASHVILLE, TN 37228

SITE DATA TABLE			
TOTAL PROJECT SITE AREA	=	28.75	ACRES
FAIRVIEW ZONING	=	RS-15	
TOTAL NUMBER OF LOTS	=	50	
TOTAL LOT AREA	=	22.51	ACRES
MAXIMUM LOT SIZE	=	37,635	SQ. FT.
MINIMUM LOT SIZE	=	15,000	SQ. FT.
AVERAGE LOT SIZE	=	19,611	SQ. FT.
DENSITY	=	1.74	D. U. / ACRE
TOTAL OPEN SPACE	=	2.18	ACRES
% OF OPEN SPACE	=	7.60	%
TOTAL R.O.W.	=	4.06	ACRES

811
Know what's below.
Call before you dig.

REVISION #	DATE	DESCRIPTION
1	10/27/2025	REVISED PER STAFF COMMENTS REC'D 10/21/2025

MICHAEL S. CAMPBELL
REGISTERED ENGINEER
No. 111324
STATE OF TENNESSEE
10/27/2025

DEVELOPMENT PLAN FOR:
THE COVE
CROW CUT RD. NW
CITY OF FAIRVIEW
WILLIAMSON COUNTY, TENNESSEE

M2 GROUP
P.O. BOX 2543
BRENTWOOD, TN 37024-2543
615-656-0257 / MIKE@M2GROUPLLC.COM

COVER SHEET

DATE :	OCTOBER 27, 2025	DRAWN BY :	TGT
PROJECT NO. :	25-111	CHECKED BY :	MSC

SHEET NUMBER:
C0.0

25-111_D0.0-COVER SHEET.DWG | Monday, October 27, 2025 3:41:18 PM

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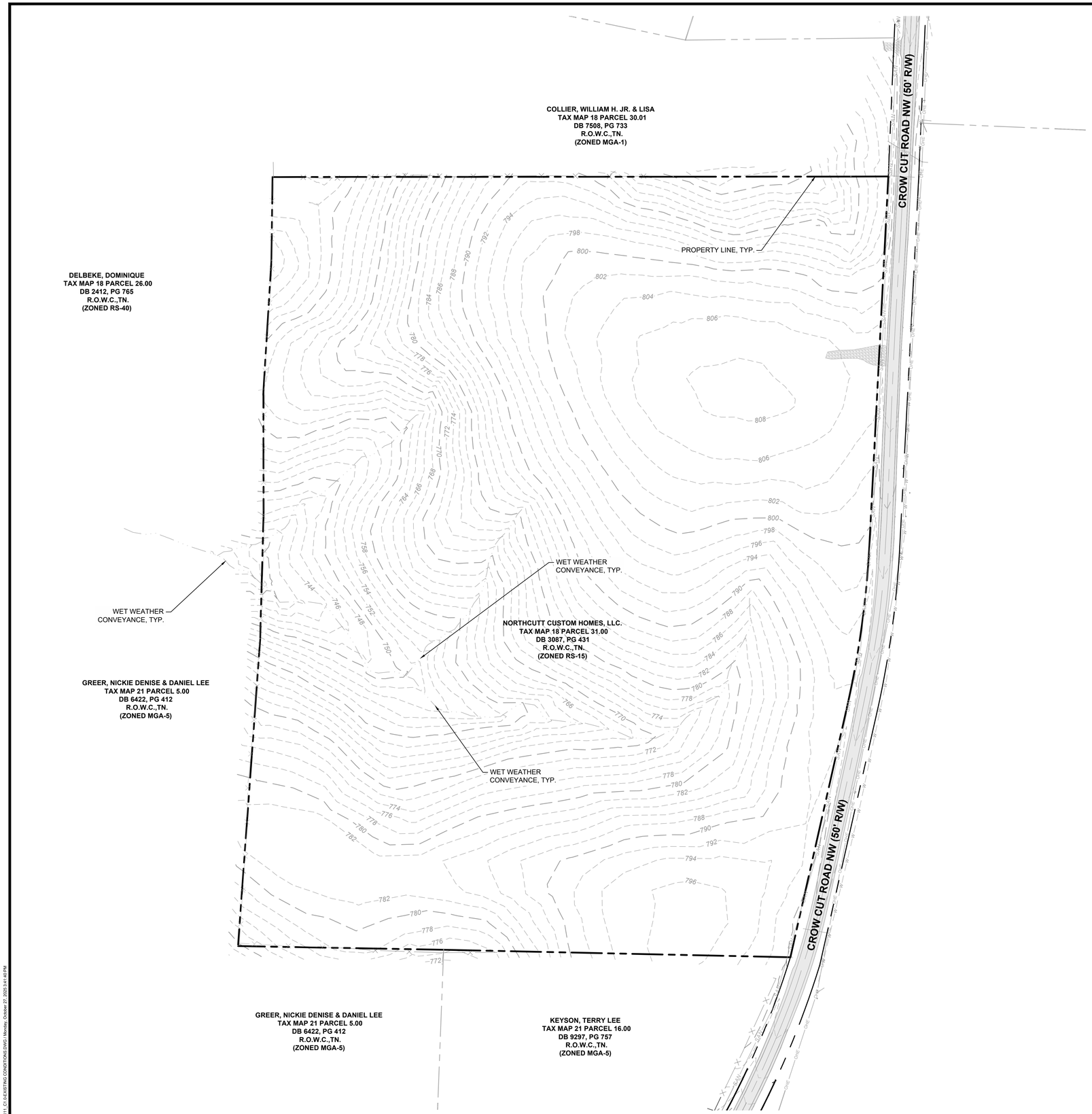

PARCEL INFORMATION:

OWNER:	NORTHCUTT CUSTOM HOMES, LLC
TOTAL AREA:	28.75± ACRES
ADDRESS:	0 CROW CUT RD. NW. FAIRVIEW, TN 37062
ZONING:	RS-15
EXISTING USE:	VACANT

N NE E SE S SW W NW

80 0 80 160
GRAPHIC SCALE

GENERAL NOTES:

1. BEARINGS ARE BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM (NAD83, 2011).
2. ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88, GEOID 18). CONTOURS ARE SHOWN AT 2-FOOT INTERVALS.
3. THE FIELD SURVEY WAS COMPLETED ON OCTOBER 9, 2025.
4. THIS SURVEY WAS PREPARED USING THE CURRENT DEEDS AND PLATS OF RECORD.
5. ALL DEED BOOK AND PLAT REFERENCES PERTAIN TO THE REGISTER'S OFFICE FOR WILLIAMSON COUNTY, TENNESSEE.
6. ADJOINING PROPERTY LINES SHOWN WERE PLOTTED FROM INFORMATION TAKEN FROM EITHER DEED DESCRIPTION, RECORD PLATS, OR TAX MAPS.
7. UTILITIES SHOWN HEREON WERE COMPILED FROM VISIBLE STRUCTURES AT THE SITE, INFORMATION FROM PLANS, AND PHYSICAL MARKINGS AND COMBINED TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE. THIS SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THIS SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. VERIFICATION OF EXISTENCE, LOCATIONS, AND DEPTH SHOULD BE MADE BEFORE CONDUCTING ANY EXCAVATION IN THE VICINITY OF THE UTILITY.
8. THE PROPERTY SHOWN HEREON IS LOCATED IN A FLOOD HAZARD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) ACCORDING TO F.I.R.M. MAP "WILLIAMSON COUNTY, TENNESSEE" PANEL 20 OF 485, MAP NUMBER 47187C0020F, REVISED SEPTEMBER 29, 2006.
9. NO TITLE REPORT WAS PROVIDED TO THIS SURVEYOR REGARDING THE SUBJECT PROPERTIES, THEREFORE, THIS SURVEY IS SUBJECT TO THE FINDING OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH AND REPORT MY DISCLOSE.
10. A HYDROLOGIC DETERMINATION WAS PREPARED BY THE BARN GROUP, LLC. AND HAS CONCURRENCE FROM THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION (TDEC) DIVISION OF WATER RESOURCES, DATED SEPTEMBER 8, 2025 (DWR ID NO. 34420).

LEGEND:

- *EXISTING PROPERTY LINE*
- *EXISTING RIGHT-OF-WAY*
- *EXISTING ADJACENT PROPERTY LINE*
- *EXISTING EASEMENT*
- XXX *EXISTING INDEX CONTOUR*
- *EXISTING INTERMEDIATE CONTOUR*
- *EXISTING CONVEYANCE*
- SAN *EXISTING SANITARY SEWER LINE*
- ST *EXISTING STORM SEWER LINE*
- G *EXISTING GAS LINE*
- W *EXISTING WATER LINE*
- OHE *EXISTING OVERHEAD ELECTRIC*
- *WATER METER*
- *WATER MANHOLE*
- WV *WATER VALVE*
- *SEWER BOX*
- *COMMUNICATION PEDESTAL*
- *POWER POLE*
- *GUY WIRE*
- *MAILBOX*

Know what's below. Call before you dig.

REVISION #	DATE	DESCRIPTION
1	10/27/2025	REVISED PER STAFF COMMENTS REC'D 10/21/2025

MICHAEL S. CAMPBELL
REGISTERED ENGINEER
CORPORATE SEAL
NO. 111324
STATE OF TENNESSEE
10/27/2025

DEVELOPMENT PLAN FOR: THE COVE

CROW CUT RD. NW
CITY OF FAIRVIEW
WILLIAMSON COUNTY, TENNESSEE

M2 GROUP
P.O. BOX 2543
BRENTWOOD, TN 37024-2543
615-656-0257 / M2GROUPLLC.COM

EXISTING CONDITIONS

DATE :	OCTOBER 27, 2025	DRAWN BY :	TGT
PROJECT NO. :	25-111	CHECKED BY :	MSC

SHEET NUMBER:
C1.0

25-111 C1.0-EXISTING CONDITIONS.DWG Monday, October 27, 2025 3:41:48 PM

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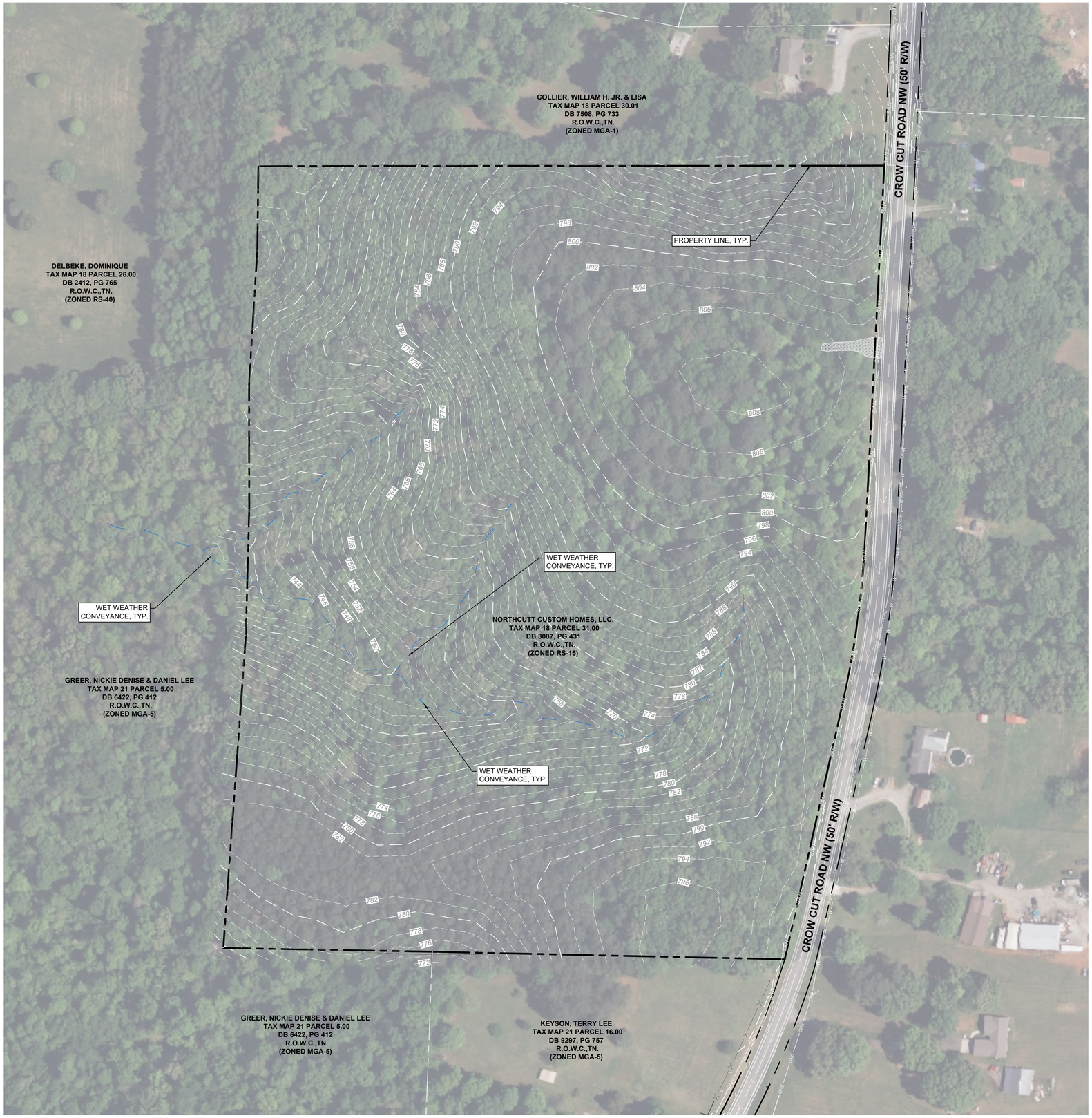

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TOTAL AREA:	28.75± ACRES
ADDRESS:	0 CROW CUT RD. NW. FAIRVIEW, TN 37062
ZONING:	RS-15
EXISTING USE:	VACANT

N
NE
E
SE
S
SW
W
NW

80 0 80 160
GRAPHIC SCALE

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LEGEND:

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- *EXISTING RIGHT-OF-WAY*
- *EXISTING ADJACENT PROPERTY LINE*
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811
Know what's below.
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REVISION #	DATE	DESCRIPTION
1	10/27/2025	REVISED PER STAFF COMMENTS REC'D 10/21/2025

MICHAEL S. CAMPBELL
REGISTERED ENGINEER
No. 110577
COMMERCE
ILLINOIS
STATE OF TENNESSEE
10/27/2025

DEVELOPMENT PLAN FOR: THE COVE

CROW CUT RD. NW
CITY OF FAIRVIEW
WILLIAMSON COUNTY, TENNESSEE

M2 GROUP
P.O. BOX 2543
BRENTWOOD, TN 37024-2543
615-656-0027 / M2GROUPLLC.COM

AERIAL IMAGERY

DATE :	OCTOBER 27, 2025	DRAWN BY :	TGT
PROJECT NO. :	25-111	CHECKED BY :	MSC

SHEET NUMBER:
C1.1

25-111_C1.0-EXISTING CONDITIONS.DWG Monday, October 27, 2025 3:41:41 PM

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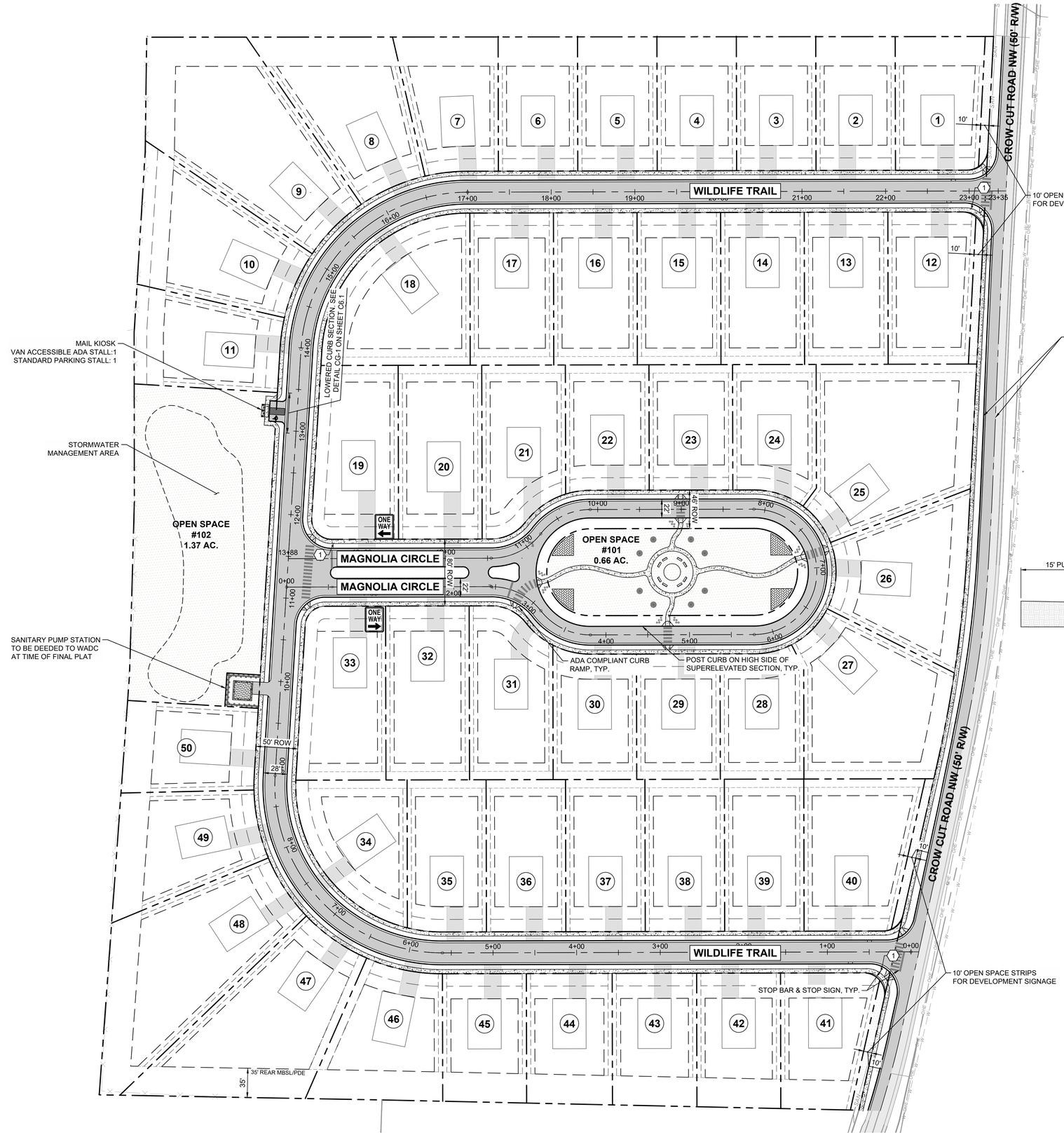
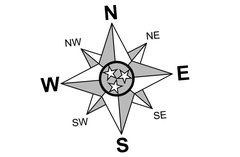


STANDARD MAIL KIOSK
NOT TO SCALE



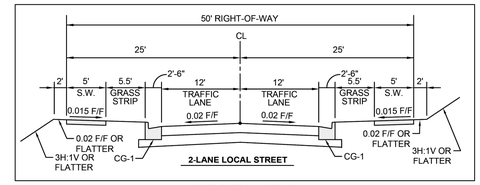
60' 0 60' 120'
GRAPHIC SCALE

LEGEND

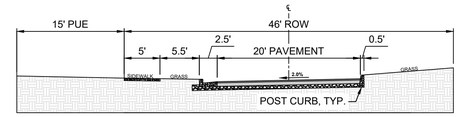
- CONCRETE WALK/PAD
- ASPHALT PAVEMENT

CODED NOTES

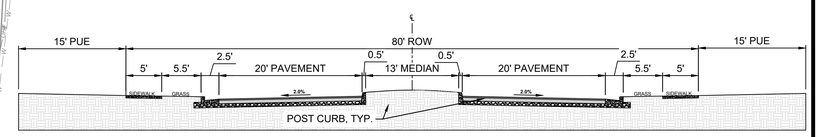
1. STOP SIGN (MUTCD R1-1)



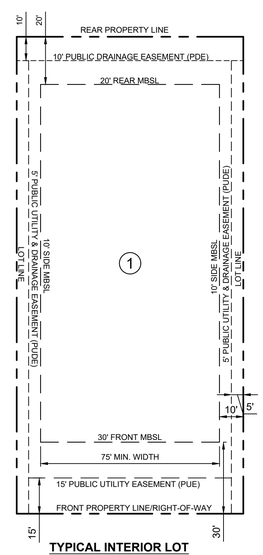
COF DETAIL SD-02
NOT TO SCALE



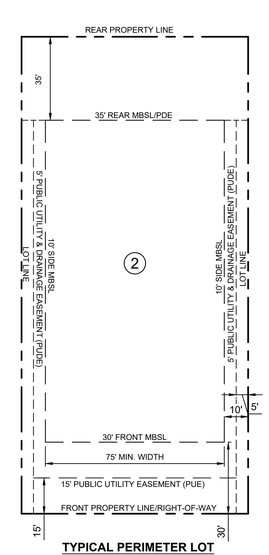
PROPOSED 46' ROW
SCALE: 1" = 10'



PROPOSED 80' ROW
SCALE: 1" = 10'



TYPICAL INTERIOR LOT
SCALE: N.T.S.



TYPICAL PERIMETER LOT
SCALE: N.T.S.

NOTES:

1. ALL PROPOSED RIGHT-OF-WAY SHOWN ON THIS PLAN IS TO BE PUBLIC.
2. STREET TREES ARE **NOT** TO BE PLACED WITHIN THE PUBLIC R.O.W. OR PUBLIC UTILITY EASEMENT. PLACEMENT AND MAINTENANCE OF SAID TREES SHALL BE DESCRIBED WITHIN THE COMMUNITY ASSOCIATION DOCUMENTS. SUCH DESCRIPTION SHALL COMPLY WITH FAIRVIEW SUBDIVISION REGULATIONS ARTICLE 4 SECTION 4-106.3

REVISION #	DATE	DESCRIPTION
1	10/27/2025	REVISED PER STAFF COMMENTS REC'D 10/21/2025

MICHAEL S. CAMPBELL
REGISTERED ENGINEER
No. 115741
STATE OF TENNESSEE
10/27/2025

DEVELOPMENT PLAN FOR: THE COVE

CROW CUT RD. NW
CITY OF FAIRVIEW
WILLIAMSON COUNTY, TENNESSEE

M2 GROUP
P.O. BOX 2543
BRENTWOOD, TN 37024-2543
615-656-0297 / INFO@M2-LLC.COM

SITE LAYOUT PLAN

DATE :	OCTOBER 27, 2025	DRAWN BY :	TGT
PROJECT NO. :	25-111	CHECKED BY :	MSC

SHEET NUMBER:
C2.0

25-111 C2.0-SITE LAYOUT PLAN.DWG | Monday, October 27, 2025 3:41:46 PM

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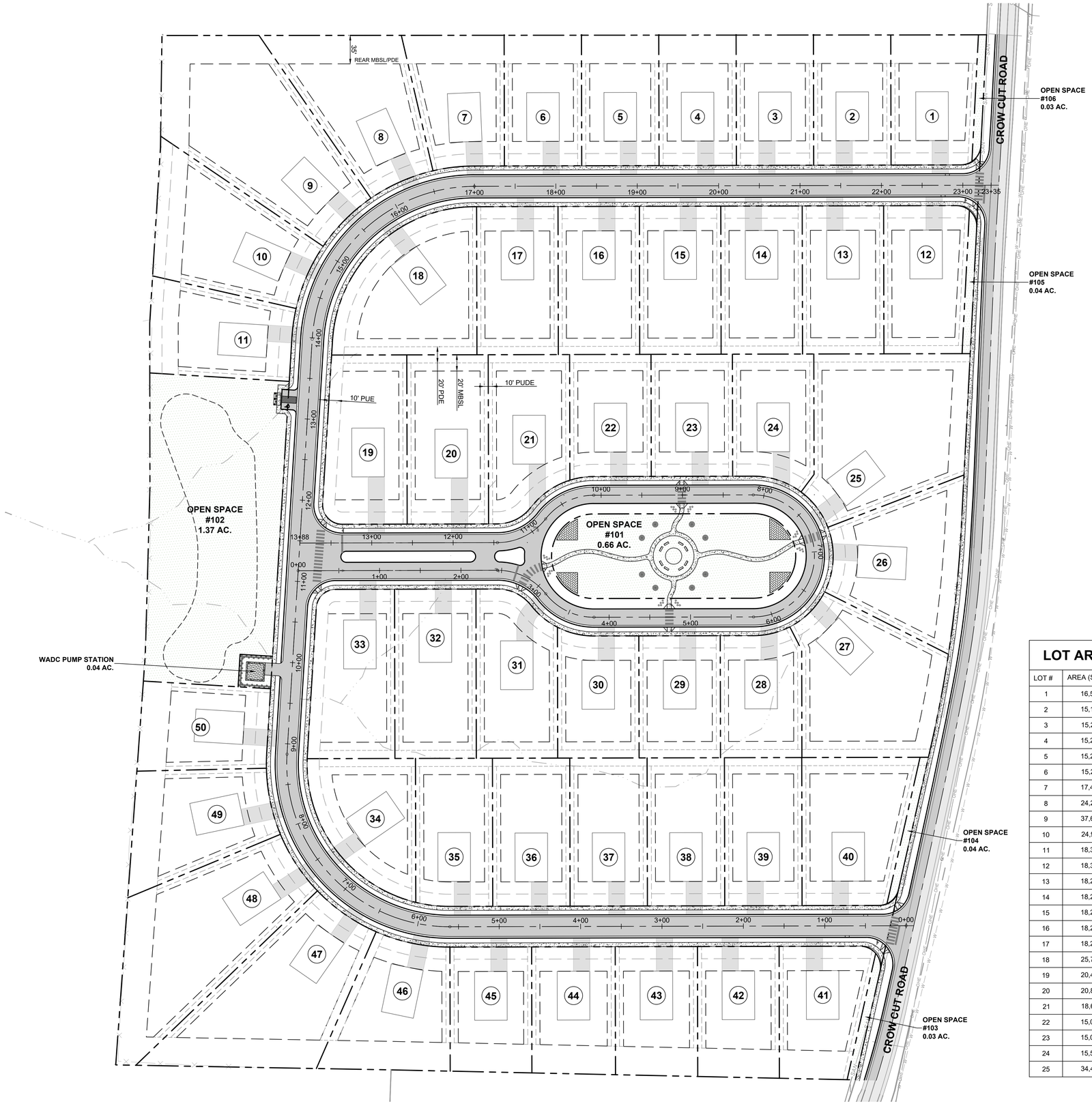
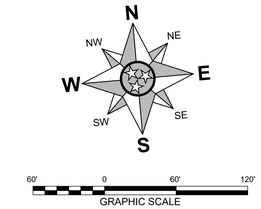


SITE DATA TABLE		
TOTAL PROJECT SITE AREA	=	28.75 ACRES
FAIRVIEW ZONING	=	RS-15
TOTAL NUMBER OF LOTS	=	50
TOTAL LOT AREA	=	22.51 ACRES
MAXIMUM LOT SIZE	=	37,635 SQ. FT.
MINIMUM LOT SIZE	=	15,000 SQ. FT.
AVERAGE LOT SIZE	=	19,611 SQ. FT.
DENSITY	=	1.74 D. U. / ACRE
TOTAL OPEN SPACE	=	2.18 ACRES
% OF OPEN SPACE	=	7.60 %
TOTAL R.O.W.	=	4.06 ACRES



BULK REGULATIONS

1. MINIMUM ZONE LOT REQUIREMENTS
   1.1. AREA – 15,000 SQUARE FEET
   1.2. WIDTH – 75 FEET (IN FEET MEASURED AT THE BUILDING LINE)
2. MAX LOT COVERAGE (BY ALL BUILDINGS)
   2.1. 25 PERCENT OF LOT AREA
3. DEVELOPMENT AREA PER DWELLING OR ROOMING UNIT
   3.1. 15,000 SQUARE FEET
4. MAXIMUM HEIGHT
   4.1. 35 FEET
5. MINIMUM YARD REQUIREMENTS
   5.1. RESIDENTIAL BUILDINGS
      5.1.1. FRONT YARD – 30 FEET
      5.1.2. SIDE YARD – 10 FEET
      5.1.3. REAR YARD – 20 FEET

GENERAL NOTES:

1. THIS DEVELOPMENT PLAN IS INTENDED FOR REVIEW BY STAFF AND PLANNING COMMISSION OF THE CITY OF FAIRVIEW AND SHALL NOT BE USED FOR CONSTRUCTION. LAYOUT OF ALL PROPOSED IMPROVEMENTS ARE SUBJECT TO CHANGE THROUGHOUT THE REVIEW CYCLE OF THIS DEVELOPMENT PLAN.
2. A HYDROLOGIC DETERMINATION WAS PREPARED BY THE BARN GROUP, LLC. AND HAS CONCURRENCE FROM THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION (TDEC) DIVISION OF WATER RESOURCES, DATED SEPTEMBER 8, 2025 (DWR ID NO. 34420).
3. NO GEOTECHNICAL TESTING OR ANALYSIS HAS BEEN PERFORMED. SUITABILITY OF SOILS FOR GRADING, FOUNDATIONS, OR STORMWATER MANAGEMENT FACILITIES MUST BE CONFIRMED THROUGH SUBSURFACE INVESTIGATION.
4. LOTS 1, 12, 25, 26, 27, 40, AND 41 WILL NOT BE PERMITTED ACCESS TO CROW CUT ROAD.
5. OPEN SPACE LOTS 103,104,105, & 106 ARE INTENDED TO BE USED FOR DEVELOPMENT SIGNAGE & LANDSCAPING.
6. A SEMI-OPAQUE LANDSCAPE BUFFER SHALL BE INSTALLED ALONG OR NEAR THE REAR PROPERTY LINE OF LOTS 25-27, ADJACENT TO THE CROW CUT ROAD NW RIGHT-OF-WAY.

LOT AREA TABLE

LOT #	AREA (S.F.)	AREA (AC.)
1	16,515	0.38
2	15,198	0.35
3	15,211	0.35
4	15,224	0.35
5	15,238	0.35
6	15,251	0.35
7	17,406	0.40
8	24,284	0.56
9	37,635	0.86
10	24,951	0.57
11	18,317	0.42
12	18,326	0.42
13	18,200	0.42
14	18,200	0.42
15	18,200	0.42
16	18,200	0.42
17	18,200	0.42
18	25,779	0.59
19	20,428	0.47
20	20,800	0.48
21	18,601	0.43
22	15,043	0.35
23	15,000	0.34
24	15,506	0.36
25	34,494	0.79

LOT AREA TABLE

LOT #	AREA (S.F.)	AREA (AC.)
26	24,008	0.55
27	29,107	0.67
28	15,103	0.35
29	15,000	0.34
30	15,160	0.35
31	19,396	0.45
32	20,800	0.48
33	20,963	0.48
34	17,738	0.41
35	17,137	0.39
36	17,290	0.40
37	17,290	0.40
38	17,290	0.40
39	17,290	0.40
40	22,668	0.52
41	16,585	0.38
42	16,141	0.37
43	16,017	0.37
44	16,026	0.37
45	15,427	0.35
46	20,534	0.47
47	31,884	0.73
48	34,634	0.80
49	20,429	0.47
50	16,420	0.38

LOT AREA TABLE

LOT #	AREA (S.F.)	AREA (AC.)
OPEN SPACE #101	28,879	0.66
OPEN SPACE #102	59,772	1.37
OPEN SPACE #103	1,522	0.03
OPEN SPACE #104	1,796	0.04
OPEN SPACE #105	1,701	0.04
OPEN SPACE #106	1,501	0.03
WADC PUMP STATION	1,600	0.04

Know what's below. Call before you dig.

REVISION #	DATE	DESCRIPTION
1	10/27/2025	REVISED PER STAFF COMMENTS REC'D 10/21/2025

MICHAEL S. CAMPBELL
REGISTERED ENGINEER
No. 112337
STATE OF TENNESSEE
10/27/2025

DEVELOPMENT PLAN FOR: THE COVE

CROW CUT RD. NW
CITY OF FAIRVIEW
WILLIAMSON COUNTY, TENNESSEE

M2 GROUP
P.O. BOX 2543
BRENTWOOD, TN 37024-2543
615-656-0297 / INFO@M2-LLC.COM

LOT SUMMARY

DATE : OCTOBER 27, 2025
DRAWN BY : TGT
PROJECT NO. : 25-111
CHECKED BY : MSC

SHEET NUMBER:
C2.1

25-111 C2.1-SITE LAYOUT PLAN WITH AERIAL.DWG | Monday, October 27, 2025 3:41:34 PM

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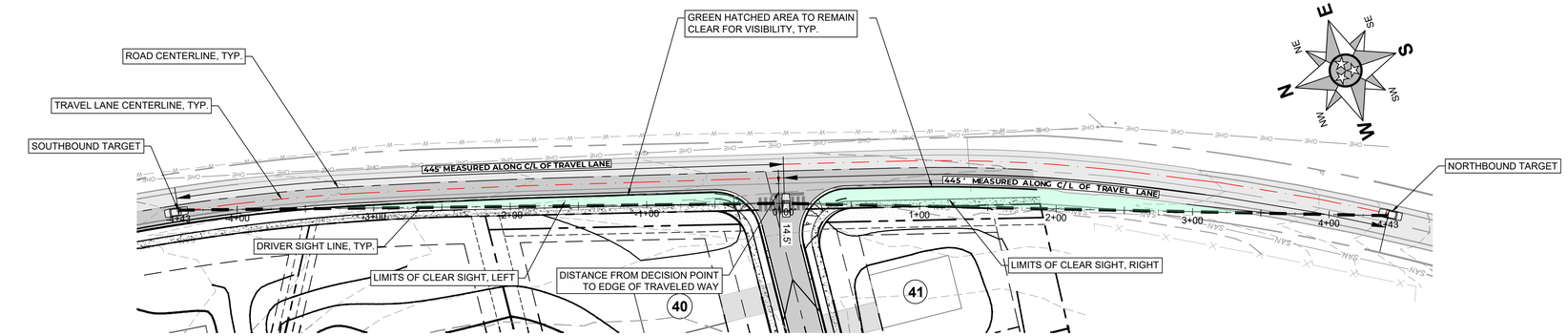
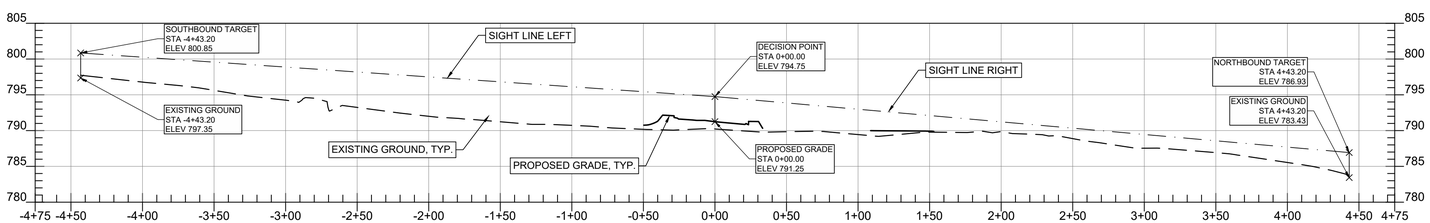
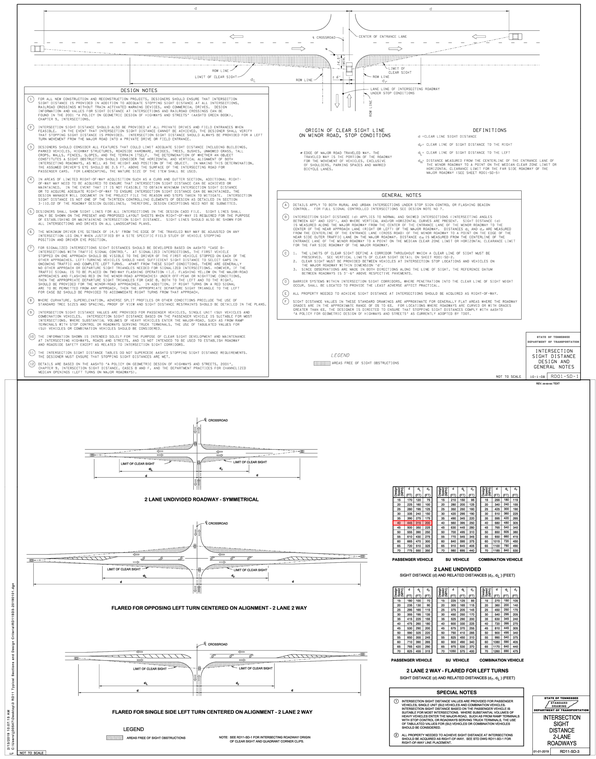


CROW CUT RD SIGHT DISTANCE PLAN
SCALE: 1" = 50'



CROW CUT RD SIGHT DISTANCE PROFILE
SCALE H:1"=50'; V:1"=10'



REVISION #	DATE	DESCRIPTION
1	10/27/2025	REVISED PER STAFF COMMENTS REC'D 10/21/2025

MICHAEL S. CAMPBELL
REGISTERED ENGINEER
No. 111724
STATE OF TENNESSEE
10/27/2025

DEVELOPMENT PLAN FOR: THE COVE

CROW CUT RD. NW
CITY OF FAIRVIEW
WILLIAMSON COUNTY, TENNESSEE

M2 GROUP
P.O. BOX 2543
BRENTWOOD, TN 37024-2543
615-604-0057 / M2GROUP-LLC.COM

SOUTH ENTRANCE SIGHT DISTANCE PLAN & PROFILE

DATE :	OCTOBER 27, 2025
DRAWN BY :	TGT
PROJECT NO. :	25-111
CHECKED BY :	MSC

SHEET NUMBER:
C2.2

811 Know what's below. Call before you dig.

25-111 C2.2-SIGHT DISTANCE.DWG Monday, October 27, 2025 3:42:02 PM

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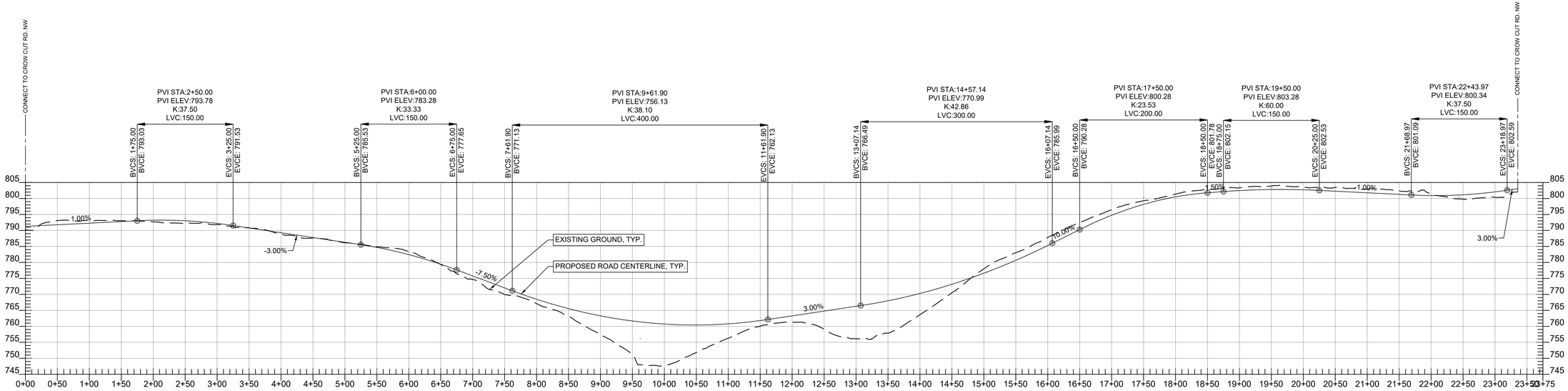
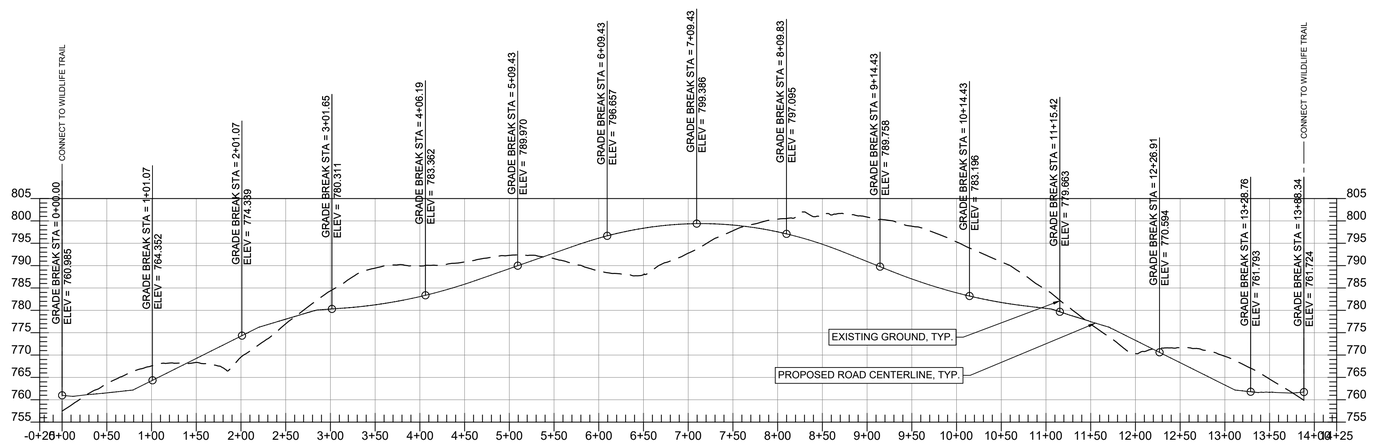


WILDLIFE TRAIL PROFILE

SCALE H:1"=80'; V:1"=16'



MAGNOLIA CIRCLE PROFILE

SCALE H:1"=80'; V:1"=16'

REVISION #	DATE	DESCRIPTION
1	10/27/2025	REVISED PER STAFF COMMENTS REC'D 10/21/2025

MICHAEL S. CAMPBELL
REGISTERED ENGINEER
CORPORATE No. 111324
STATE OF TENNESSEE
10/27/2025

DEVELOPMENT PLAN FOR: THE COVE

CROW CUT RD. NW
CITY OF FAIRVIEW
WILLIAMSON COUNTY, TENNESSEE

M2 GROUP
P.O. BOX 2543
BRENTWOOD, TN 37024-2543
615-604-0027 / INFO@M2-PLLC.COM

ROAD PROFILES

DATE :	OCTOBER 27, 2025	DRAWN BY :	TGT
PROJECT NO. :	25-111	CHECKED BY :	MSC

SHEET NUMBER:

C2.3

25-111_C2.3-ROAD PROFILES.DWG | Monday, October 27, 2025 3:42:08 PM

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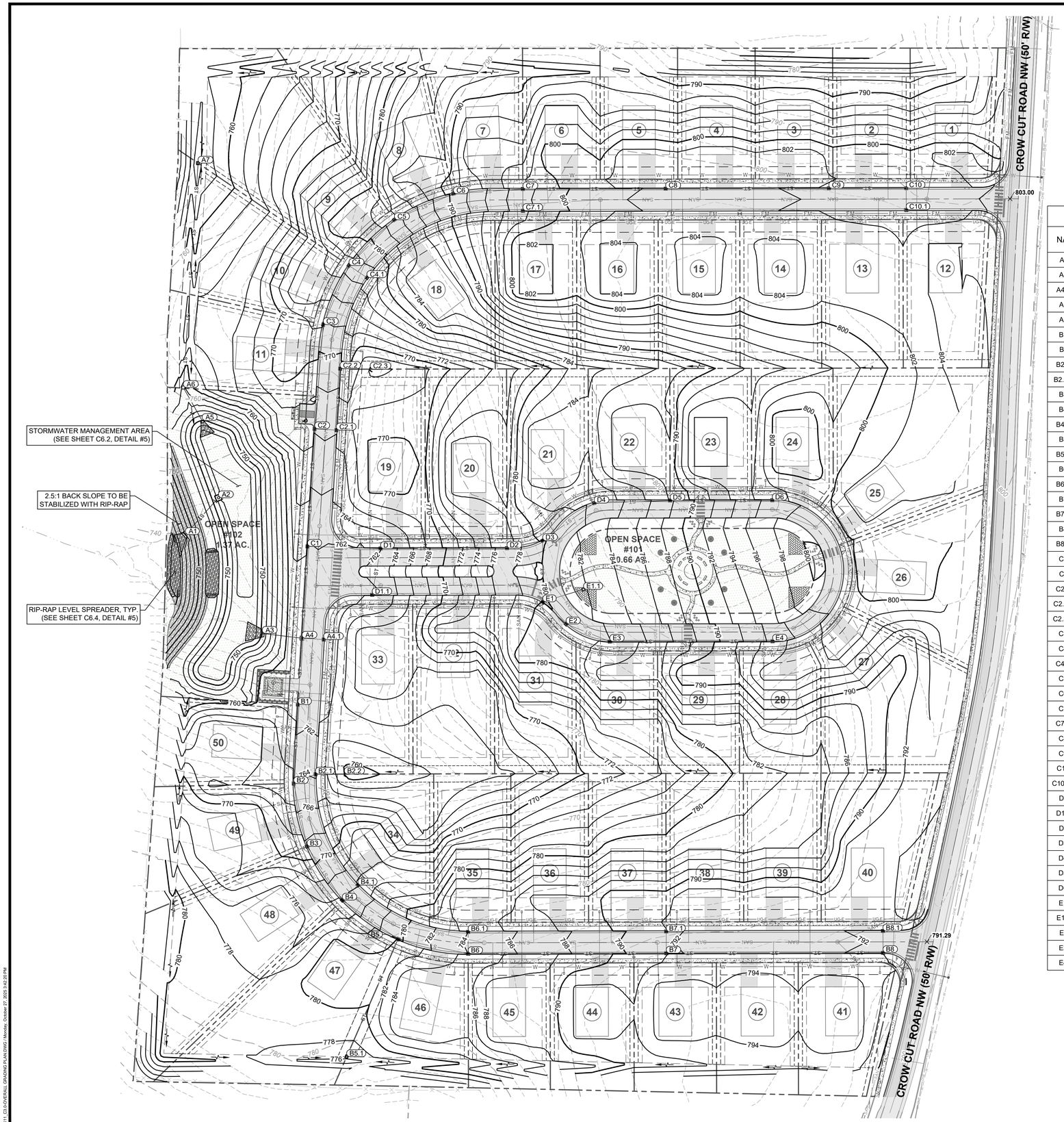
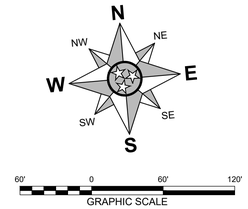


GENERAL NOTES:

1. THIS DEVELOPMENT PLAN IS INTENDED FOR REVIEW BY STAFF AND PLANNING COMMISSION OF THE CITY OF FAIRVIEW AND SHALL NOT BE USED FOR CONSTRUCTION. LAYOUT OF ALL PROPOSED IMPROVEMENTS ARE SUBJECT TO CHANGE THROUGHOUT THE REVIEW CYCLE OF THIS DEVELOPMENT PLAN.
2. A HYDROLOGIC DETERMINATION WAS PERFORMED BY THE BARN GROUP, LLC. AND HAS CONCURRENCE FROM THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION (TDEC) DIVISION OF WATER RESOURCES, DATED SEPTEMBER 8, 2025 (DWR ID NO. 34420).
3. NO GEOTECHNICAL TESTING OR ANALYSIS HAS BEEN PERFORMED. SUITABILITY OF SOILS FOR GRADING, FOUNDATIONS, OR STORMWATER MANAGEMENT FACILITIES MUST BE CONFIRMED THROUGH SUBSURFACE INVESTIGATION.



PIPE TABLE

NAME	MATERIAL	DIA.	APPROX. LENGTH	SLOPE
A2-A1	RCP	36"	61'	2.5%
A4-A3	RCP	36"	49'	0.6%
A4.1-A4	RCP	18"	27'	7.5%
A6-A5	RCP	18"	47'	1.3%
A7-A6	RCP	18"	276'	0.5%
B1-A4	RCP	30"	81'	0.6%
B2-B1	RCP	30"	97'	5.0%
B2.1-B2	RCP	24"	29'	2.1%
B2.2-B2.1	RCP	24"	35'	15.0%
B3-B2	RCP	30"	79'	7.6%
B4-B3	RCP	30"	79'	4.4%
B4.1-B4	RCP	18"	27'	3.4%
B5-B4	RCP	30"	83'	10.3%
B5.1-B5	RCP	24"	157'	0.5%
B6-B5	RCP	18"	88'	1.7%
B6.1-B6	RCP	18"	26'	1.1%
B7-B6	RCP	18"	243'	3.1%
B7.1-B7	RCP	18"	26'	1.1%
B8-B7	RCP	18"	266'	1.9%
B8.1-B8	RCP	18"	27'	1.9%
C1-A4	RCP	30"	113'	2.5%
C2-C1	RCP	30"	144'	3.5%
C2.1-C2	RCP	24"	26'	3.0%
C2.2-C2.1	RCP	24"	75'	6.9%
C2.3-C2.2	RCP	24"	37'	7.6%
C3-C2	RCP	18"	128'	5.9%
C4-C3	RCP	18"	79'	3.7%
C4.1-C4	RCP	18"	26'	0.9%
C5-C4	RCP	18"	79'	11.5%
C6-C5	RCP	18"	79'	8.4%
C7-C6	RCP	18"	85'	1.0%
C7.1-C7	RCP	18"	27'	0.9%
C8-C7	RCP	18"	175'	3.1%
C9-C8	RCP	18"	200'	0.5%
C10-C9	RCP	18"	95'	0.5%
C10.1-C10	RCP	18"	27'	1.1%
D1-C1	RCP	24"	89'	0.6%
D1.1-D1	RCP	18"	57'	0.9%
D2-D1	RCP	24"	155'	10.3%
D3-D2	RCP	24"	45'	2.2%
D4-D3	RCP	18"	78'	6.4%
D5-D4	RCP	18"	93'	6.4%
D6-D5	RCP	18"	125'	8.0%
E1-D3	RCP	18"	75'	1.0%
E1.1-E1	RCP	18"	52'	5.3%
E2-E1	RCP	18"	39'	4.4%
E3-E2	RCP	18"	58'	2.6%
E4-E3	RCP	18"	200'	7.0%

STRUCTURE TABLE

NAME	INLET TYPE	DETAILS
C2.2	CURB INLET	RIM = 769.05 INV IN = 762.68 INV OUT = 762.68
C2.3	HEADWALL	INV OUT = 765.50
C3	CURB INLET	RIM = 771.72 INV IN = 764.50 INV OUT = 764.50
C4	CURB INLET	RIM = 776.76 INV IN = 767.40 INV IN = 767.40 INV OUT = 767.40
C4.1	CURB INLET	RIM = 776.76 INV OUT = 767.65
C5	CURB INLET	RIM = 783.09 INV IN = 776.50 INV OUT = 776.50
C6	CURB INLET	RIM = 790.44 INV IN = 783.15 INV OUT = 783.15
C7	CURB INLET	RIM = 797.09 INV IN = 784.00 INV IN = 784.00 INV OUT = 784.00
C7.1	CURB INLET	RIM = 797.09 INV OUT = 784.25
C8	CURB INLET	RIM = 802.33 INV IN = 789.50 INV OUT = 789.50
C9	CURB INLET	RIM = 801.39 INV IN = 790.50 INV OUT = 790.50
C10	CURB INLET	RIM = 800.64 INV IN = 791.00 INV OUT = 791.00
C10.1	CURB INLET	RIM = 800.64 INV OUT = 791.30
D1	CURB INLET	RIM = 761.94 INV IN = 752.00 INV IN = 752.00 INV OUT = 752.00
D1.1	CURB INLET	RIM = 761.72 INV OUT = 752.50
D2	CURB INLET	RIM = 776.84 INV IN = 768.00 INV OUT = 768.00
D3	CURB INLET	RIM = 779.69 INV IN = 769.00 INV IN = 769.00 INV OUT = 769.00
D4	CURB INLET	RIM = 782.34 INV IN = 774.00 INV OUT = 774.00
D5	CURB INLET	RIM = 787.65 INV IN = 780.00 INV OUT = 780.00
D6	CURB INLET	RIM = 796.71 INV OUT = 790.00
E1	CURB INLET	RIM = 779.62 INV IN = 769.75 INV IN = 769.75 INV OUT = 769.75
E1.1	AREA INLET	RIM = 781.79 INV OUT = 772.50
E2	CURB INLET	RIM = 780.47 INV IN = 771.50 INV OUT = 771.50
E3	CURB INLET	RIM = 781.93 INV IN = 773.00 INV OUT = 773.00
E4	CURB INLET	RIM = 794.50 INV OUT = 787.00

STRUCTURE TABLE

NAME	INLET TYPE	DETAILS
A1	HEADWALL	INV IN = 742.50
A2	OCS	RIM = 752.00 INV OUT = 744.00
A3	HEADWALL	INV IN = 748.40
A4	CURB INLET	RIM = 760.15 INV IN = 748.70 INV IN = 750.00 INV IN = 748.70 INV OUT = 748.70
A4.1	CURB INLET	RIM = 760.16 INV OUT = 752.00
A5	HEADWALL	INV IN = 750.00
A6	JUNCTION BOX	RIM = 757.43 INV IN = 750.60 INV OUT = 750.60
A7	AREA INLET	RIM = 754.85 INV OUT = 752.00
B1	CURB INLET	RIM = 761.02 INV IN = 749.15 INV OUT = 749.15
B2	CURB INLET	RIM = 764.28 INV IN = 754.00 INV IN = 754.20 INV OUT = 754.00
B2.1	CURB INLET	RIM = 763.76 INV IN = 754.80 INV OUT = 754.80
B2.2	HEADWALL	INV OUT = 760.10
B3	CURB INLET	RIM = 768.28 INV IN = 760.00 INV OUT = 760.00
B4	CURB INLET	RIM = 773.85 INV IN = 763.50 INV IN = 763.90 INV OUT = 763.50
B4.1	CURB INLET	RIM = 773.85 INV OUT = 764.80
B5	CURB INLET	RIM = 779.60 INV IN = 772.52 INV IN = 772.52 INV OUT = 772.12
B5.1	AREA INLET	RIM = 776.89 INV OUT = 773.31
B6	CURB INLET	RIM = 784.01 INV IN = 774.00 INV IN = 774.00 INV OUT = 774.00
B6.1	CURB INLET	RIM = 784.01 INV OUT = 774.30
B7	CURB INLET	RIM = 791.47 INV IN = 781.50 INV IN = 781.50 INV OUT = 781.50
B7.1	CURB INLET	RIM = 791.47 INV OUT = 781.80
B8	CURB INLET	RIM = 791.51 INV IN = 786.50 INV OUT = 786.50
B8.1	CURB INLET	RIM = 791.57 INV OUT = 787.00
C1	CURB INLET	RIM = 761.83 INV IN = 751.50 INV IN = 751.50 INV OUT = 751.50
C2	CURB INLET	RIM = 766.16 INV IN = 757.00 INV IN = 756.70 INV OUT = 756.50
C2.1	CURB INLET	RIM = 766.16 INV IN = 757.50 INV OUT = 757.50

811
Know what's below.
Call before you dig.

REVISION #	DATE	DESCRIPTION
1	10/27/2025	REVISED PER STAFF COMMENTS REC'D 10/21/2025

MICHAEL S. CAMPBELL
REGISTERED ENGINEER
NO. 112000
STATE OF TENNESSEE
10/27/2025

DEVELOPMENT PLAN FOR: THE COVE

CROW CUT RD. NW
CITY OF FAIRVIEW
WILLIAMSON COUNTY, TENNESSEE

M2 GROUP
P.O. BOX 2543
BRENTWOOD, TN 37024-2543
615-604-0517 / INFO@M2GROUP-LLC.COM

OVERALL GRADING & DRAINAGE PLAN

DATE :	OCTOBER 27, 2025
DRAWN BY :	TGT
PROJECT NO. :	25-111
CHECKED BY :	MSC

SHEET NUMBER:
C3.0

25-111 C3.0 OVERALL GRADING PLAN.DWG | Monday, October 27, 2025 3:42:29 PM

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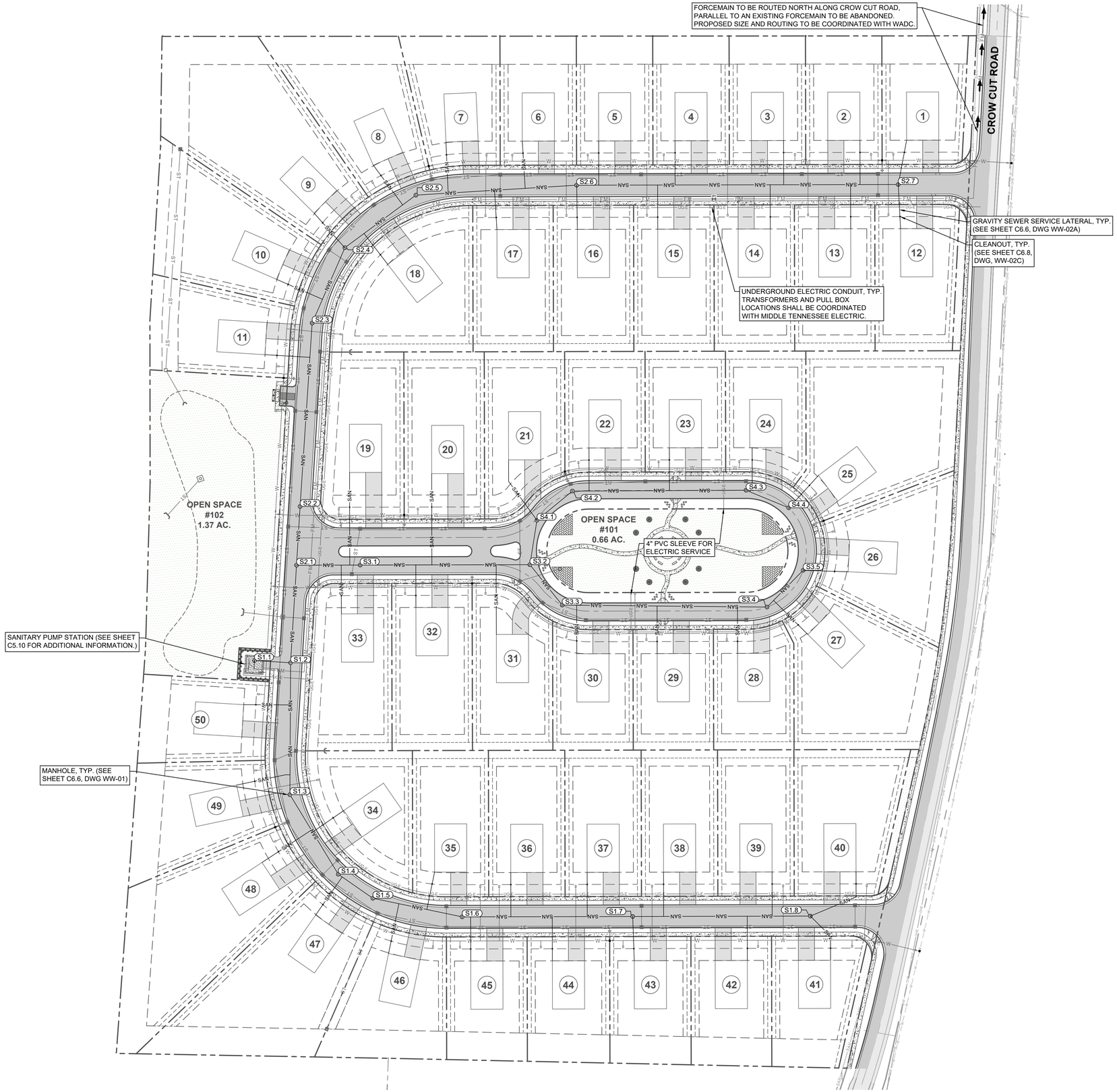


LEGEND:

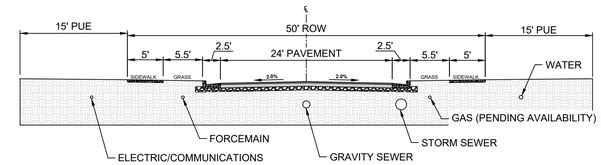
W	PROPOSED WATER LINE
SAN	PROPOSED SANITARY SEWER - GRAVITY
FM	PROPOSED SANITARY SEWER - FORCE MAIN
G	PROPOSED GAS LINE
UG-E	PROPOSED UNDERGROUND ELECTRIC
ST	PROPOSED STORM SEWER
	PROPOSED FIRE HYDRANT
WV	GATE VALVE

N, NE, E, SE, S, SW, W, NW

60' 0 60' 120'
GRAPHIC SCALE

NOTES:

1. FINAL DESIGN OF UTILITIES WILL BE COORDINATED WITH THE RESPECTIVE DEPARTMENT/AGENCY DURING PRODUCTION OF CONSTRUCTION DRAWINGS.
2. FORCEMAIN DESIGN WILL BE COORDINATED WITH THE WATER AUTHORITY OF DICKSON COUNTY.
3. GAS IS NOT CURRENTLY AVAILABLE ON CROW CUT RD NW, BUT IS ANTICIPATED TO BECOME AVAILABLE PENDING THE INSTALLATION OF A PIEDMONT GAS REGULATOR STATION ALONG HWY 96.



STRUCTURE TABLE

NAME	INLET TYPE	DETAILS
S1.1	MANHOLE	RIM = 761.18 INV IN = 752.00
S1.2	MANHOLE	RIM = 760.83 INV IN = 754.08 INV IN = 754.08 INV OUT = 753.88
S1.3	MANHOLE	RIM = 766.82 INV IN = 760.72 INV OUT = 760.52
S1.4	MANHOLE	RIM = 775.09 INV IN = 768.99 INV OUT = 768.79
S1.5	MANHOLE	RIM = 779.00 INV IN = 772.90 INV OUT = 772.70
S1.6	MANHOLE	RIM = 785.01 INV IN = 778.91 INV OUT = 778.71
S1.7	MANHOLE	RIM = 791.41 INV IN = 785.04 INV OUT = 784.84
S1.8	MANHOLE	RIM = 792.36 INV OUT = 786.26
S2.1	MANHOLE	RIM = 760.99 INV IN = 754.89 INV IN = 754.89 INV OUT = 754.69
S2.2	MANHOLE	RIM = 762.87 INV IN = 756.77 INV OUT = 756.57
S2.3	MANHOLE	RIM = 771.08 INV IN = 764.98 INV OUT = 764.78
S2.4	MANHOLE	RIM = 778.06 INV IN = 771.96 INV OUT = 771.76
S2.5	MANHOLE	RIM = 788.33 INV IN = 782.23 INV OUT = 782.03
S2.6	MANHOLE	RIM = 801.43 INV IN = 792.89 INV OUT = 792.69
S2.7	MANHOLE	RIM = 800.99 INV OUT = 794.89
S3.1	MANHOLE	RIM = 762.17 INV IN = 756.07 INV OUT = 755.87
S3.2	MANHOLE	RIM = 780.23 INV IN = 774.13 INV IN = 774.13 INV OUT = 773.93
S3.3	MANHOLE	RIM = 781.16 INV IN = 775.06 INV OUT = 774.86
S3.4	MANHOLE	RIM = 796.35 INV IN = 790.25 INV OUT = 790.05
S3.5	MANHOLE	RIM = 798.91 INV OUT = 792.81
S4.1	MANHOLE	RIM = 780.78 INV IN = 774.68 INV OUT = 774.48
S4.2	MANHOLE	RIM = 782.52 INV IN = 776.42 INV OUT = 776.22
S4.3	MANHOLE	RIM = 796.94 INV IN = 790.84 INV OUT = 790.64
S4.4	MANHOLE	RIM = 798.99 INV OUT = 792.89

PIPE TABLE

NAME	MATERIAL	DIA.	APPROX. LENGTH	SLOPE
S1.2-S1.1	PVC	8"	45'	4.2%
S1.3-S1.2	PVC	8"	164'	3.9%
S1.4-S1.3	PVC	8"	116'	7.0%
S1.5-S1.4	PVC	8"	52'	7.1%
S1.6-S1.5	PVC	8"	113'	5.1%
S1.7-S1.6	PVC	8"	212'	2.8%
S1.8-S1.7	PVC	8"	221'	0.6%
S2.1-S1.2	PVC	8"	122'	0.5%
S2.2-S2.1	PVC	8"	73'	2.3%
S2.3-S2.2	PVC	8"	229'	3.5%
S2.4-S2.3	PVC	8"	102'	6.6%
S2.5-S2.4	PVC	8"	110'	9.2%
S2.6-S2.5	PVC	8"	200'	5.2%
S2.7-S2.6	PVC	8"	400'	0.5%
S3.1-S2.1	PVC	8"	79'	1.2%
S3.2-S3.1	PVC	8"	211'	8.5%
S3.3-S3.2	PVC	8"	64'	1.1%
S3.4-S3.3	PVC	8"	255'	5.9%
S3.5-S3.4	PVC	8"	64'	4.0%
S4.1-S3.2	PVC	8"	56'	0.6%
S4.2-S4.1	PVC	8"	57'	2.7%
S4.3-S4.2	PVC	8"	216'	6.6%
S4.4-S4.3	PVC	8"	57'	3.6%

WATER & SEWER NOTES:

1. ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE WATER AUTHORITY OF DICKSON COUNTY.
2. ALL WATER SERVICE LINES THAT CROSS PUBLIC ROADS AND SIDEWALKS SHALL BE SLEEVED THROUGH 2-INCH PVC PIPE.
3. BEFORE THE START OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE WATER AUTHORITY FOR APPROVAL OF ALL MATERIALS TO BE USED.
4. WATER LINES AND FORCE MAINS ARE TO BE SDR-21 PVC EXCEPT WHERE THEY ARE LOCATED UNDER ROADWAY PAVEMENT, SIDEWALKS, CONSECUTIVE TOWNHOME DRIVEWAYS, OR IN AREAS OF FILL. AT THESE LOCATIONS, THE PIPE MATERIAL SHALL BE CLASS 350 DUCTILE IRON.
5. ALL WATER MAINS ARE TO BE PLACED 5-FEET BEHIND THE SIDEWALK.
6. ANY CONFLICT BETWEEN THE CONSTRUCTION DETAILS SHOWN ON THE PLANS AND THE DETAILS AND STANDARD SPECIFICATIONS OF THE WATER AUTHORITY, THE DETAILS AND STANDARD SPECIFICATIONS SHALL GOVERN.
7. ANY CHANGE TO THE PLANS SHALL BE APPROVED IN WRITING BY THE WATER AUTHORITY.
8. WATER AND SEWER LINES THAT ARE SHOWN OUTSIDE OF PUBLIC RIGHT-OF-WAY SHALL BE LOCATED WITHIN A MINIMUM 15-FT WIDE PUBLIC UTILITY EASEMENT.
9. WHERE IN EASEMENT OR RIGHT-OF-WAY, THE CONTRACTOR SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION EQUAL TO THAT EXISTING AT THE START OF CONSTRUCTION, INCLUDING RESTORATION OF EXISTING FENCES.
10. CONTRACTOR TO COORDINATE ALL WORK AROUND EXISTING UTILITIES WITH THEIR RESPECTIVE OWNERS AND DETERMINE EXACT LOCATION OF BURIED UTILITIES IN THE FIELD.
11. WATER METERS SHALL BE LOCATED NO CLOSER THAN 12-FEET FROM SEWER SERVICE BOX OR CLEANOUT.
12. PUBLIC SEWER LINES SHALL BE SDR-26 PVC UNLESS OTHERWISE NOTED ON THE PLANS.
13. ALL MANHOLES ARE TO HAVE XYPEX COATING.
14. PLUMBING CONTRACTOR TO INSTALL SEWER SERVICE CLEANOUT AT POINT OF CONNECTION TO SEWER SERVICE LINE FOR ALL UNITS. ALL CLEANOUTS LOCATED WITHIN PAVED AREAS SHALL HAVE TRAFFIC LOAD COVERS INSTALLED AS PER WATER AUTHORITY DETAILS.

811 Know what's below. Call before you dig.

REVISION #	DATE	DESCRIPTION
1	10/27/2025	REVISED PER STAFF COMMENTS REC'D 10/21/2025

MICHAEL S. CAMPBELL REGISTERED ENGINEER NO. 111314 STATE OF TENNESSEE
10/27/2025

DEVELOPMENT PLAN FOR: THE COVE

CROW CUT RD. NW
CITY OF FAIRVIEW
WILLIAMSON COUNTY, TENNESSEE

M2 GROUP
P.O. BOX 2543
BRENTWOOD, TN 37024-2543
615-656-0207 / INFO@M2-LLC.COM

SANITARY SEWER PLAN

DATE :	OCTOBER 27, 2025	DRAWN BY : TGT
PROJECT NO. :	25-111	CHECKED BY : MSC

SHEET NUMBER:
C5.0

25-111_C5.0 UTILITY PLAN.DWG | Monday, October 27, 2025 3:42:29 PM

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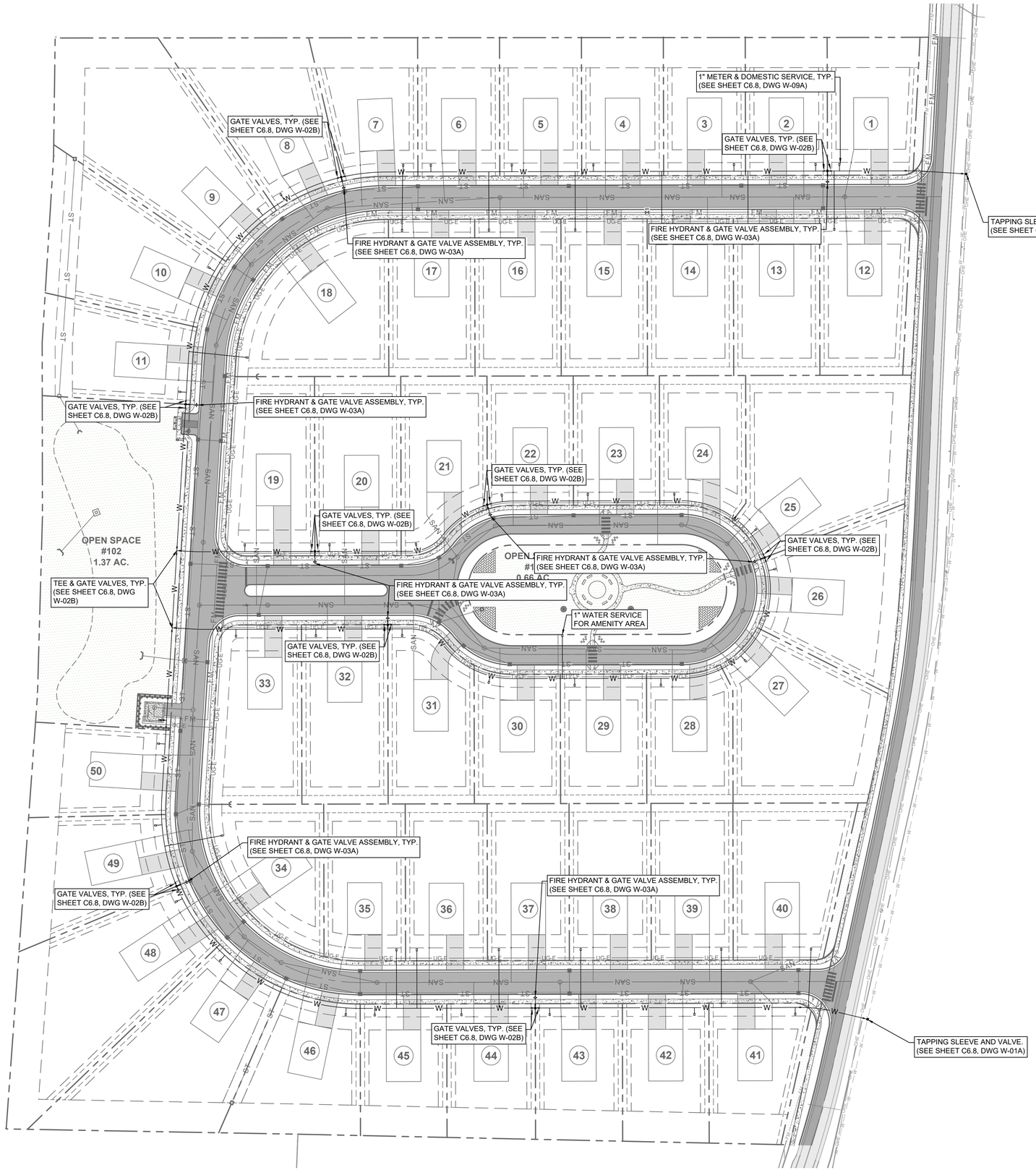

LEGEND:

W	PROPOSED WATER LINE
SAN	PROPOSED SANITARY SEWER - GRAVITY
FM	PROPOSED SANITARY SEWER - FORCE MAIN
G	PROPOSED GAS LINE
UG-E	PROPOSED UNDERGROUND ELECTRIC
ST	PROPOSED STORM SEWER
	PROPOSED FIRE HYDRANT
	GATE VALVE

N NW NE W E SW SE S

60 0 60 120
GRAPHIC SCALE

WATER & SEWER NOTES:

1. ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE WATER AUTHORITY OF DICKSON COUNTY.
2. ALL WATER SERVICE LINES THAT CROSS PUBLIC ROADS AND SIDEWALKS SHALL BE SLEEVED THROUGH 2-INCH PVC PIPE.
3. BEFORE THE START OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE WATER AUTHORITY FOR APPROVAL OF ALL MATERIALS TO BE USED.
4. WATER LINES AND FORCE MAINS ARE TO BE SDR-21 PVC EXCEPT WHERE THEY ARE LOCATED UNDER ROADWAY PAVEMENT, SIDEWALKS, CONSECUTIVE TOWNHOME DRIVEWAYS, OR IN AREAS OF FILL. AT THESE LOCATIONS, THE PIPE MATERIAL SHALL BE CLASS 350 DUCTILE IRON.
5. ALL WATER MAINS ARE TO BE PLACED 5-FEET BEHIND THE SIDEWALK.
6. ANY CONFLICT BETWEEN THE CONSTRUCTION DETAILS SHOWN ON THE PLANS AND THE DETAILS AND STANDARD SPECIFICATIONS OF THE WATER AUTHORITY, THE DETAILS AND STANDARD SPECIFICATIONS SHALL GOVERN.
7. ANY CHANGE TO THE PLANS SHALL BE APPROVED IN WRITING BY THE WATER AUTHORITY.
8. WATER AND SEWER LINES THAT ARE SHOWN OUTSIDE OF PUBLIC RIGHT-OF-WAY SHALL BE LOCATED WITHIN A MINIMUM 15-FT WIDE PUBLIC UTILITY EASEMENT.
9. WHERE IN EASEMENT OR RIGHT-OF-WAY, THE CONTRACTOR SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION EQUAL TO THAT EXISTING AT THE START OF CONSTRUCTION, INCLUDING RESTORATION OF EXISTING FENCES.
10. CONTRACTOR TO COORDINATE ALL WORK AROUND EXISTING UTILITIES WITH THEIR RESPECTIVE OWNERS AND DETERMINE EXACT LOCATION OF BURIED UTILITIES IN THE FIELD.
11. WATER METERS SHALL BE LOCATED NO CLOSER THAN 12-FEET FROM SEWER SERVICE BOX OR CLEANOUT.
12. PUBLIC SEWER LINES SHALL BE SDR-26 PVC UNLESS OTHERWISE NOTED ON THE PLANS.
13. ALL MANHOLES ARE TO HAVE XYPEX COATING.
14. PLUMBING CONTRACTOR TO INSTALL SEWER SERVICE CLEANOUT AT POINT OF CONNECTION TO SEWER SERVICE LINE FOR ALL UNITS. ALL CLEANOUTS LOCATED WITHIN PAVED AREAS SHALL HAVE TRAFFIC LOAD COVERS INSTALLED AS PER WATER AUTHORITY DETAILS.

811 Know what's below. Call before you dig.

REVISION #	DATE	DESCRIPTION
1	10/27/2025	REVISED PER STAFF COMMENTS REC'D 10/21/2025

MICHAEL S. CAMPBELL REGISTERED ENGINEER CERTIFICATE NO. 111734 STATE OF TENNESSEE
10/27/2025

DEVELOPMENT PLAN FOR: THE COVE

CROW CUT RD. NW
CITY OF FAIRVIEW
WILLIAMSON COUNTY, TENNESSEE

M2 GROUP
P.O. BOX 2543
BRENTWOOD, TN 37024-2543
615-557-0227 / INFO@M2-LLC.COM

WATER LINE PLAN

DATE:	OCTOBER 27, 2025	DRAWN BY:	TGT
PROJECT NO.:	25-111	CHECKED BY:	MSC

SHEET NUMBER:
C5.3

25-111_C5.3_WATER LINE PLAN.DWG | Monday, October 27, 2025 3:42:38 PM

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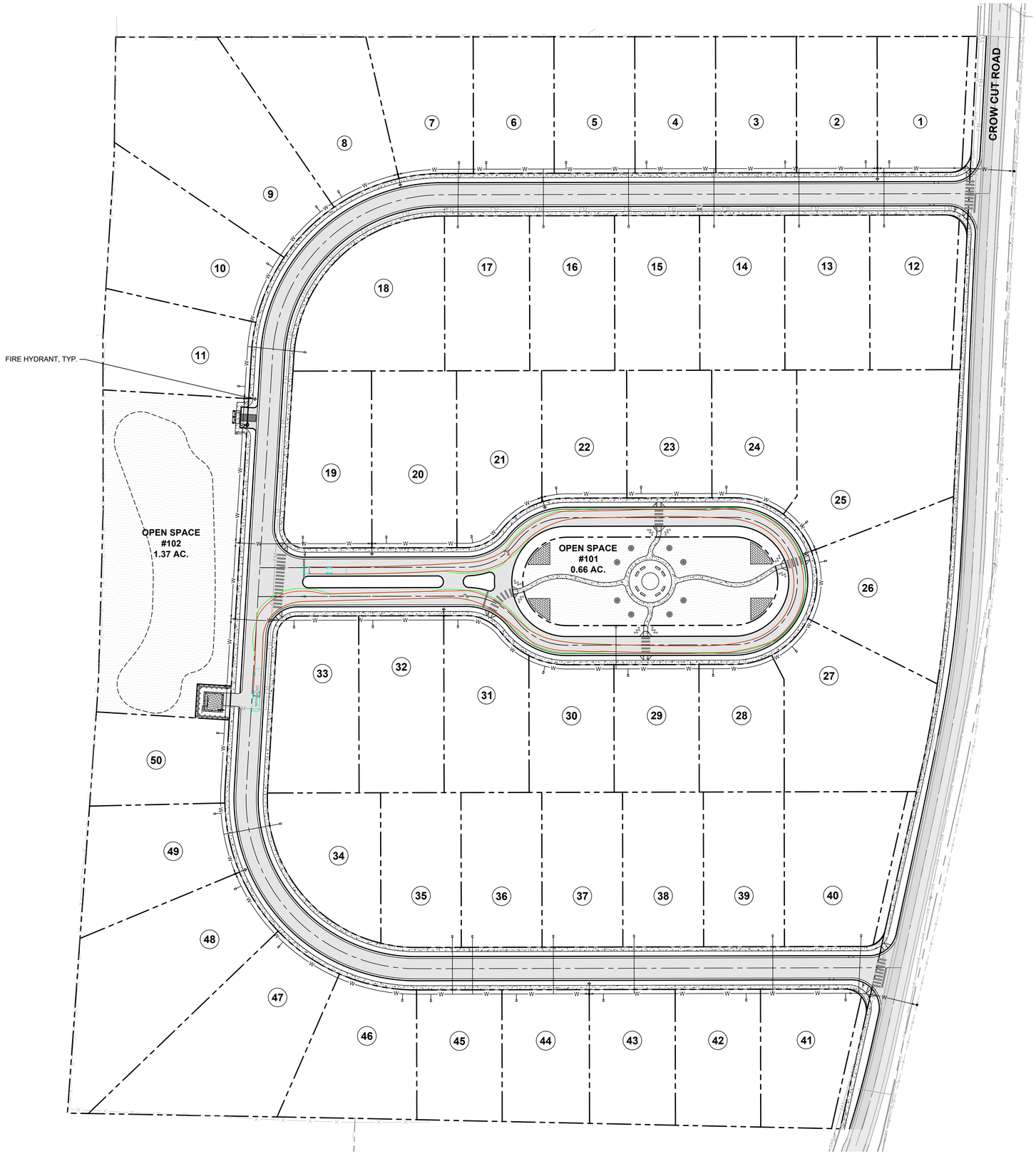
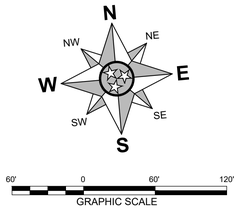
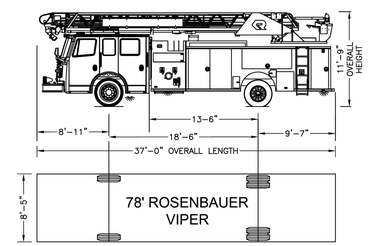
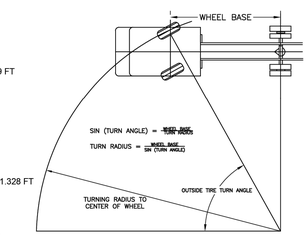






APPARATUS AND TURNING INFORMATION

1. NUMBER OF FRONT AXLES = 1
2. FRONT TRACK WIDTH = 8.500 FT
3. WHEELS ON EACH FRONT AXLE = 2
4. NUMBER OF REAR AXLES = 1
5. REAR TRACK WIDTH = 8.500 FT
6. WHEELS ON EACH REAR AXLE = 4
7. WHEELBASE = 18.500 FT
8. OUTSIDE CURB TO CURB TURNING RADIUS = 32.89 FT
9. TURNING RADIUS WALL TO WALL = 37.18 FT
10. BODY LENGTH = 37.000 FT
11. BODY WIDTH = 8.417 FT
12. REAR OVERHANG = 9.583 FT
13. MINIMUM DESIGN SPEED = 5 MPH
14. BUMPER EXTENSION = 1.750 FT
15. FRONT WHEEL INSIDE TURN ANGLE = 46
16. OFFSET FROM KINGPIN TO OUTSIDE OF WHEEL = 1.328 FT
17. RADIUS AT FRONT CORNER = 1.00 FT
18. LENGTH OF EXTENSION = 8.417 FT
19. WIDTH OF EXTENSION = 1.750 FT
20. WIDTH OF TRUCK WITH RIGGERS OUT = 15.500 FT



CITY OF FAIRVIEW	DRAWING NO. **TC-1** NOT TO SCALE	FAIRVIEW LADDER 31 TURNING TEMPLATE	REVISIONS: 01/27/2021
		CITY ENGINEER: KEVIN L. BLACKBURN, P.E. GISP	

REVISION #	DATE	DESCRIPTION
1	10/27/2025	REVISED PER STAFF COMMENTS REC'D 10/21/2025

MICHAEL S. CAMPBELL
REGISTERED ENGINEER
No. 111324
STATE OF TENNESSEE
10/27/2025

DEVELOPMENT PLAN FOR: THE COVE

CROW CUT RD. NW
CITY OF FAIRVIEW
WILLIAMSON COUNTY, TENNESSEE

M2 GROUP
P.O. BOX 2543
BRENTWOOD, TN 37024-2543
615-656-0297 / INFO@M2-LLC.COM

FIRE PROTECTION PLAN

DATE :	OCTOBER 27, 2025	DRAWN BY :	TGT
PROJECT NO. :	25-111	CHECKED BY :	MSC

SHEET NUMBER:
C5.5

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25-111 C5.5-FIRE PROTECTION PLAN.DWG | Monday, October 27, 2025 3:42:46 PM

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